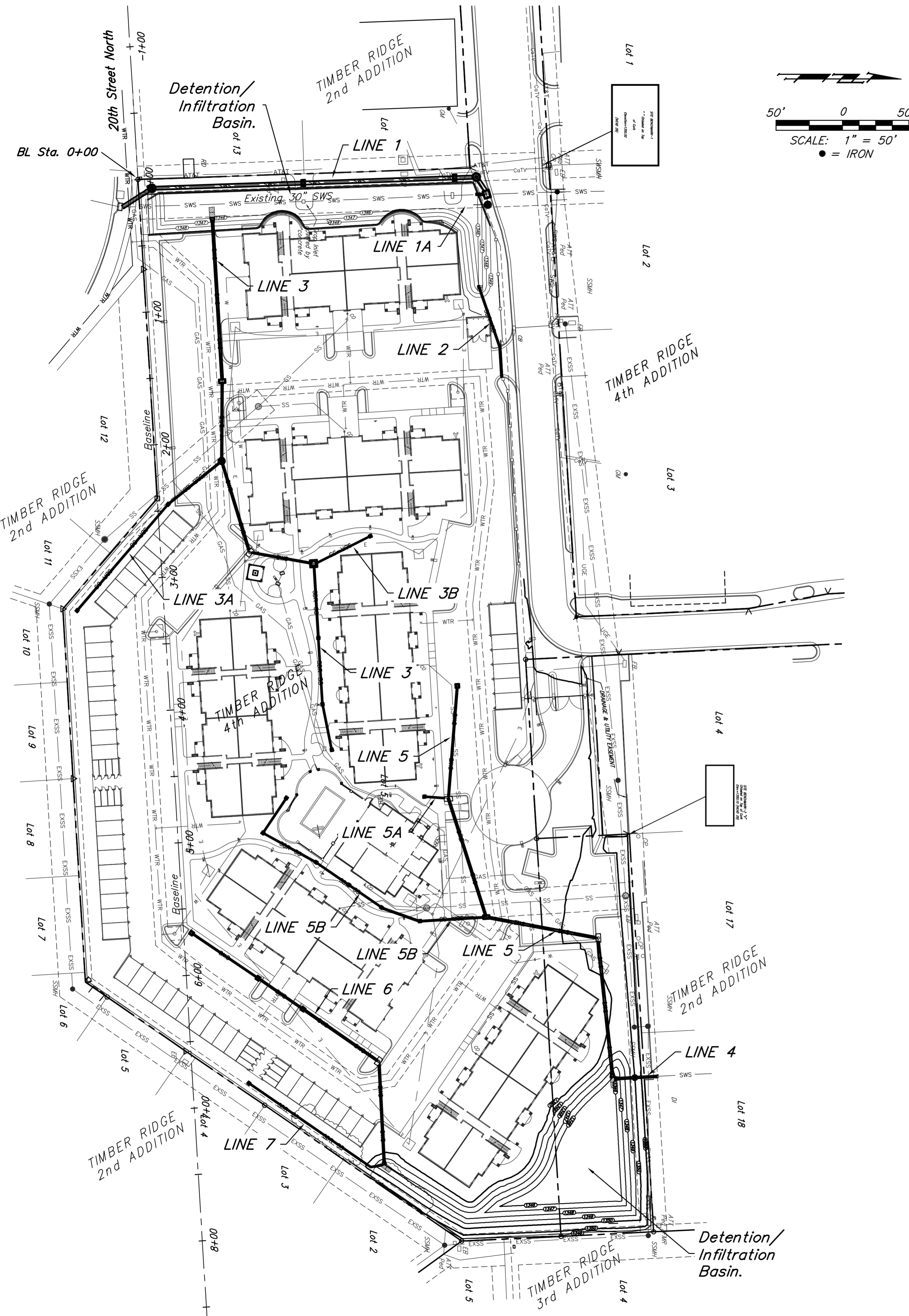


Storm Sewer & Drainage Improvements to serve Portion of Lot 5, Timber Ridge 4th Addition

Private Project: 097 PPD (607853)
CITY OF WICHITA, KANSAS

Gary Janzen, P.E. Interim City Engineer
May 2012



LEGAL DESCRIPTION

Lot 5, Timber Ridge 4th Addition, Wichita, Sedgwick County, Kansas; EXCEPT a portion of Lot 5, Timber Ridge 4th Addition, Wichita, Sedgwick County, Kansas described as beginning at the SW Corner of Lot 4, in said Timber Ridge 4th Addition; thence N86°30'23"E, along the south line of said Lot 4, 135.00 feet to the SE corner of said Lot 4; thence S02°50'33"E, along the extended east line of said Lot 4, 69.93 feet to an intersection with the extended south line of a Drainage and Access Easement as recorded in Film 1689, Page 557; thence S86°30'23"W, along said extended Drainage and Access Easement, 135.00 feet to an intersection with the extended west line of said Lot 4; thence N02°50'33"W, 69.93 feet to the Point of Beginning.

BENCHMARK

- #1 - "□" Chiseled on Top of Curb at the Southwest Corner of Lot 2, Timber Ridge 4th Addition, Wichita, Sedgwick County, Kansas.
Elevation=1350.52 (NGVD 29)
- #2 - "V" Chiseled on Top of Curb at the Southwest Corner of Lot 17, Timber Ridge 2nd Addition, Wichita, Sedgwick County, Kansas.
Elevation=1350.10 (NGVD 29)

SITE INFORMATION

Total Area: ±259,076 sq. ft. (5.9 acres)
Impervious Area: ±172,210 sq. ft. (4.0 acres)
Building Area: 72,889 sq. ft.
Parking Provided: 209 Spaces

Index

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APPROVED AS NOTED
BY CITY ENGINEER OF WICHITA

Engineering *Julian Kallman* 5-30-12

Stormwater *Mike Smith* 5-30-12

NOTE TO CONTRACTORS

Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said Inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).

GENERAL NOTES

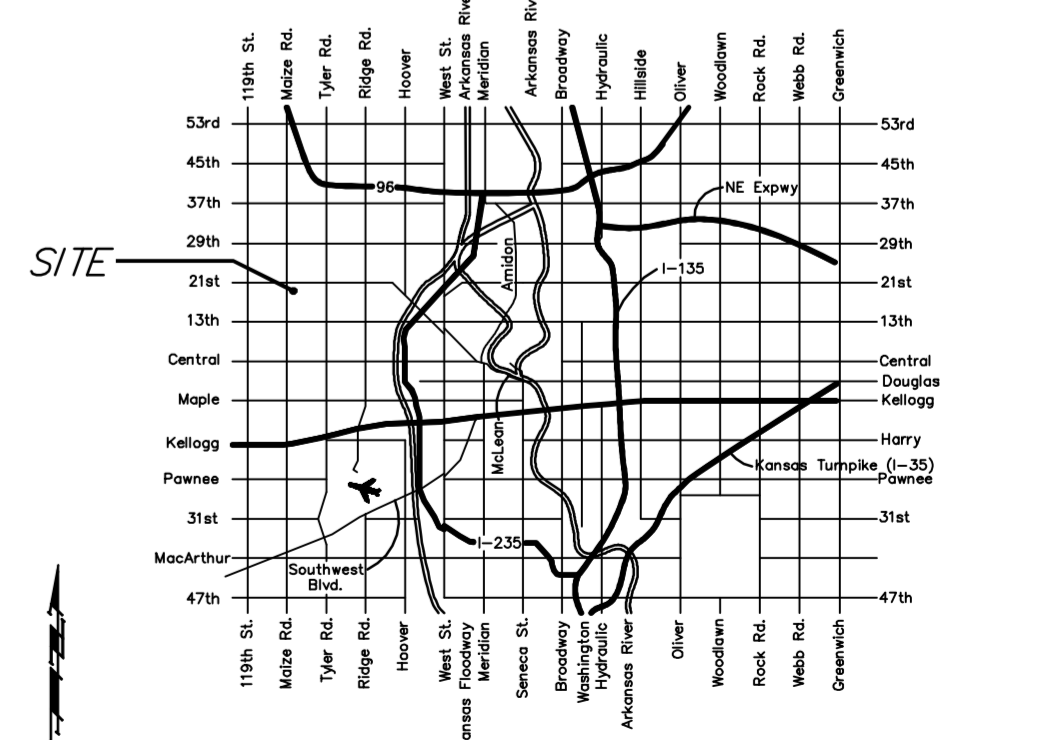
1. Contractor will be required to provide notice to utility companies a minimum of forty-eight (48) hours prior to any excavation, as follows:

Kansas One-Call	687-2470
The Contractor must notify the following in case of an emergency:	
Cox Communications	262-4270
Kansas Gas Service Company	1-888-482-4950
Westar Energy (Electric)	383-8650
Black Hills Energy (Gas)	1-800-303-0357
Southwestern Bell Telephone Co.	1-800-286-8313
	262-6000
City of Wichita Water Dept. (Water)	262-6000
City of Wichita Sewer Maint. (SS)	268-4090
City of Wichita Storm Sewer Maint.	268-4034
City of Wichita Traffic Maint.	
2. All disturbed areas within the project site and that overlap the area to be disturbed shall have temporary and permanent erosion control measures installed by the general contractor. See site plan reference copy of the Erosion Control Plan and Landscape Plan and coordinate with General Contractor to ensure temp. erosion control measures are install within 7 days of construction.
3. All disturbed R/W areas not intended for pavement or sidewalk construction shall be seeded with Kansas Premium Fescue Blend at a rate of 8 lb./1000 Sq. Ft., fertilized with a 16-20-6 ratio at a rate of 4 lb./1000 Sq. Ft., and mulched with Prairie Hay at a rate of 92 lb./1000 Sq. Ft. Mulch shall be "patted" with forks or punched into soil to reduce loss due to wind.
4. Utility service lines, poles, valve boxes, meters, et cetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans represent the best information obtainable for design and shall be field verified. The contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
5. Contractor shall furnish the inspector with a copy of the manufacturer's certification for all pipe used on this project after completion of pipe installation. The engineer will not certify the project to the city until pipe certification has been received.
6. Properties within the project limits may have underground sprinkler systems which conflict with new construction. Contractor will be required to remove such improvements should they not be removed by their owner at the time of construction. The Contractor will be required to salvage all sprinkler heads and/or valves and give such material to their owner. Portions of underground sprinkler systems not in conflict with new construction shall be protected from damage and shall remain in place. All work in connection with underground sprinkler systems shall be considered as subsidiary to the contract pay items of work.
7. Cuts made to paved surfaces on public property will be repaired by the City's contractor and charged against the owner/applicant. Unit repair prices are available from the City at 268-4418. A surcharge may be applicable: call 268-4418 for details. Repair costs to be paid prior to release of sewer service if sewer service is affected. Contractor shall obtain permit prior to construction.
8. Barriers and detour signage shall be in accordance with the Manual On Uniform Traffic Control Devices.
9. Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Contractor shall not start on the project until all necessary bonds and permits have been obtained. Bonds may include but are not limited to Statutory, Performance & Maintenance. Any work done without inspection will be required to be uncovered for inspection.
10. Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations that, in the opinion of the Engineer, will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
11. All storm water sewer lines and appurtenances shall be installed in accordance with the most recent edition of City of Wichita, Kansas Standard Specifications for the Construction of City Projects unless otherwise noted.
12. All storm water sewer lines shall be reinforced concrete pipe unless otherwise noted in the plans.
13. See Landscape and Grading Plans for Groundwater Infiltration Pond Plans.

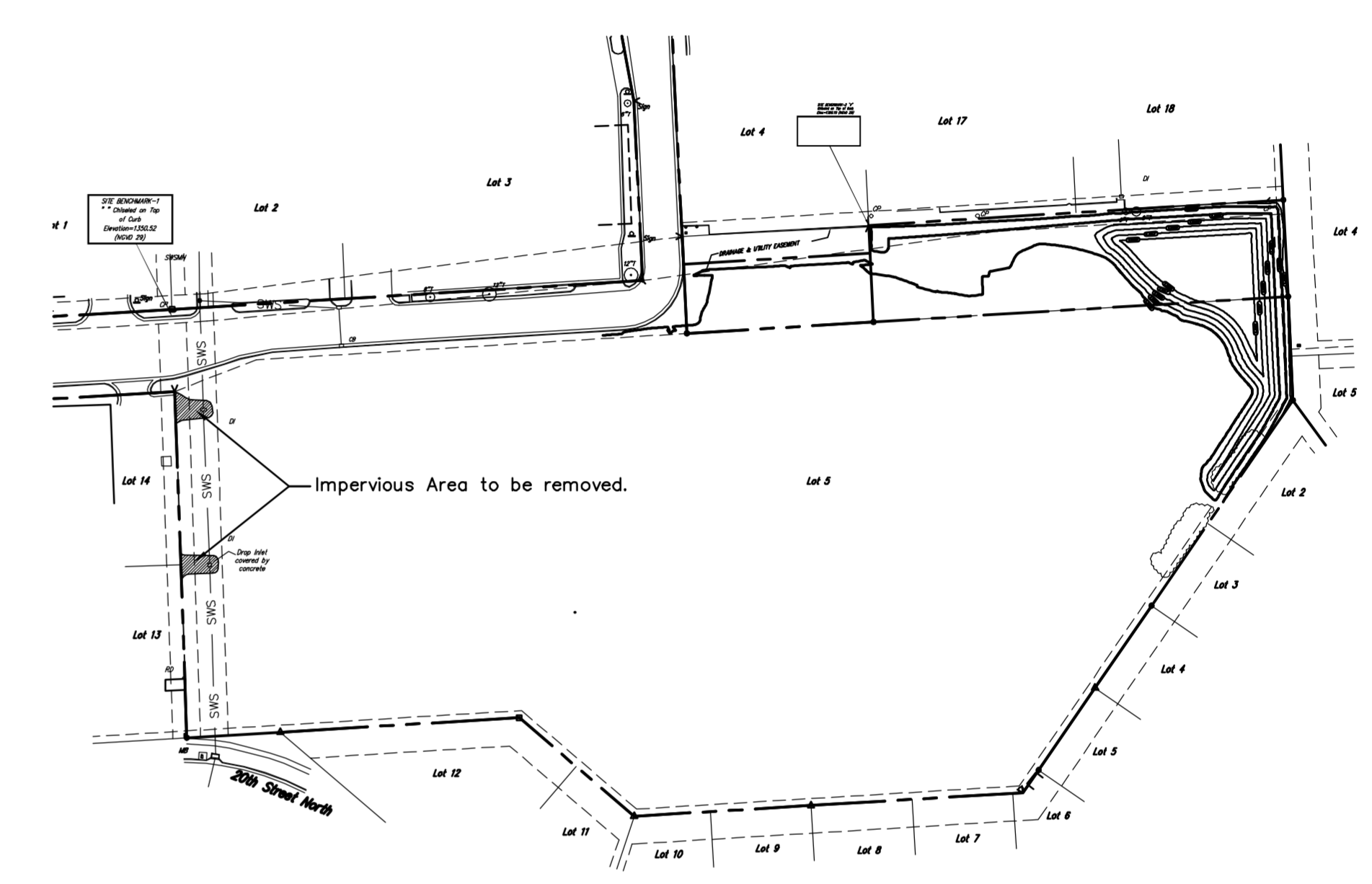
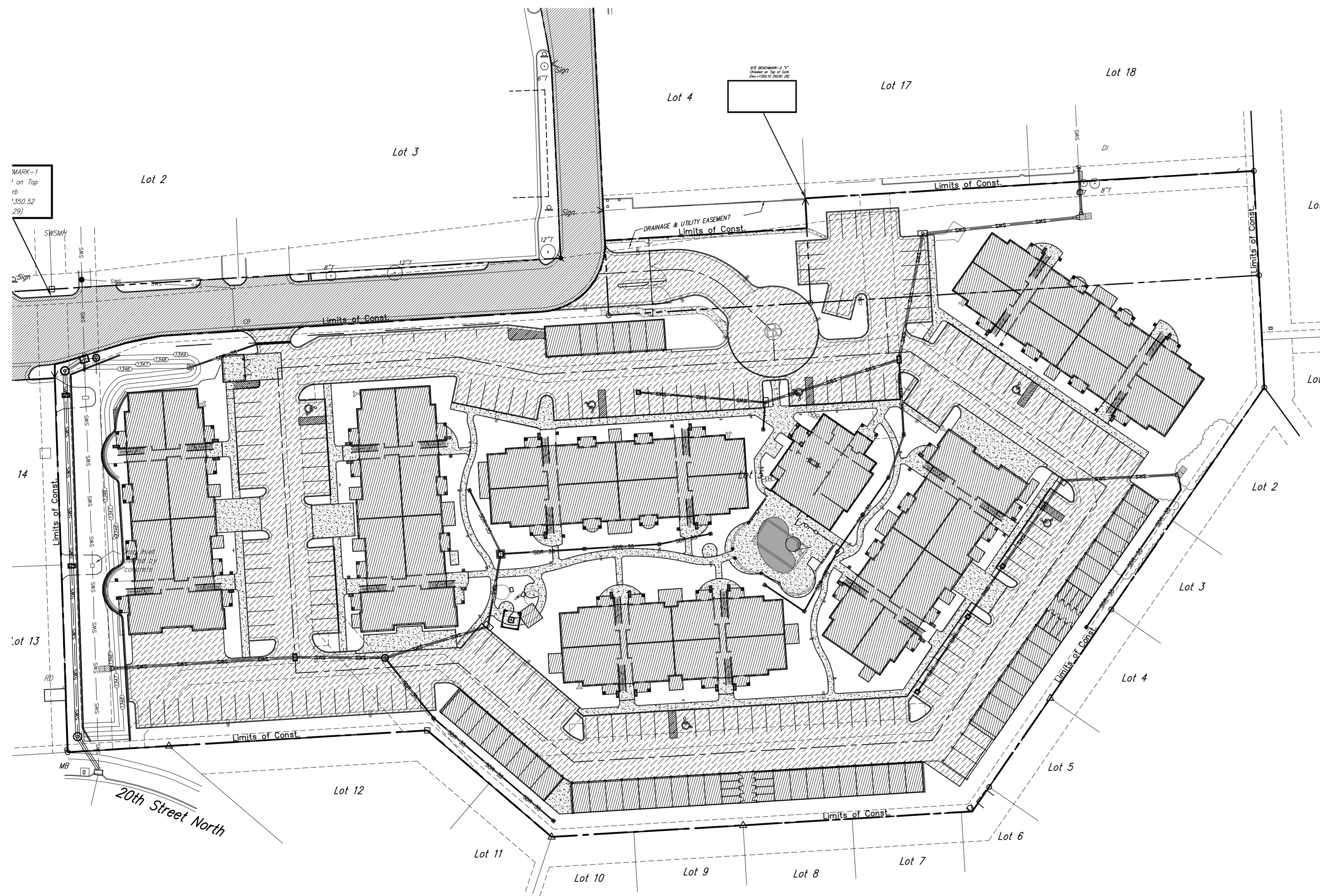
AS BUILT PLANS

CONTRACTOR:	McCullough Excavation
INSPECTOR:	Ryan McCullough P.E., McCullough Excavation
PDF BY:	RDM 8-09-2013

Note: McCullough Excavation is providing As Built information for Storm Sewer Pipe and Structures only. As built information for site grading and other improvements to be provided by others.



Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE



IMPERVIOUS AREA REMOVED

LEGAL DESCRIPTION

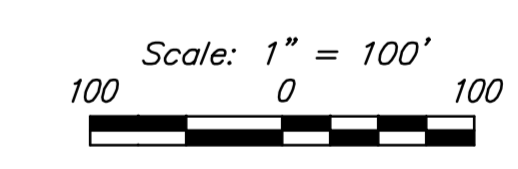
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SITE INFORMATION

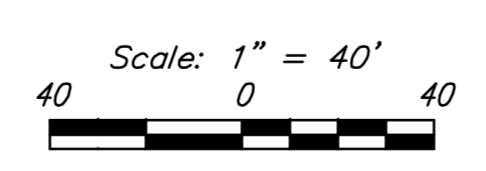
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 Impervious Area: ±172,210 sq. ft. (4.0 acres)
 Building Area: 72,889 sq. ft.
 Parking Provided: 209 Spaces



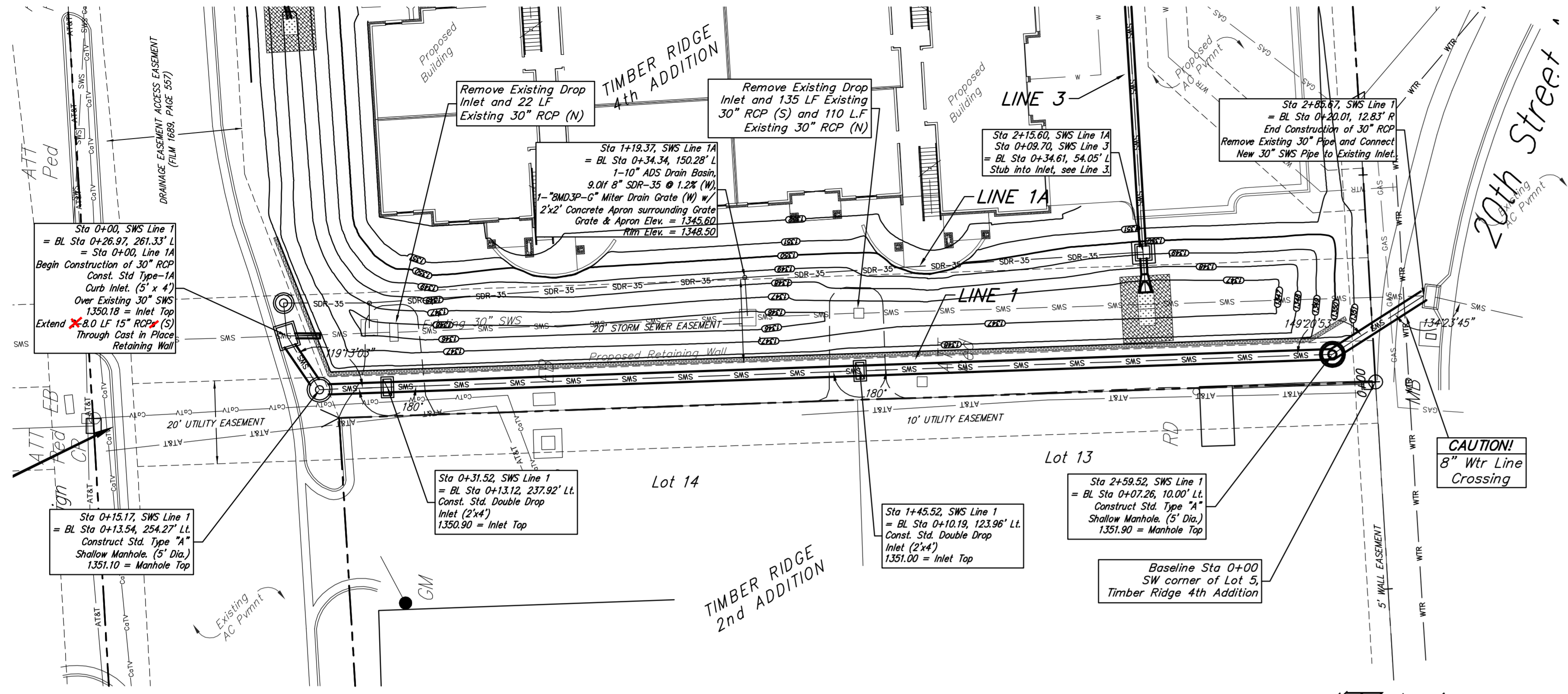
ERU LEGEND

- - - - - = Project Limits
- [Hatched Box] = Ex. Impervious Area to remain
- [Dotted Box] = Prop. Impervious Area.

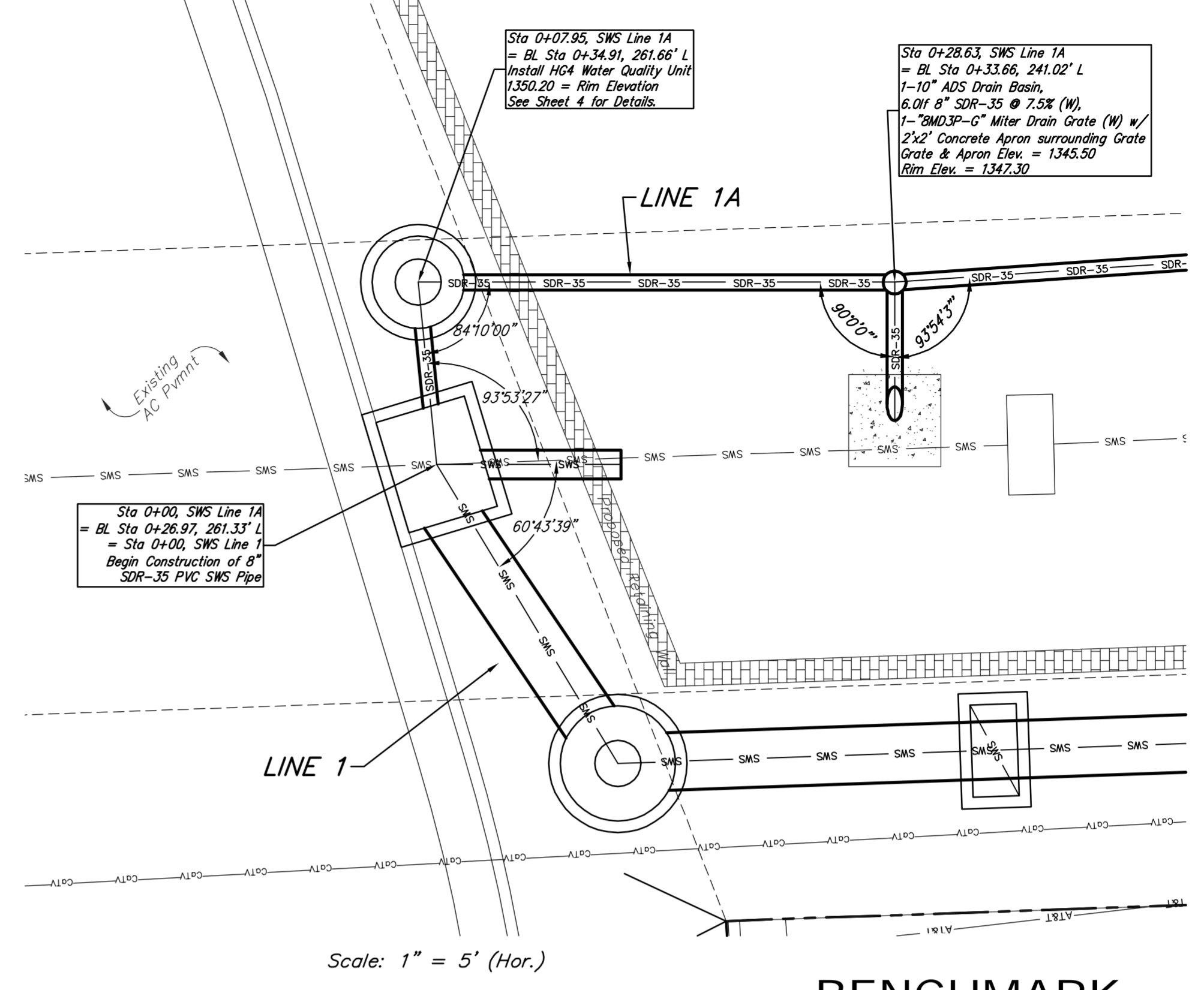
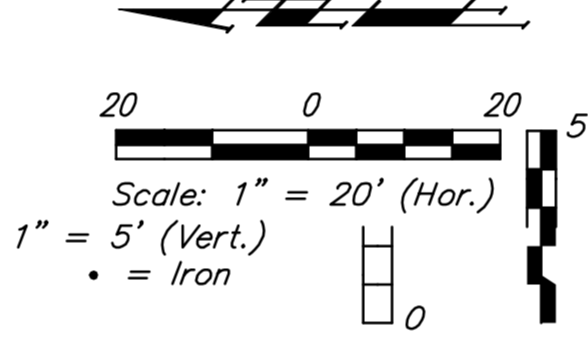
NEW IMPERVIOUS AREA



	TIMBER RIDGE 4th ADDITION ERU PLAN Wichita, Kansas	
	<small>Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316.263.7271 F 316.262.0149 ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE</small>	
PROJECT NUMBER 0097 PPD 607853	DESIGN PSB	DRAWN psb
REVISIONS:	APPROVED PSB	DATE 5/09/12
SCALE Varies		SHEET 2 OF 14
<small>E:\Projects\Brand - Timber Ridge Apartments - 1108-E657\Engineering\BAPT_PPD.dwg</small>		

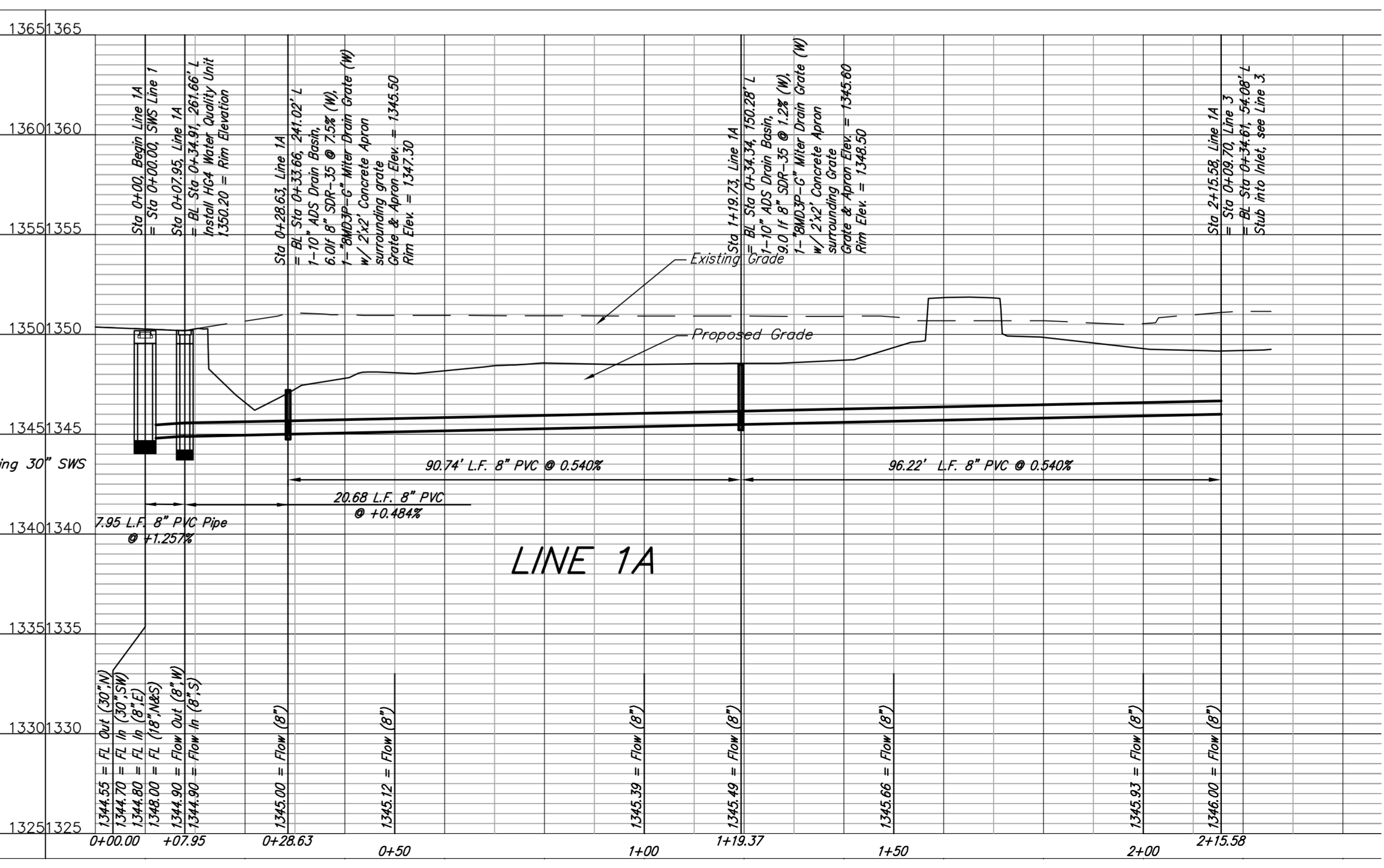
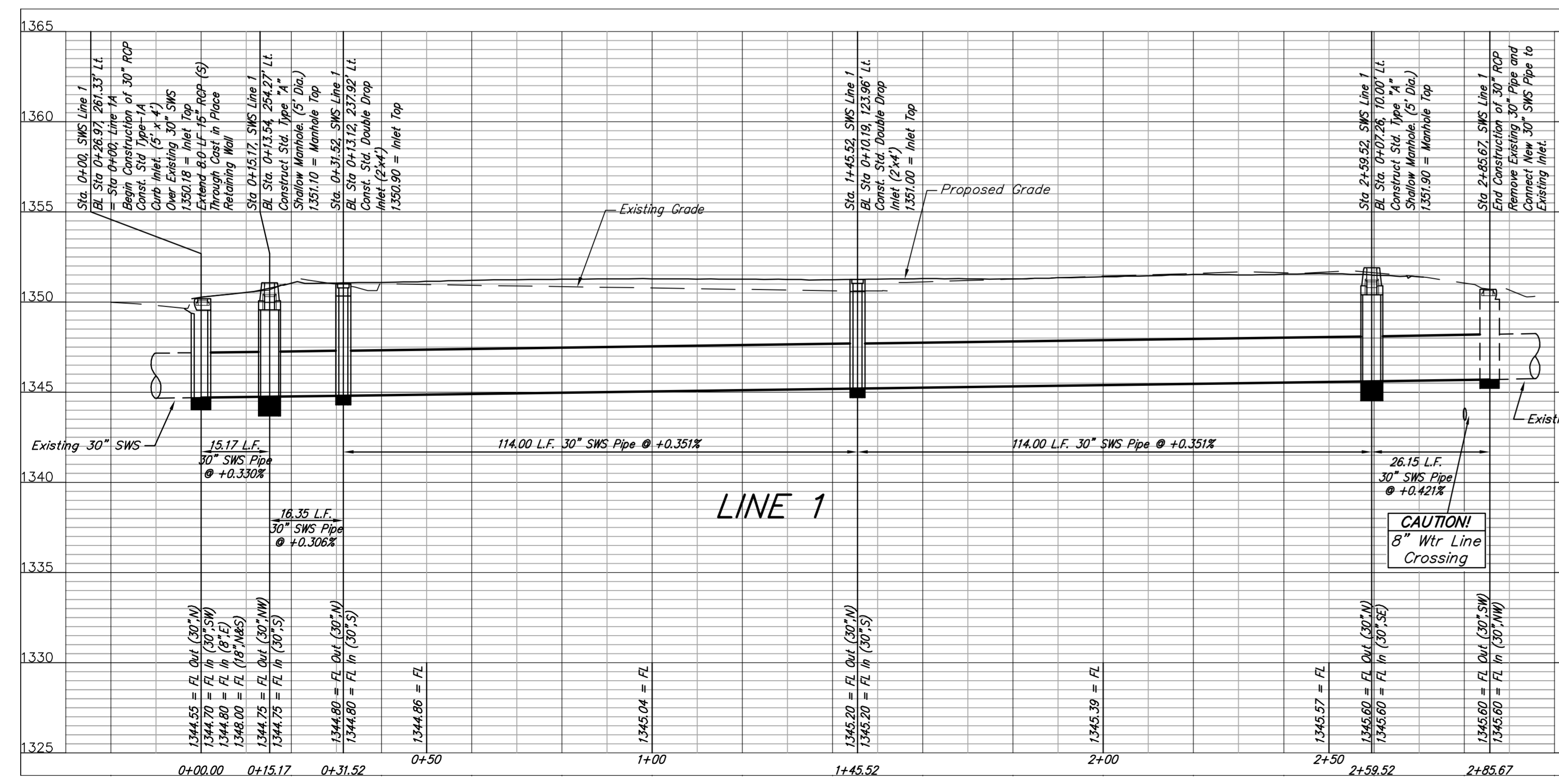


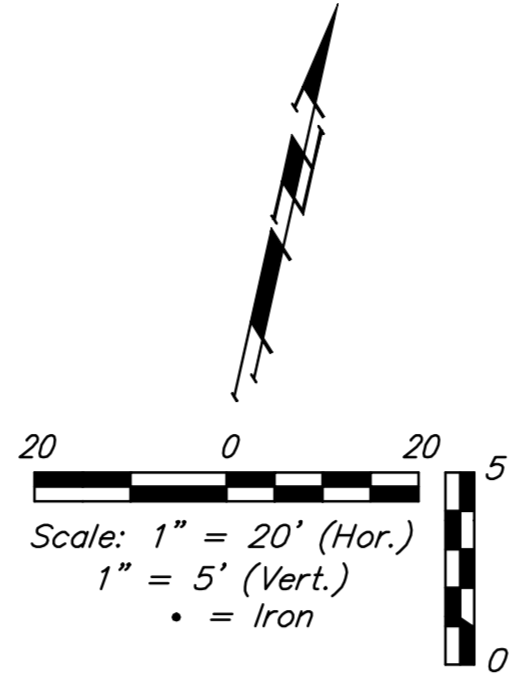
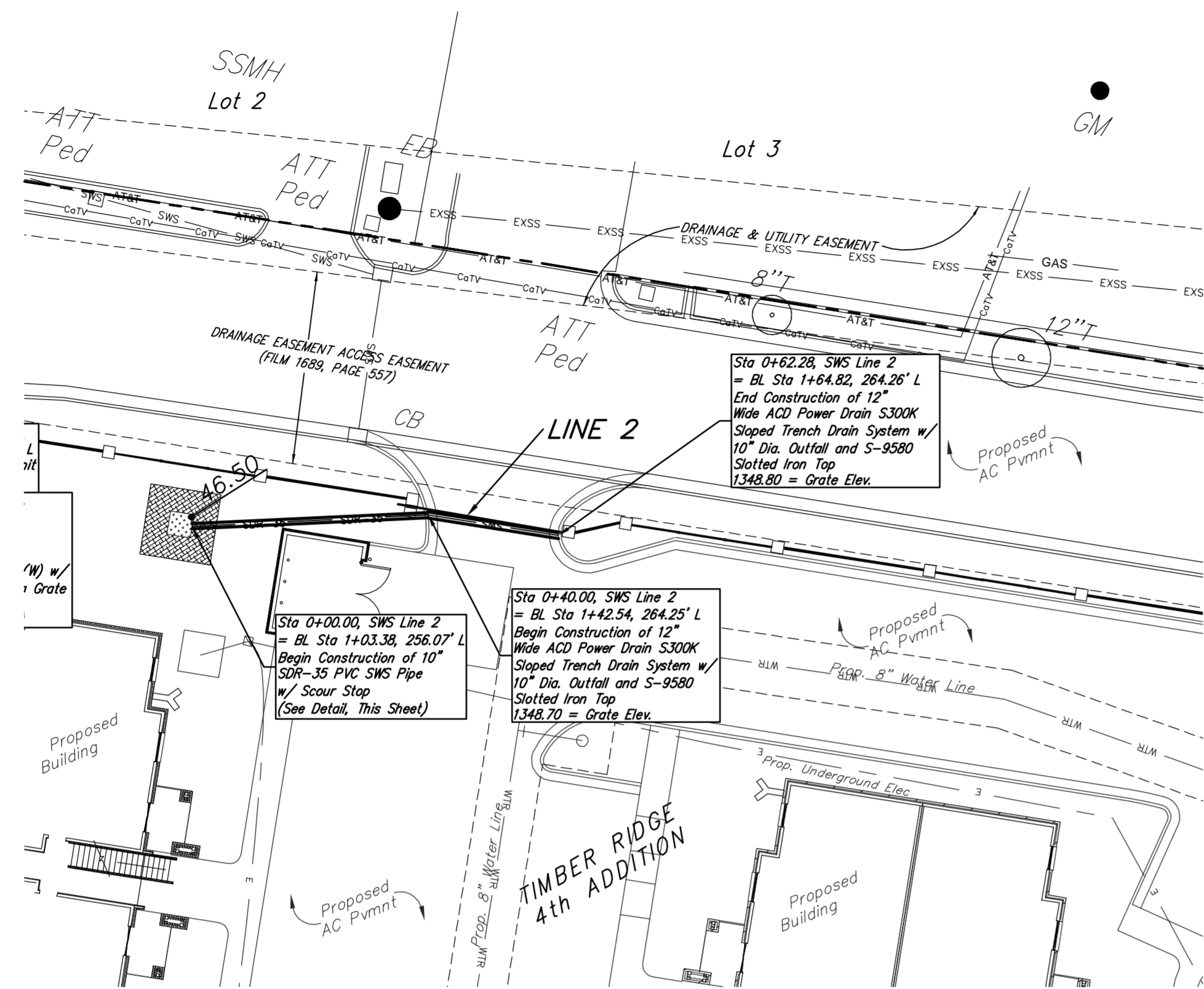
Profile View of SWS Line 1



BENCHMARK

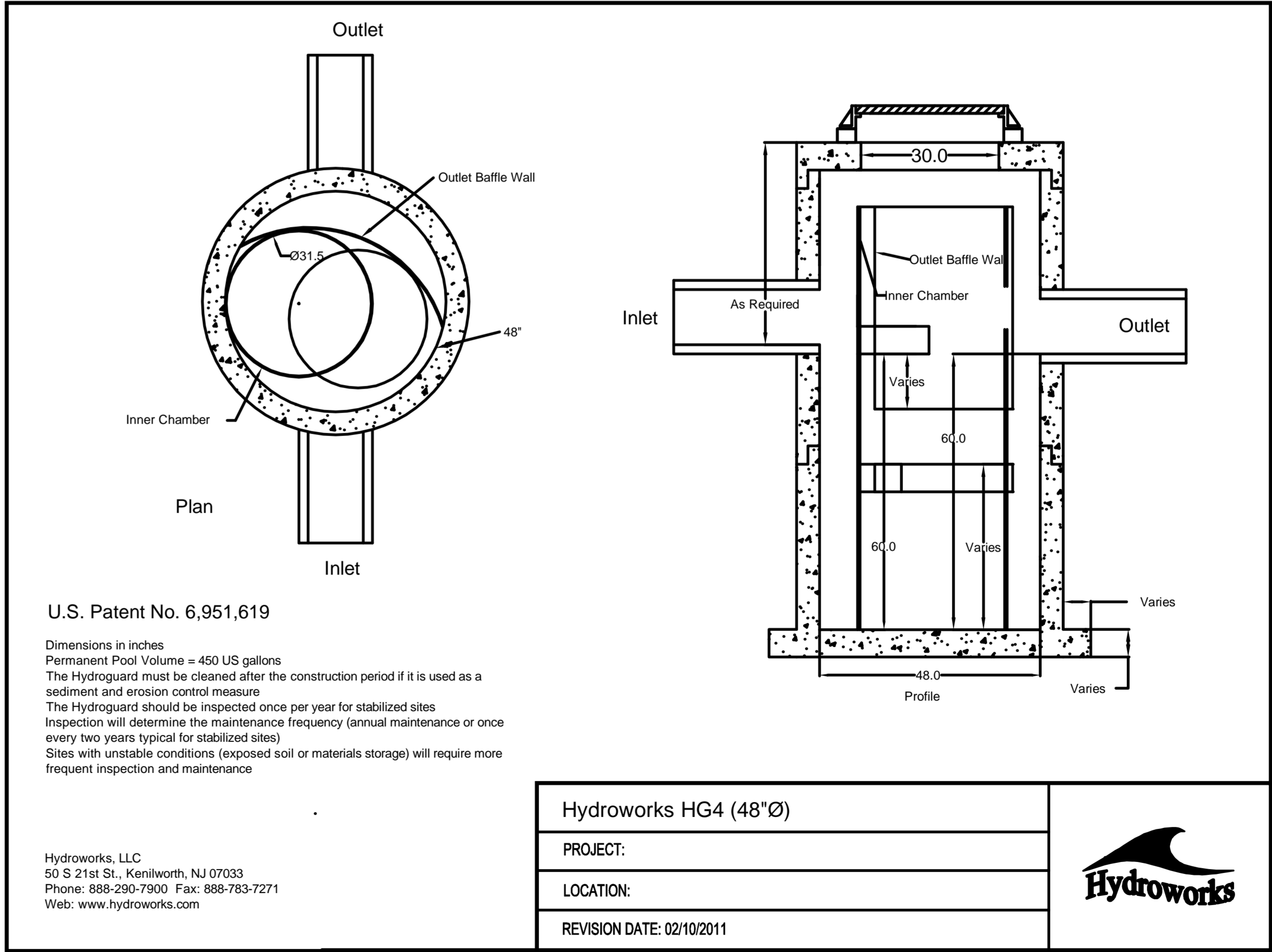
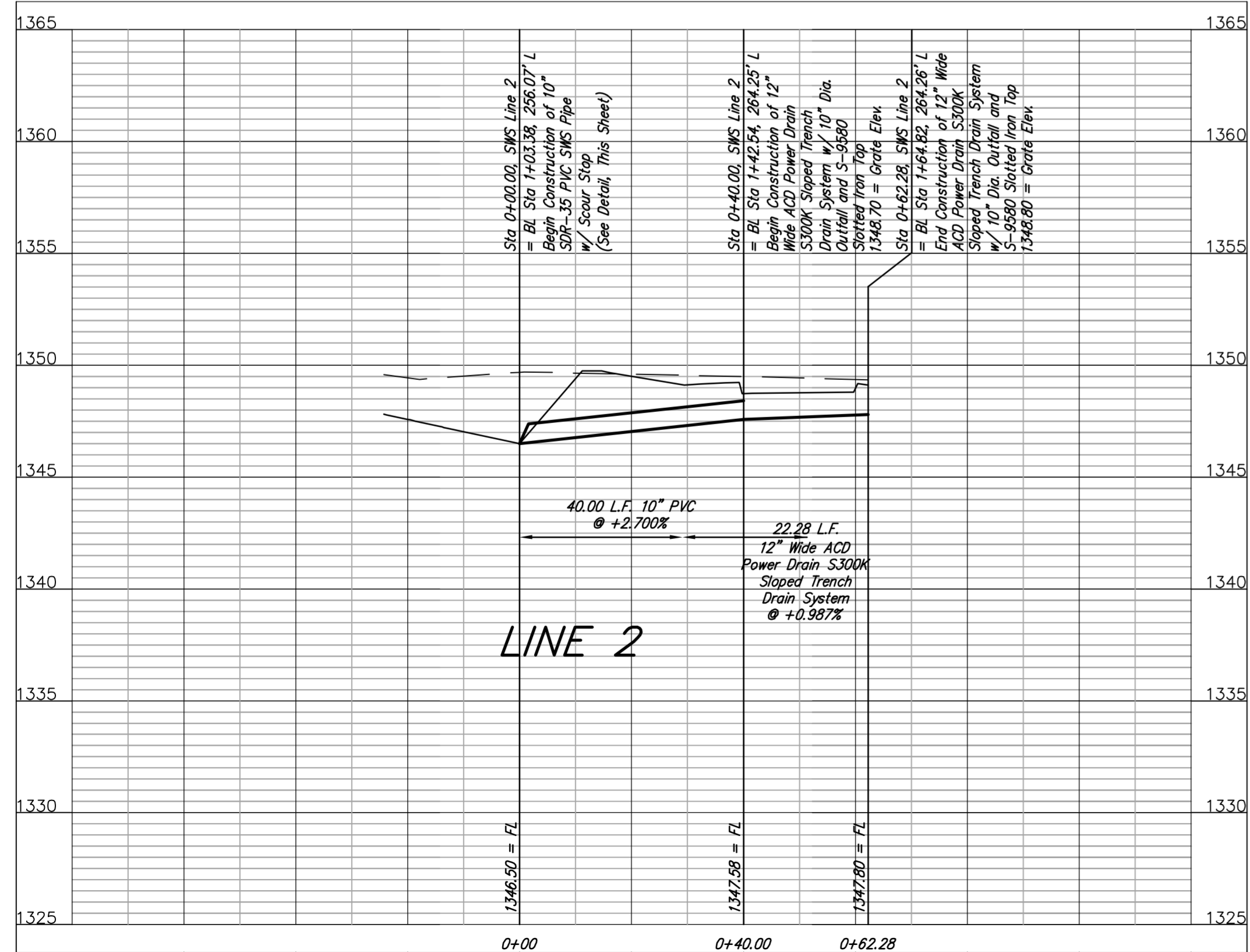
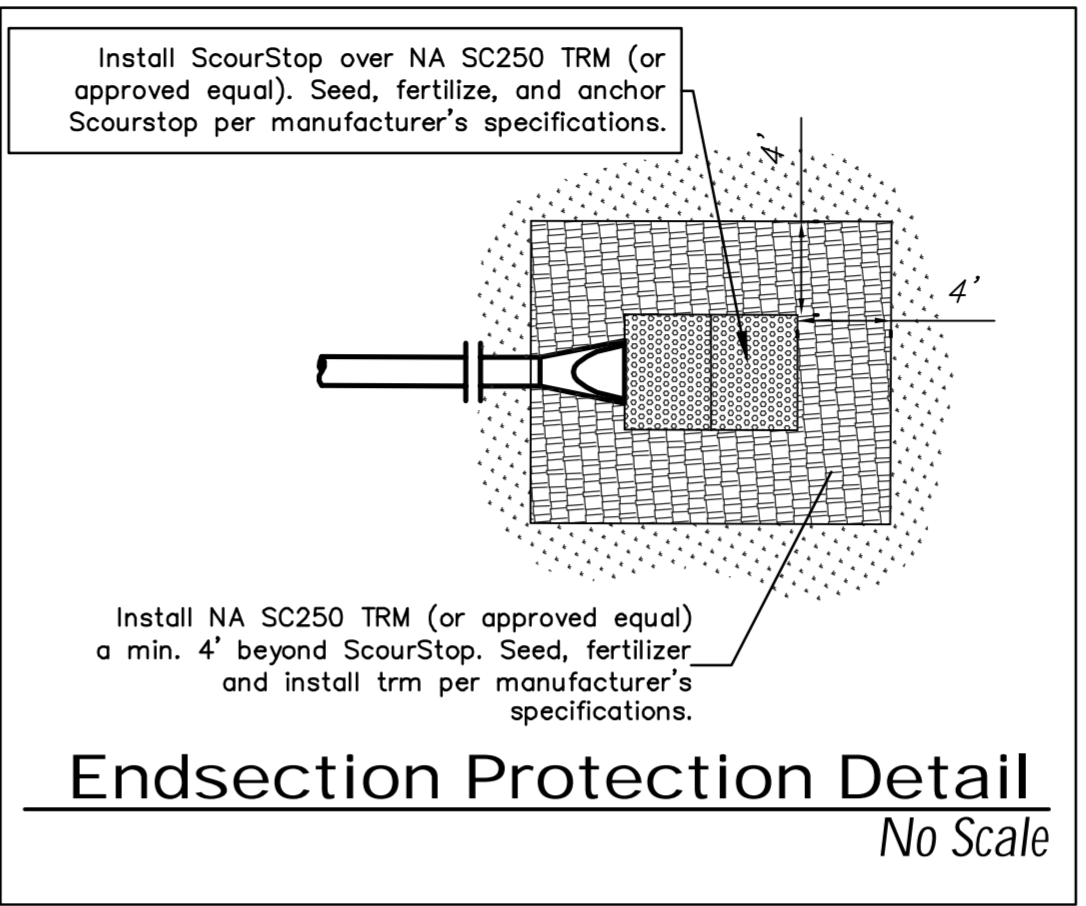
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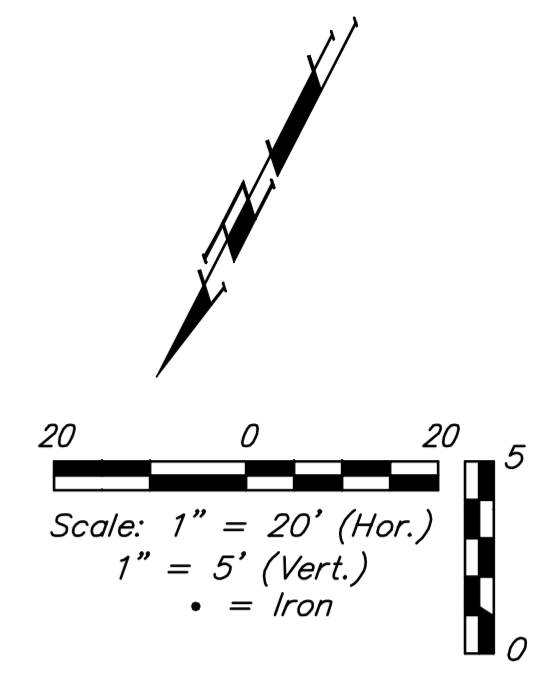
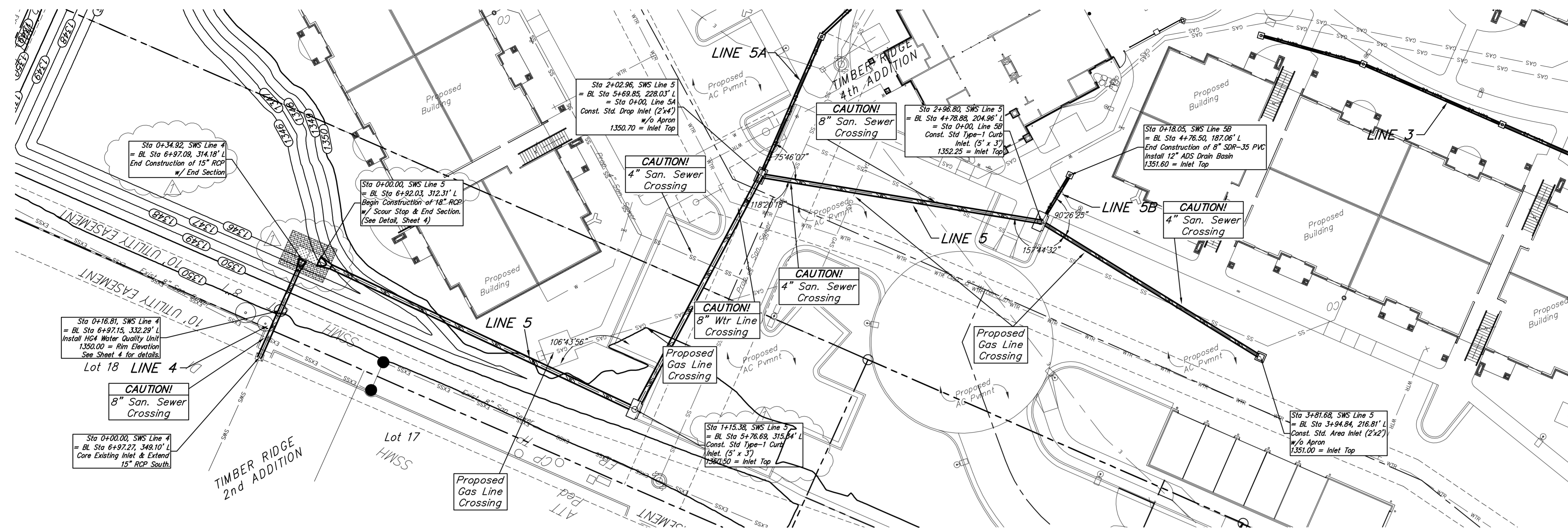
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Baughman Company, P.A.
 315 E.H.S. Wichita, KS 67211 P:316-262-7271 F:316-262-0149
 2000 W. 16th St., Lawrence, KS 66044
 1101 E. Prospect Blvd., Timber Ridge, Apartments - 11-08-1857 Engineering-02-10-11

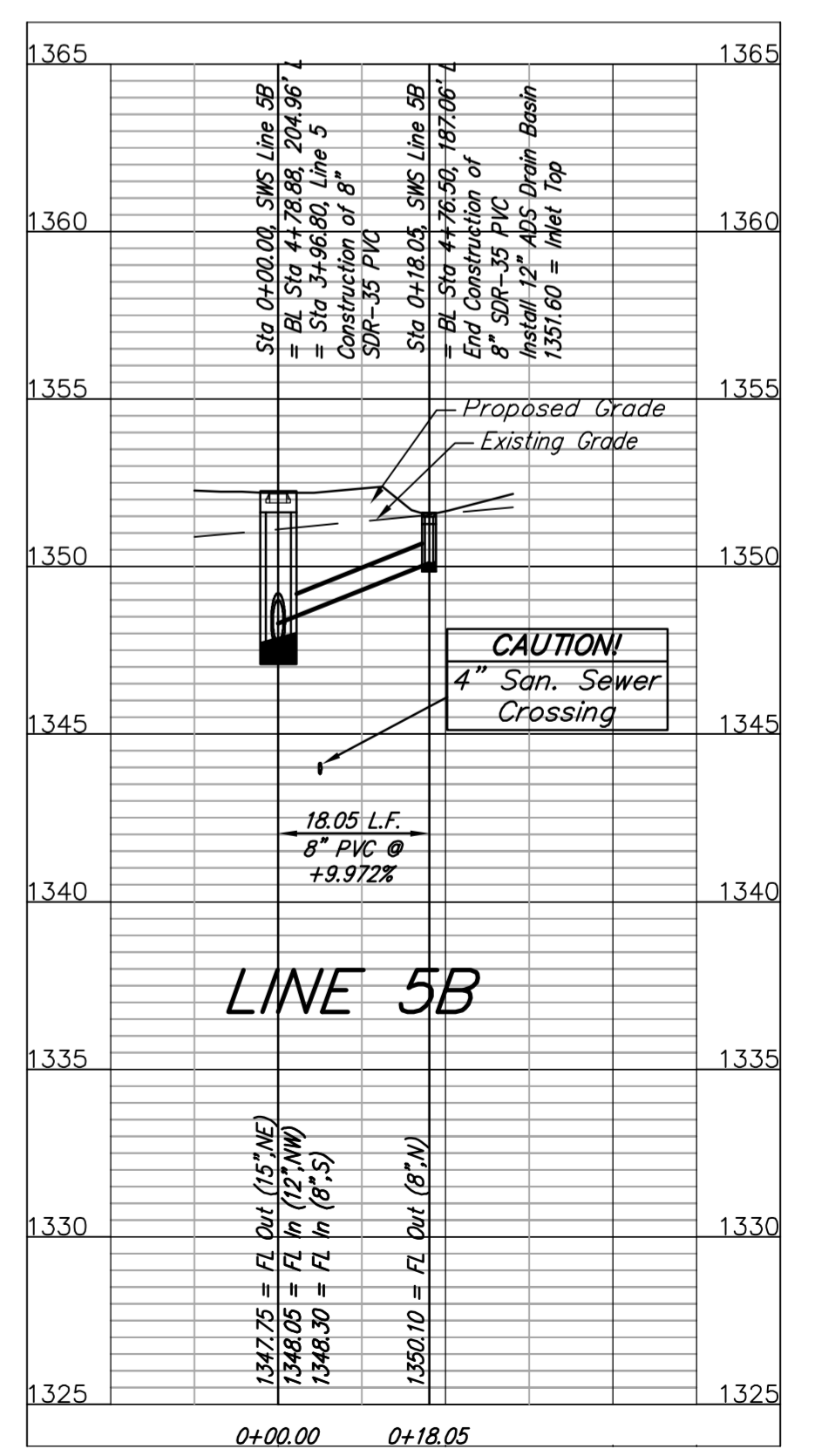
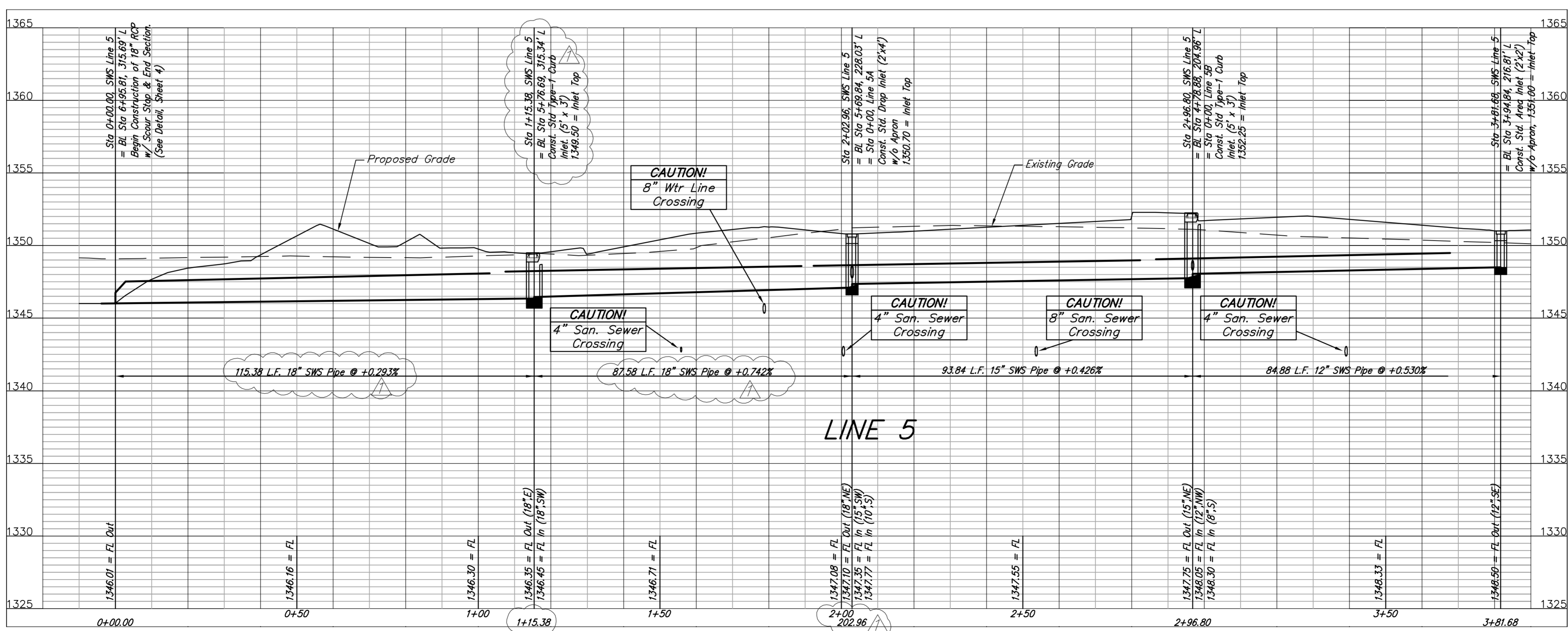
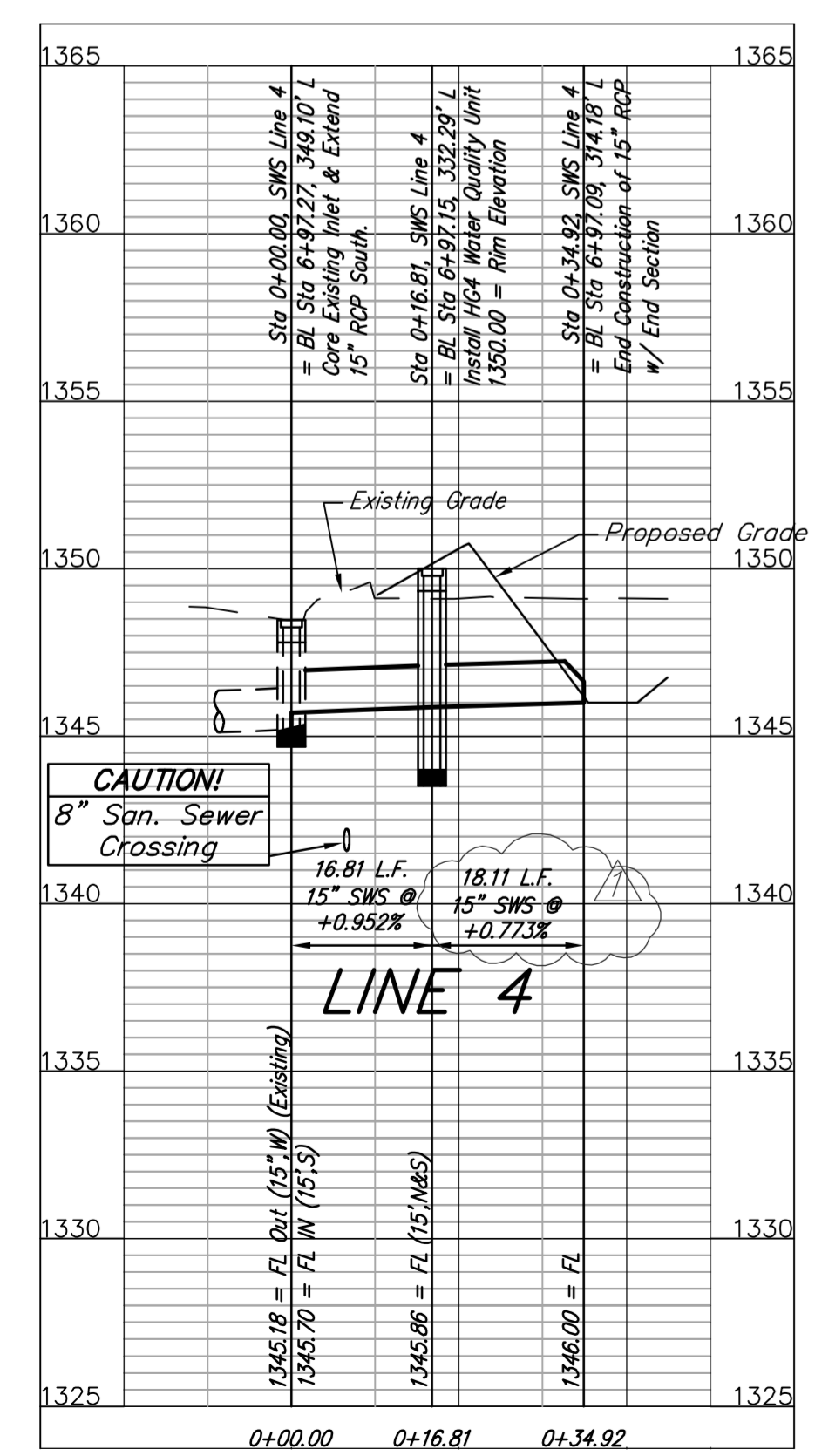
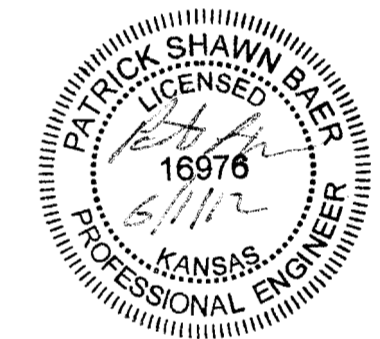
TIMBER RIDGE 4th ADDITION
LINE 2
 Drainage Improvements

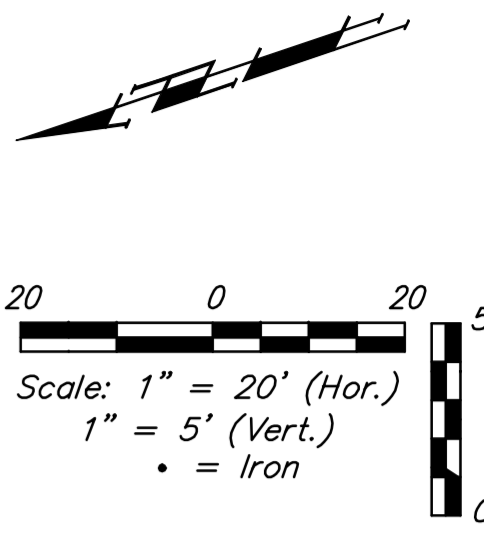
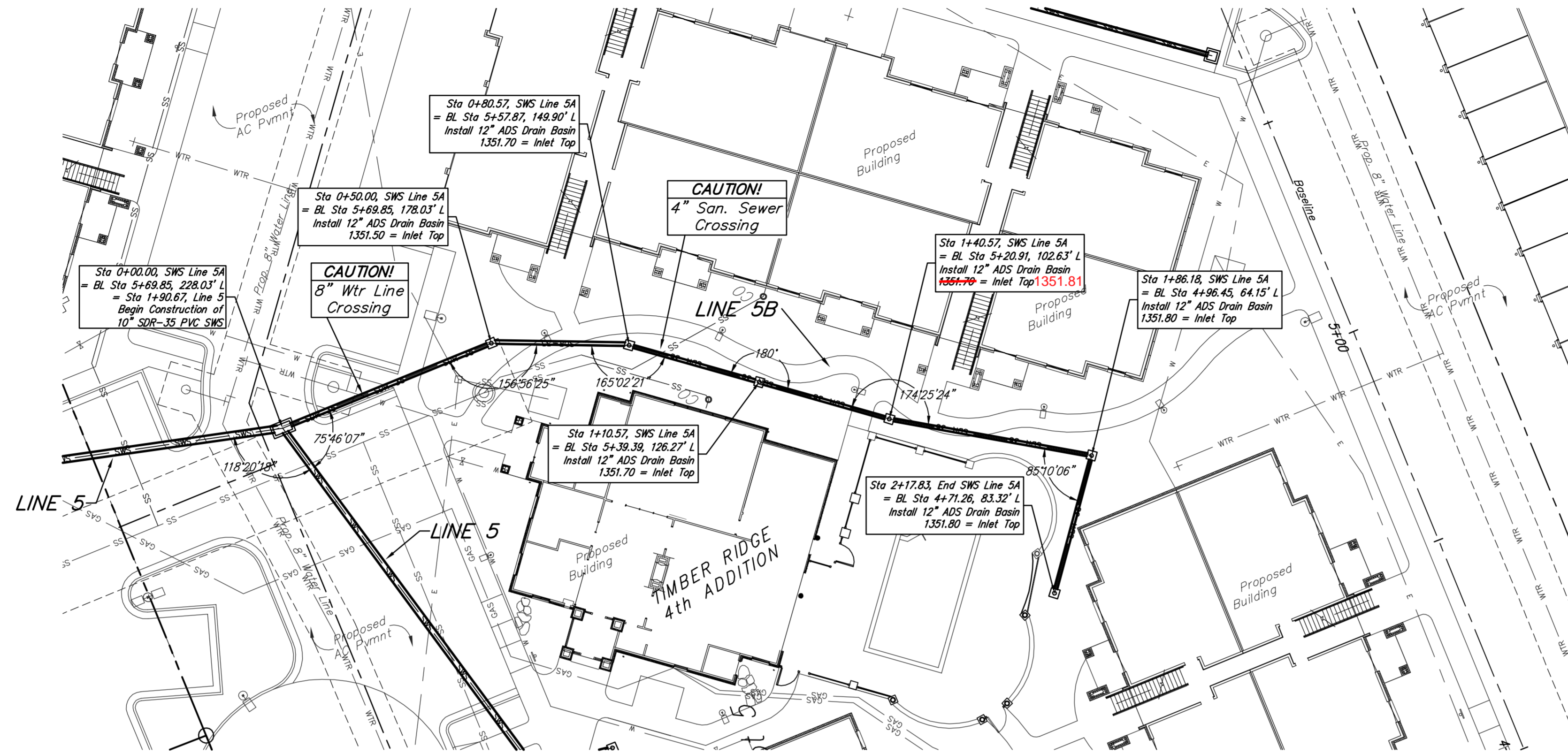


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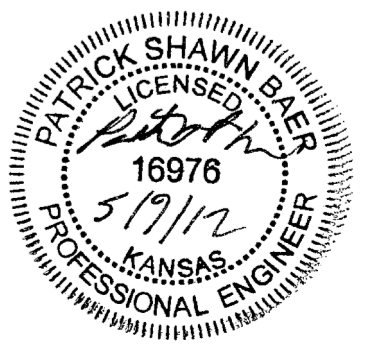
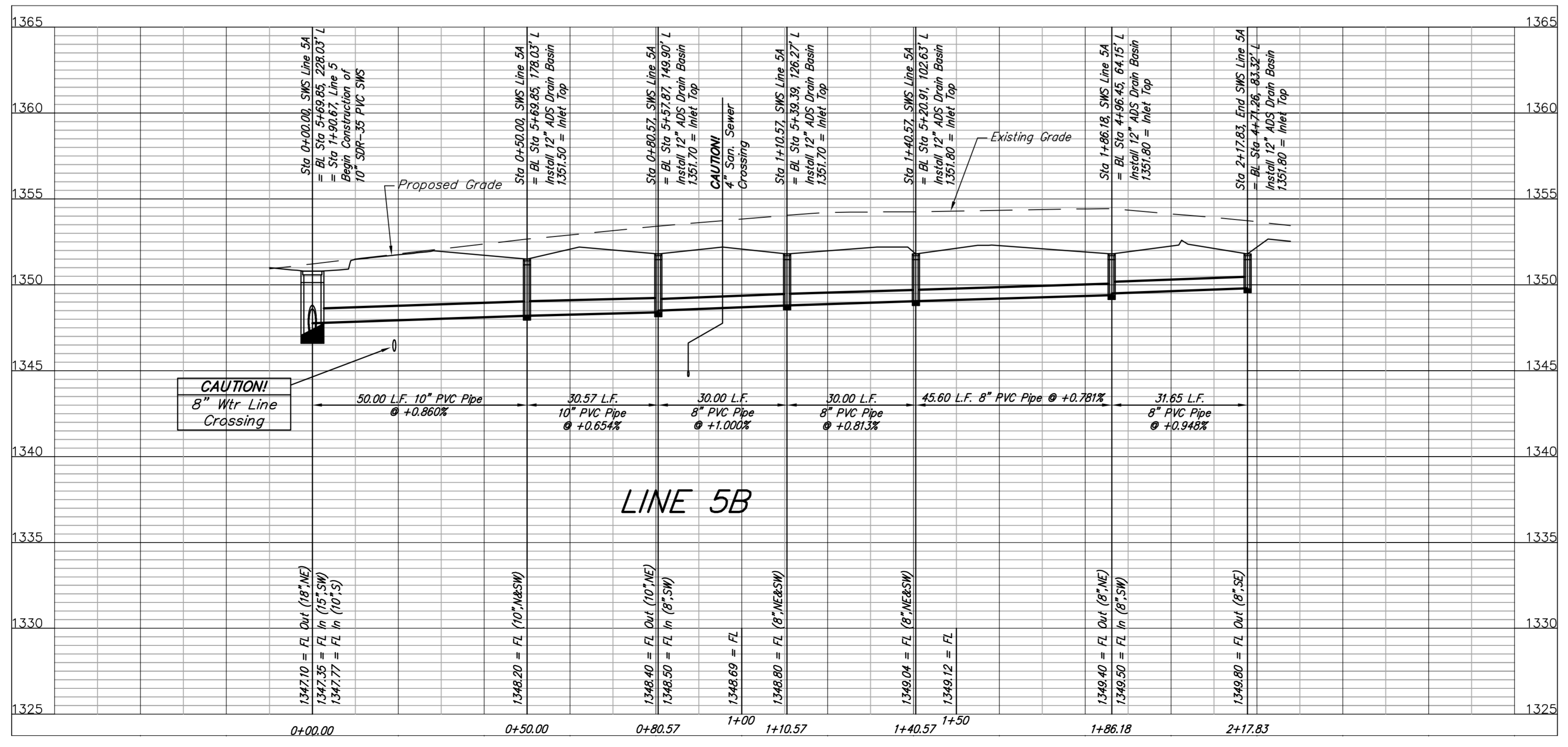
Contractor to verify depth & location of existing inlet prior to construction.

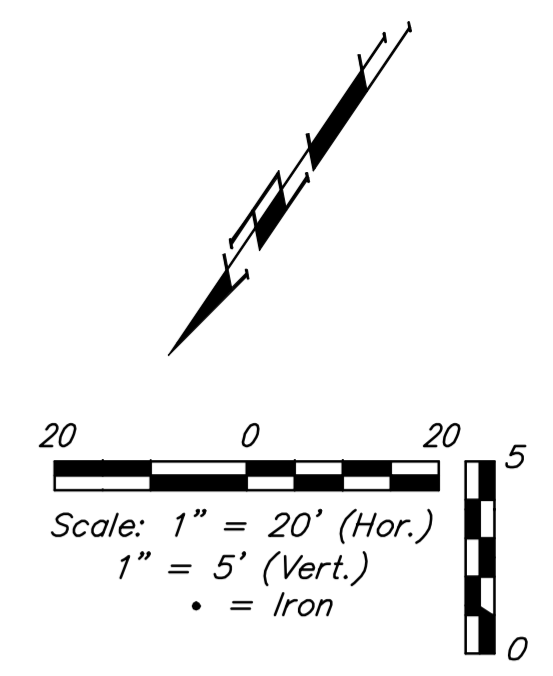
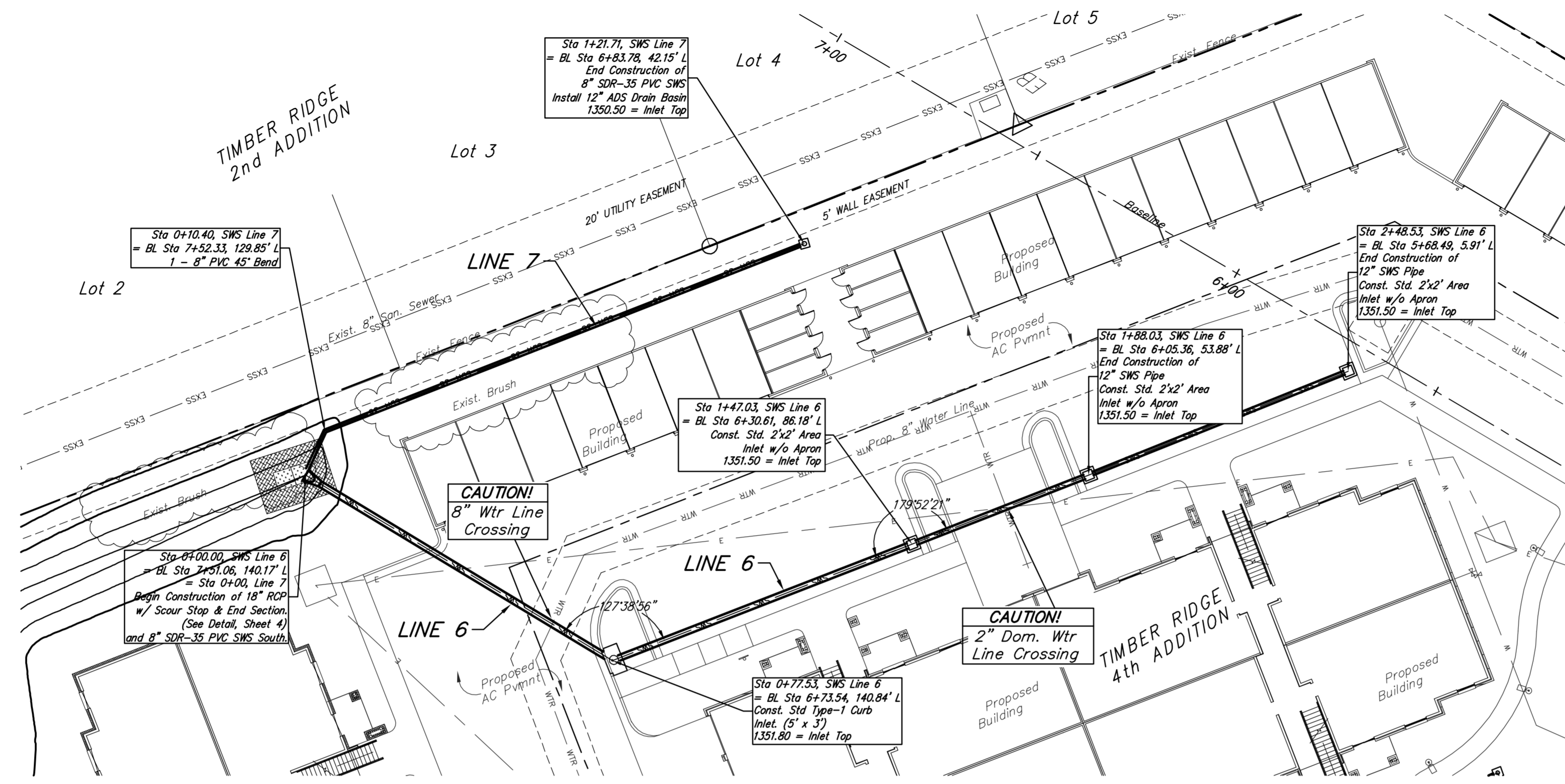




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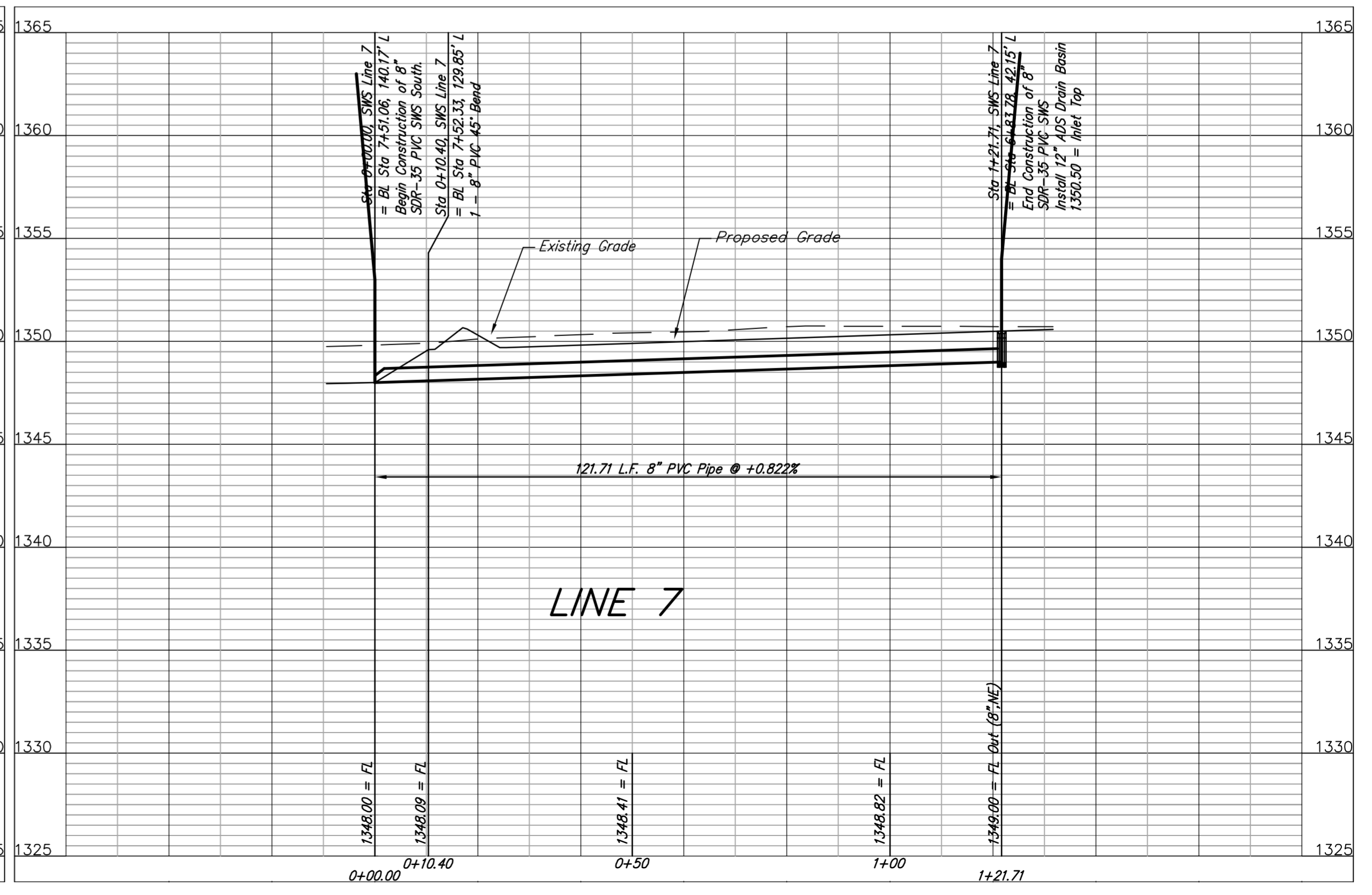
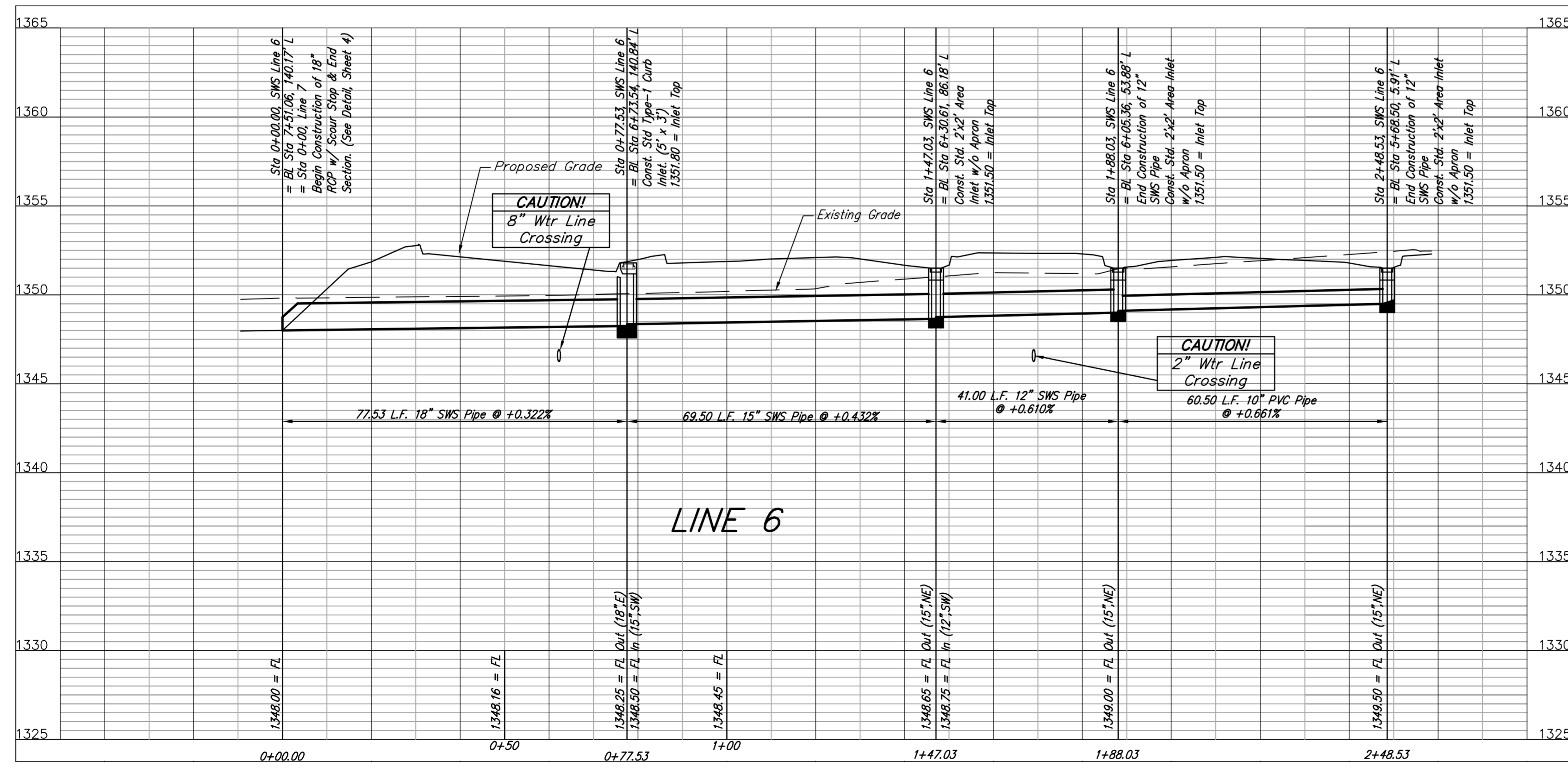
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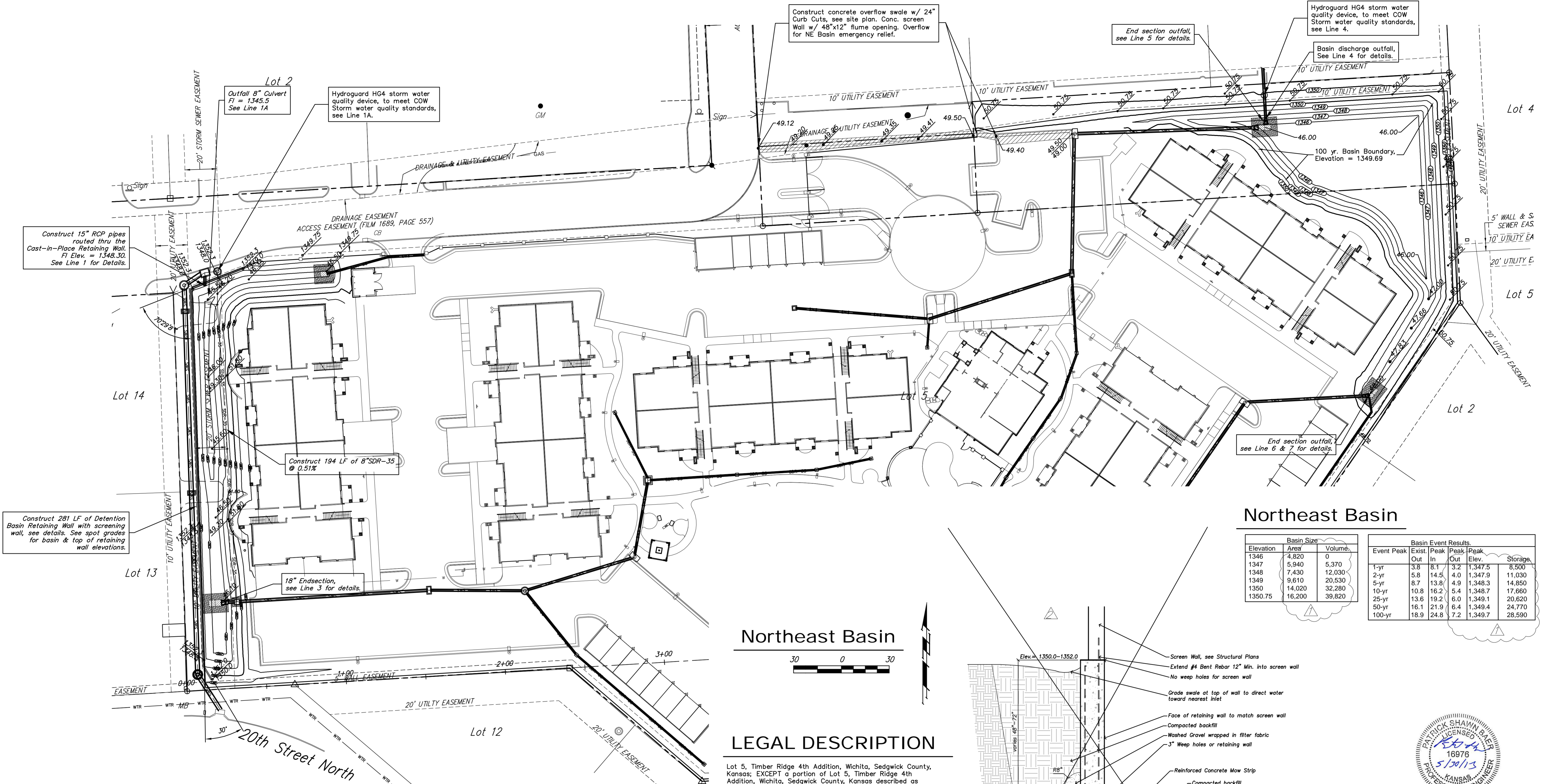




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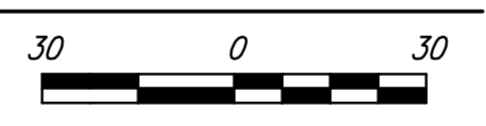




Northeast Basin

Basin Size			Basin Event Results					
Elevation	Area	Volume	Event Peak	Exist. Peak	Peak In	Peak Out	Storage	
1346	4,820	0	1-yr	3.8	8.1	3.2	1,347.5	8,500
1347	5,940	5,370	2-yr	5.8	14.5	4.0	1,347.9	11,030
1348	7,430	12,030	5-yr	8.7	13.8	4.9	1,348.3	14,850
1349	9,610	20,530	10-yr	10.8	16.2	5.4	1,348.7	17,660
1350	14,020	32,280	25-yr	13.6	19.2	6.0	1,349.1	20,620
1350.75	16,200	39,820	50-yr	16.1	21.9	6.4	1,349.4	24,770
			100-yr	18.9	24.8	7.2	1,349.7	28,590

Northeast Basin

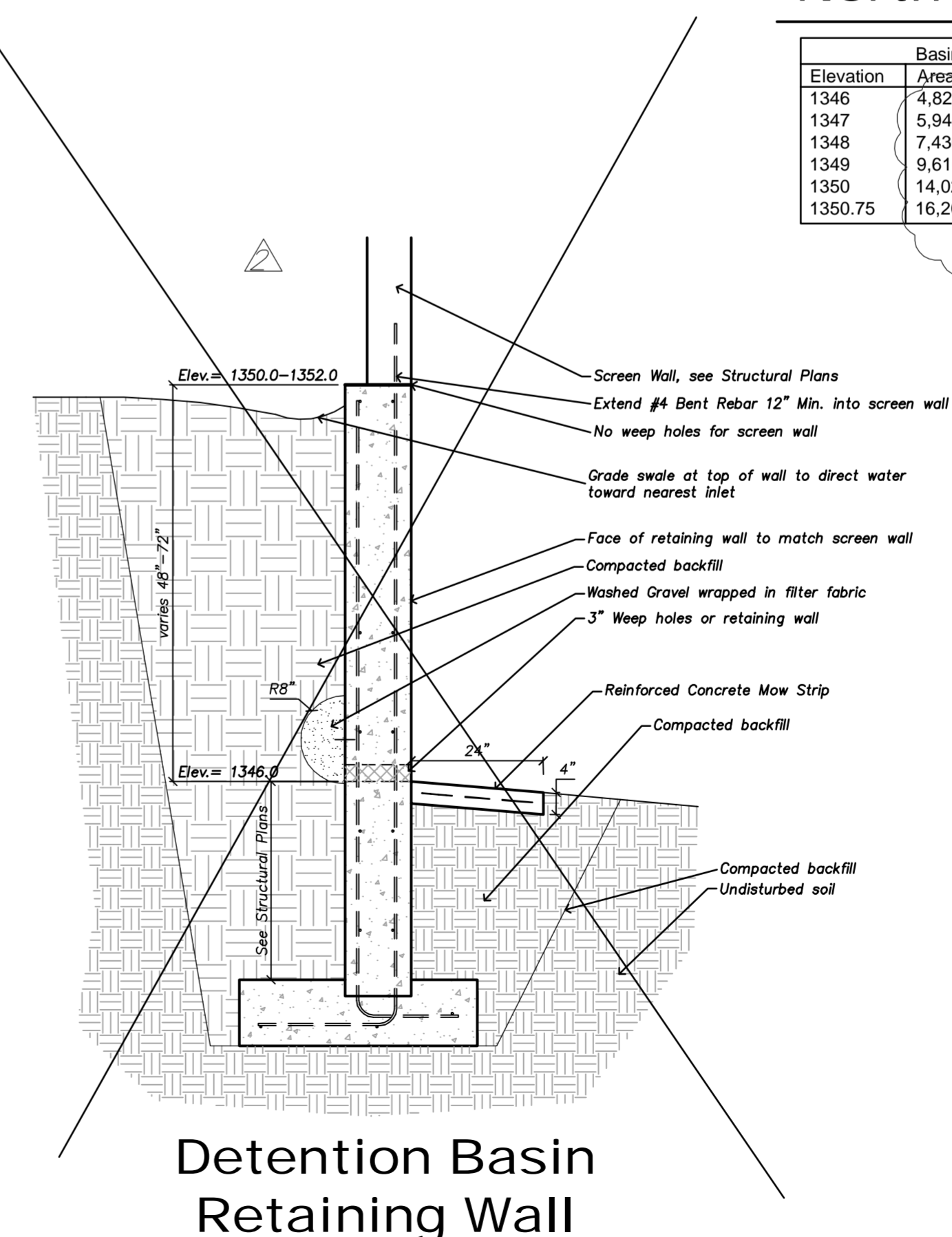


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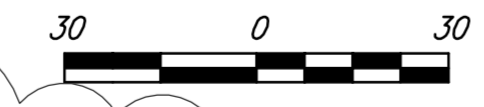
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Detention Basin Retaining Wall

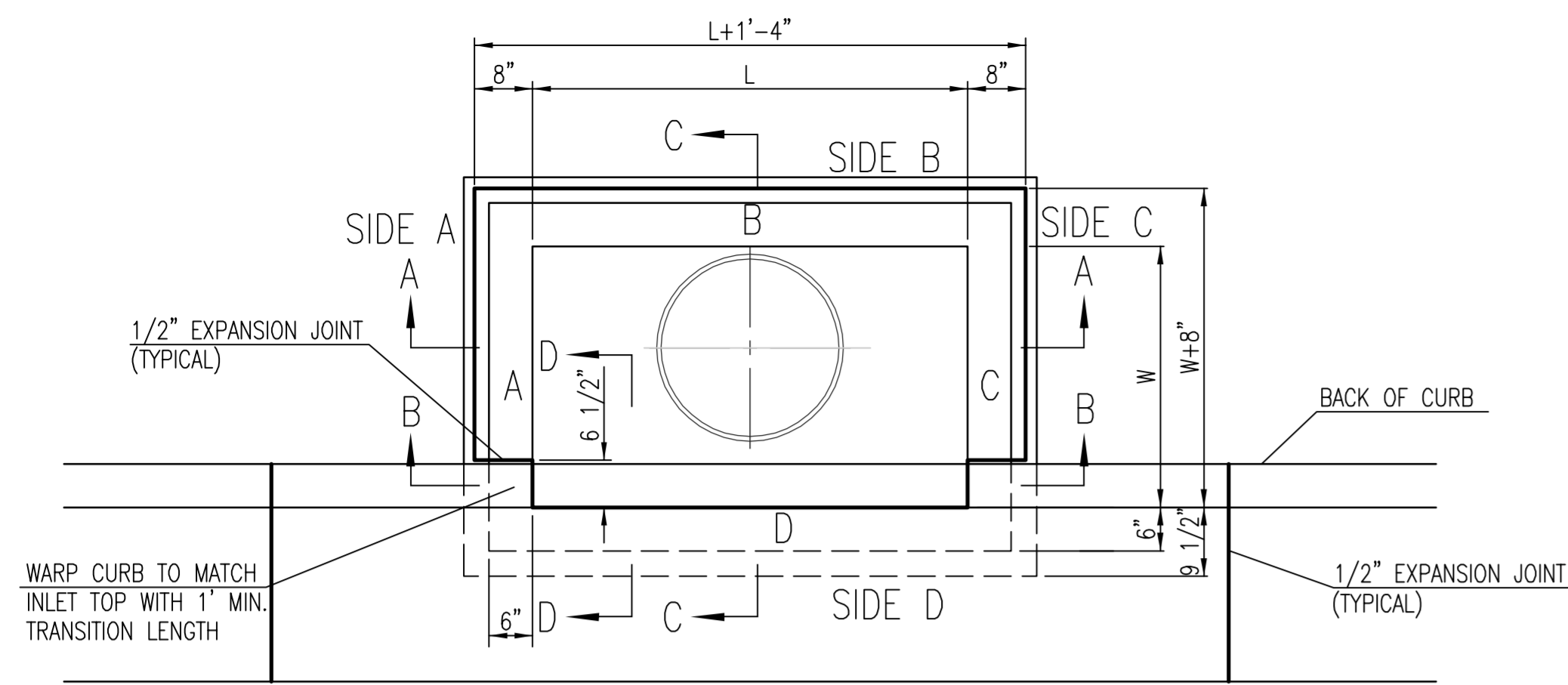
West Basin



Basin Size			Basin Event Results					
Elevation	Area	Volume	Event Peak	Exist. Peak	Peak In	Peak Out	Storage	
1345.5	0	0	1-yr	2.9	6.9	2.5	1,348.0	4,780
1346	420	70	2-yr	4.3	8.9	3.4	1,348.4	6,810
1347	2,320	1,345	5-yr	6.5	11.8	5.5	1,348.8	9,100
1348	4,570	4,775	10-yr	8.1	13.8	6.9	1,349.1	10,560
1349	6,190	10,130	25-yr	10.2	16.3	7.6	1,349.5	13,280
1350	7,570	17,000	50-yr	12.1	18.6	8.9	1,349.7	15,200
1351	8,100	24,840	100-yr	14.2	21.1	13.7	1,349.9	16,360



Detention Basin Wichita, Kansas	
Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316.262.7271 F 316.262.0149 ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE	
PROJECT NUMBER 0097 PPD 607853	DESIGN PSB DRAWN psb
REVISIONS: 5/29/12 psb Rev. NE Basin with 12" Frodoard & overflow weir. 6/1/12 psb Revised Basin & SWS LNS for screening wall shift.	APPROVED PSB DATE 5/09/12
SCALE varies	
SHEET 10 OF 14	



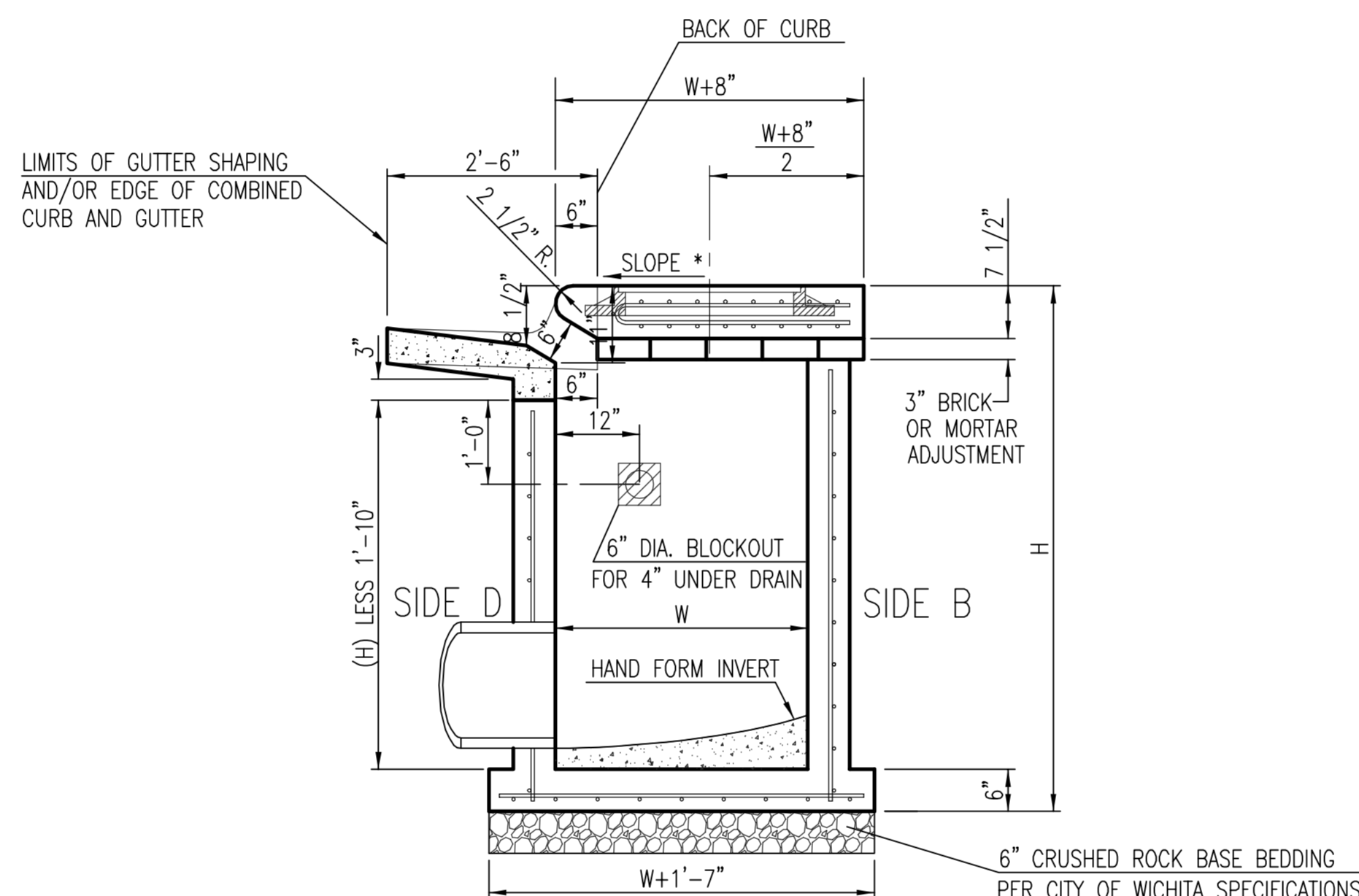
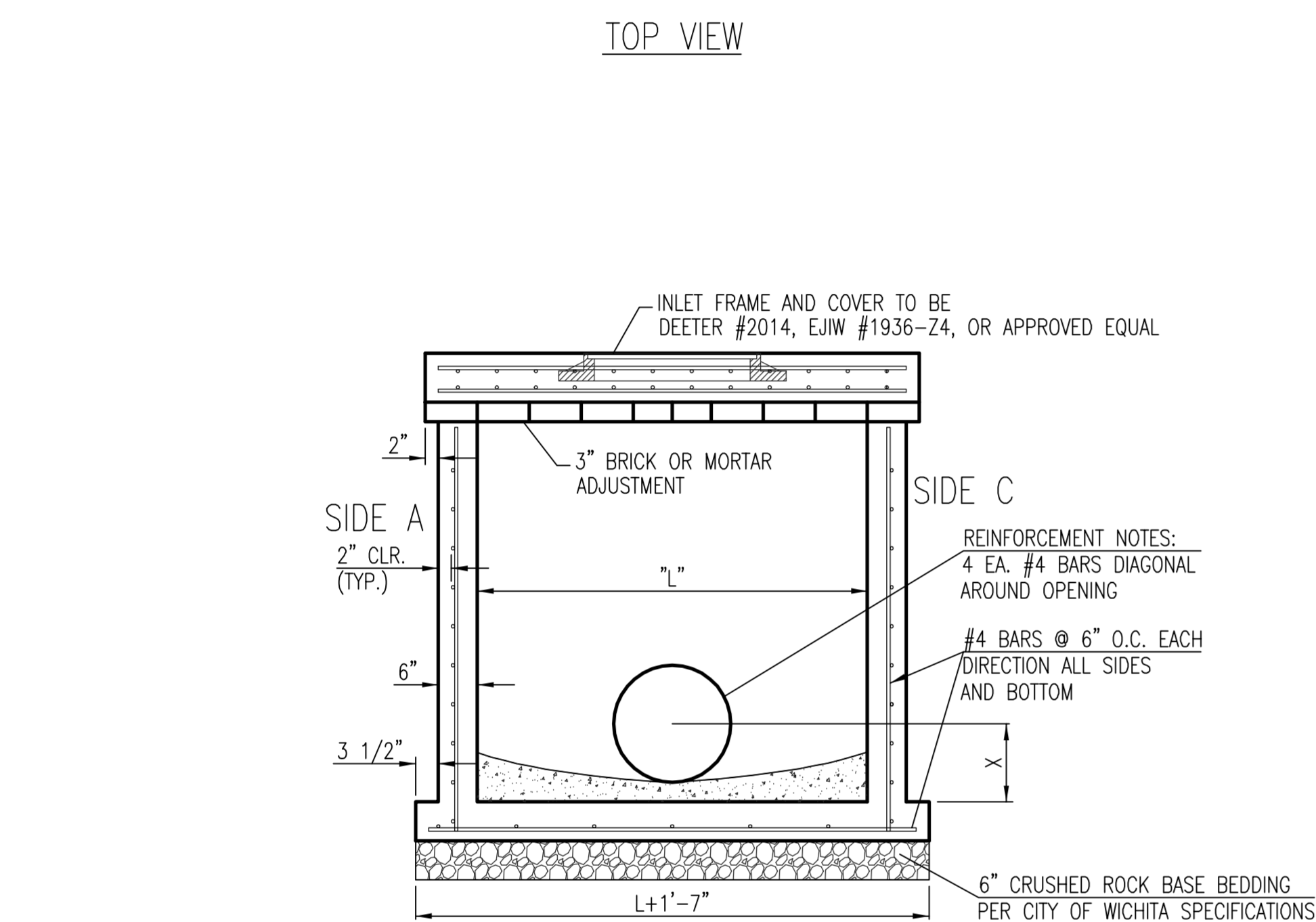
BAR SCHEDULE		
INLET OPENING	B1 BARS	SPACING
5'-0"	#4	4"
10'-0"	#6	3.5"

PRECAST CURB INLET WIDTHS				
W	PRE-CAST TOP SIZE			PIPE DIA.**
	WIDTH	LENGTH	TOP	
3'-0"	W+8"	L+1'-4"	7 1/2"	21" & SMALLER
4'-0"	W+8"	L+1'-4"	7 1/2"	24" & 30"
5'-0"	W+8"	L+1'-4"	7 1/2"	36" & 42"
6'-0"	W+8"	L+1'-4"	7 1/2"	48" & 54"
7'-0"	W+8"	L+1'-4"	7 1/2"	60" & 66"

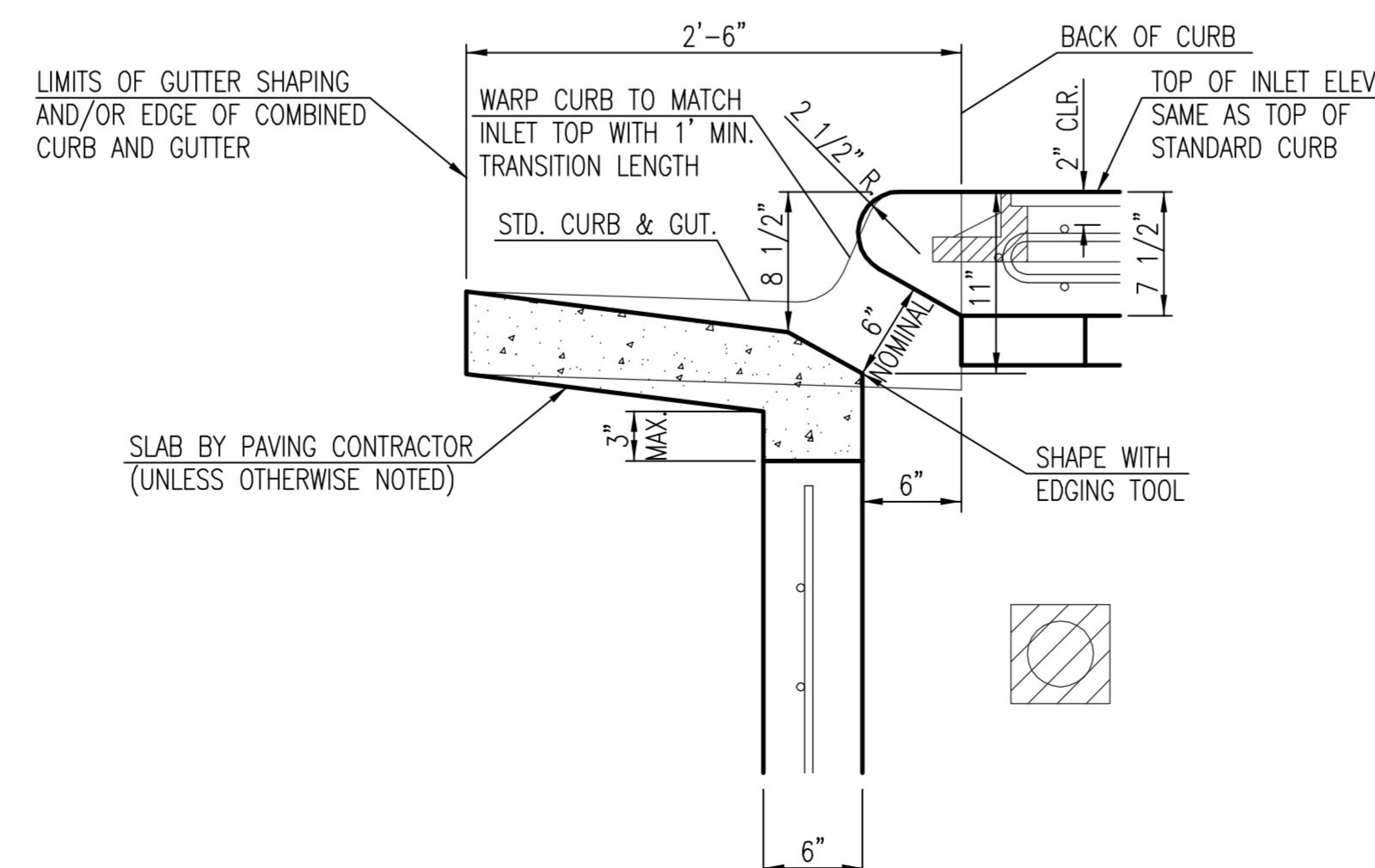
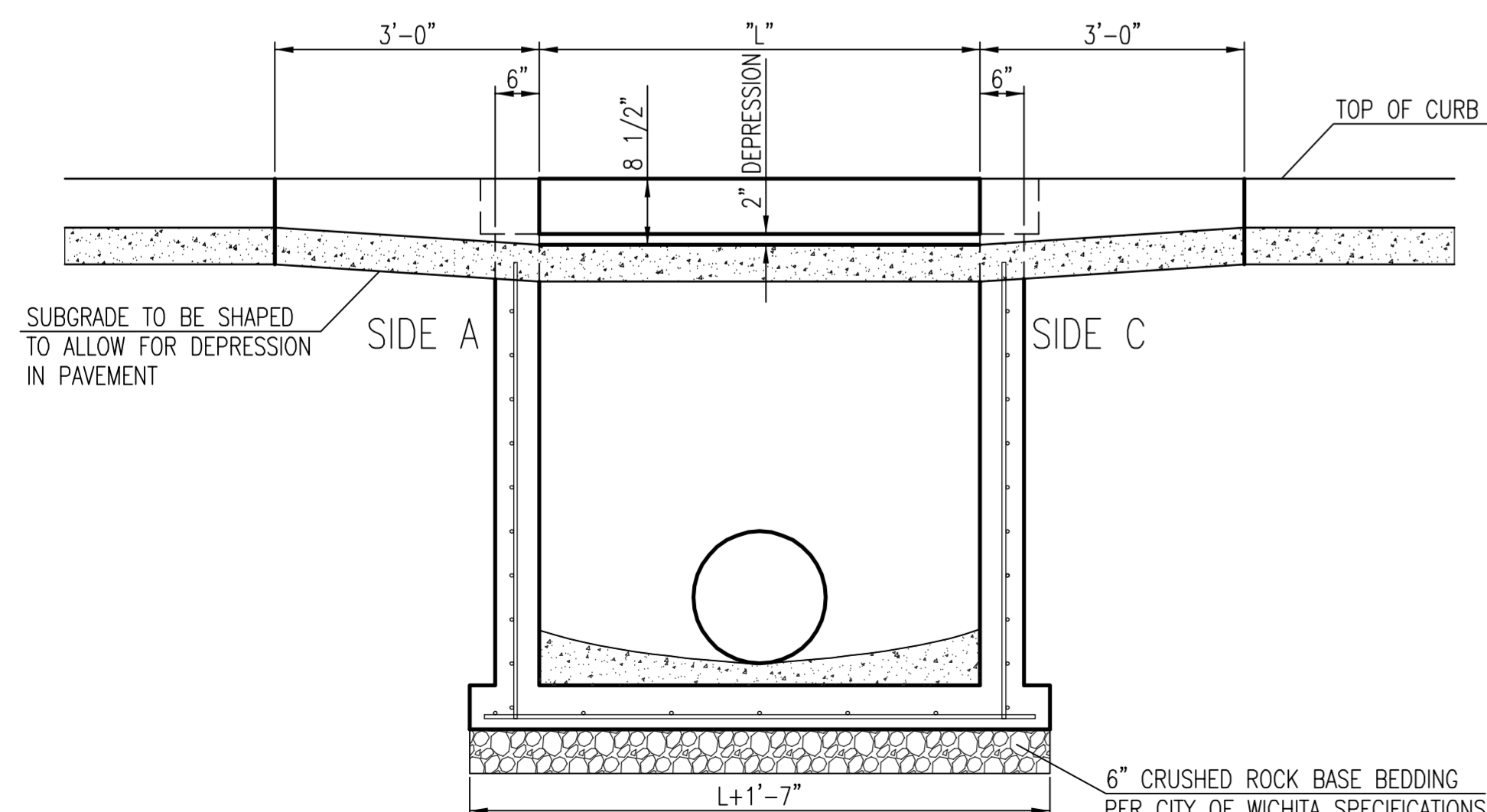
** FOR PIPES PERPENDICULAR TO INLET WALL

GENERAL NOTES

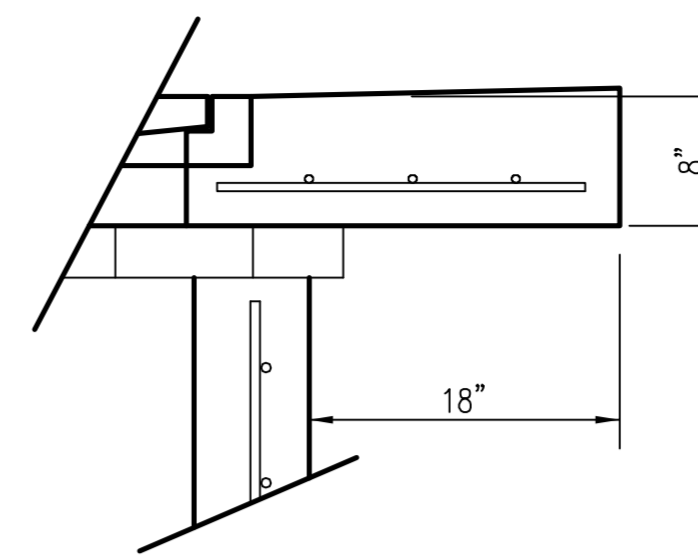
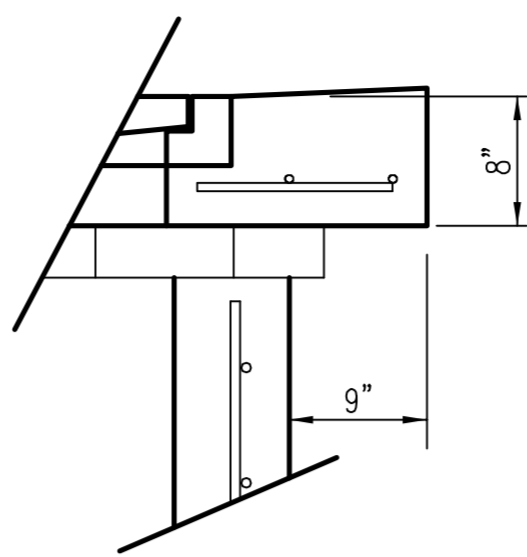
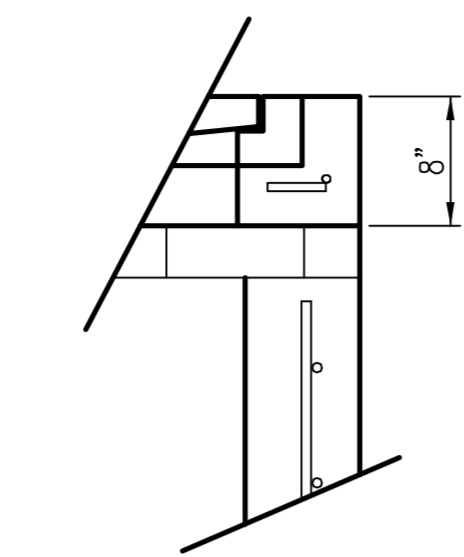
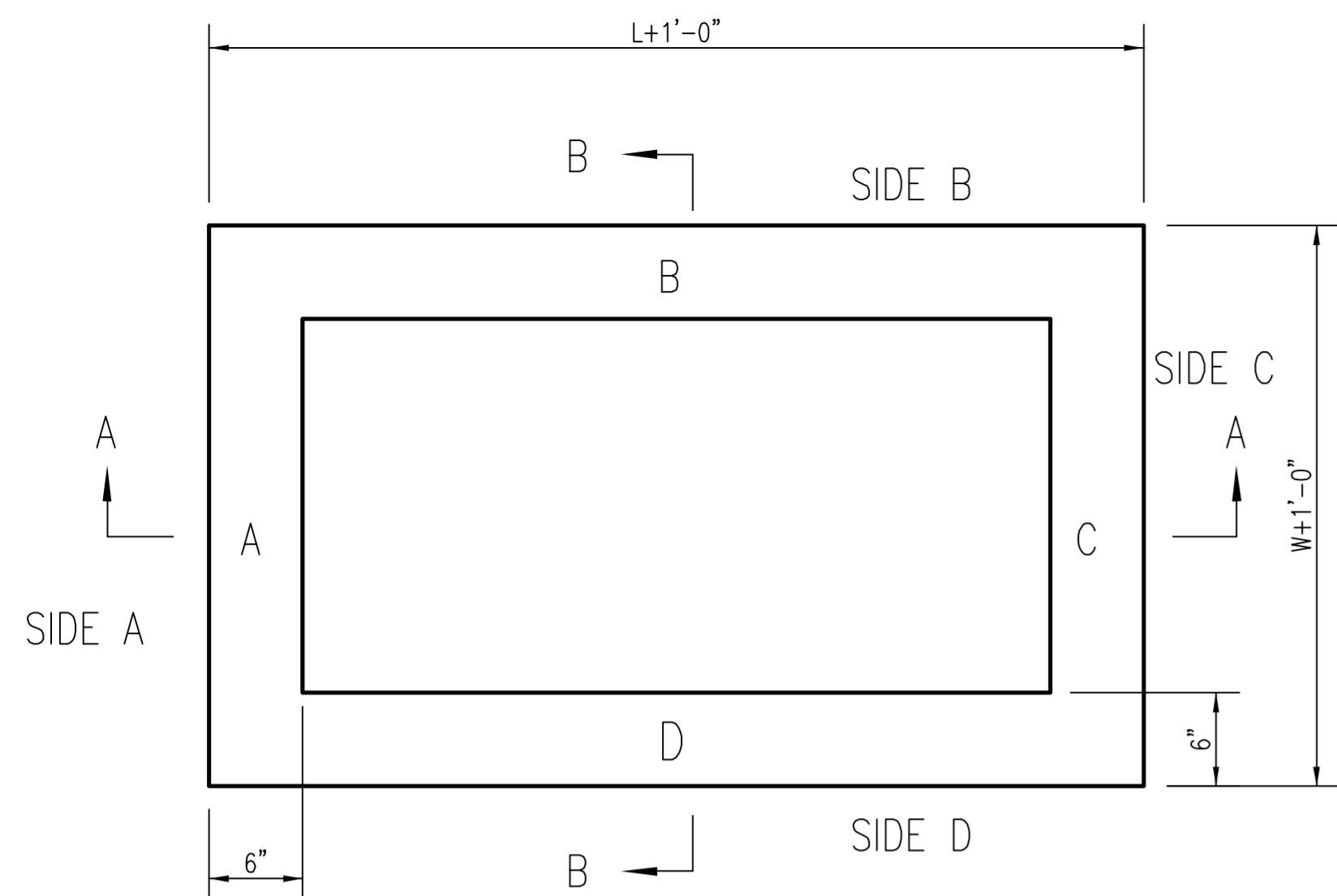
1. CONCRETE TOPS TO BE INSTALLED ON THIN MORTAR CUSHION TO INSURE FULL SUPPORT ALONG BRICK. CONCRETE TOPS MAY BE CAST IN PLACE OR PRECAST. CONCRETE USED FOR INLET CONSTRUCTION SHALL CONFORM TO CITY OF WICHITA SPECIFICATIONS FOR CONCRETE PAVEMENT MIX.
2. CONTRACTOR SHALL HAVE THE OPTION OF CONSTRUCTING 8" BRICK MASONRY WALLS BETWEEN THE CONCRETE INLET BASE AND TOP OF THIS INLET WHEN W=5'-0" AND H=7'-0" OR LESS.
3. INLET INVERT SHALL BE SHAPED WITH 8 SACK SAND MIX CONCRETE TO CREATE FLOW CHANNELS AND TO INCREASE HYDRAULIC EFFICIENCY SUCH THAT THE INLET WILL BE SELF CLEANING BETWEEN ALL INLET AND/OR OUTLET PIPES.
4. THE ENDS OF ALL PIPES INSTALLED IN INLETS SHALL BE CUT OFF FLUSH WITH THE INSIDE FACE OF THE INLET WALL.
5. INLET FRAME AND COVER TO BE DEETER #2014, EJIW #1936 Z4, OR APPROVED EQUAL, SEE SW-303.
6. CONTRACTOR SHALL REMOVE LIFTING HOOKS AFTER INSTALLATION. RECESSES IN INLET WALL SHALL BE GROUTED FLUSH TO THE INLET WALL WITH HYDRAULIC CEMENT AFTER THE INLET IS IN PLACE. LIFTING HOLES THRU THE INLET WALL WILL NOT BE ACCEPTED.



NOTES:
* SLOPE OF INLET TOP TO MATCH SIDEWALK OR PARKING SLOPES WITHIN LIMITS INDICATED.



<p>CITY OF WICHITA PUBLIC WORKS & UTILITIES ENGINEERING DIVISION</p>	STANDARD TYPE 1 CURB INLET 5'-0" OR 10'-0" OPENING	
	<small>CITY ENGINEER</small> Gary Janzen, P.E. Interim City Engineer	
	<small>PRIVATE PROJECT NUMBER</small> 0097 PPD 607853	<small>DATE</small> 5/09/12
	<small>CITY ENGINEER'S OFFICE</small> CITY HALL - SEVENTH FLOOR 455 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501	<small>DESIGN</small> Staff
		<small>DRAWN</small> Staff
		<small>SHEET</small> 11 of 14



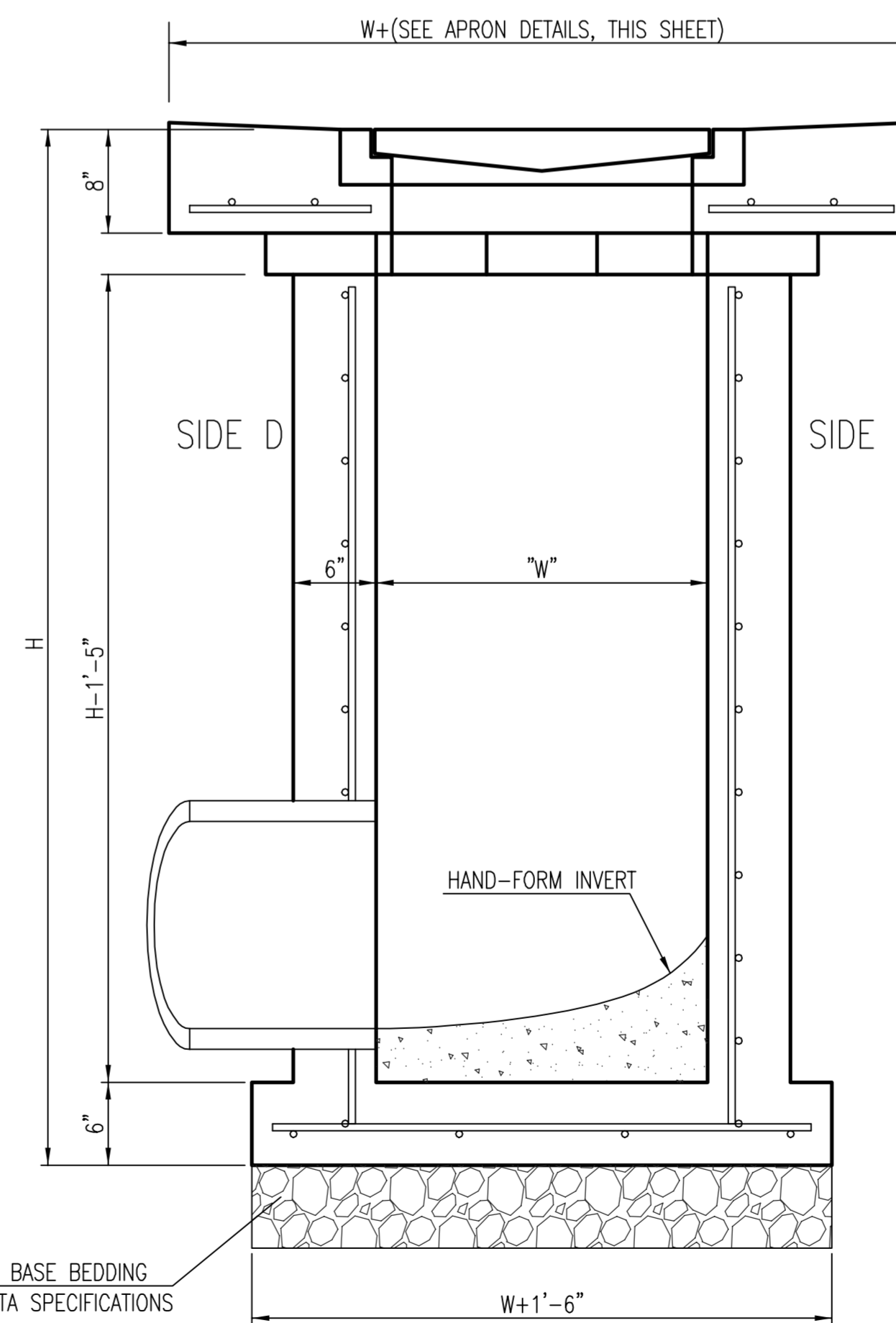
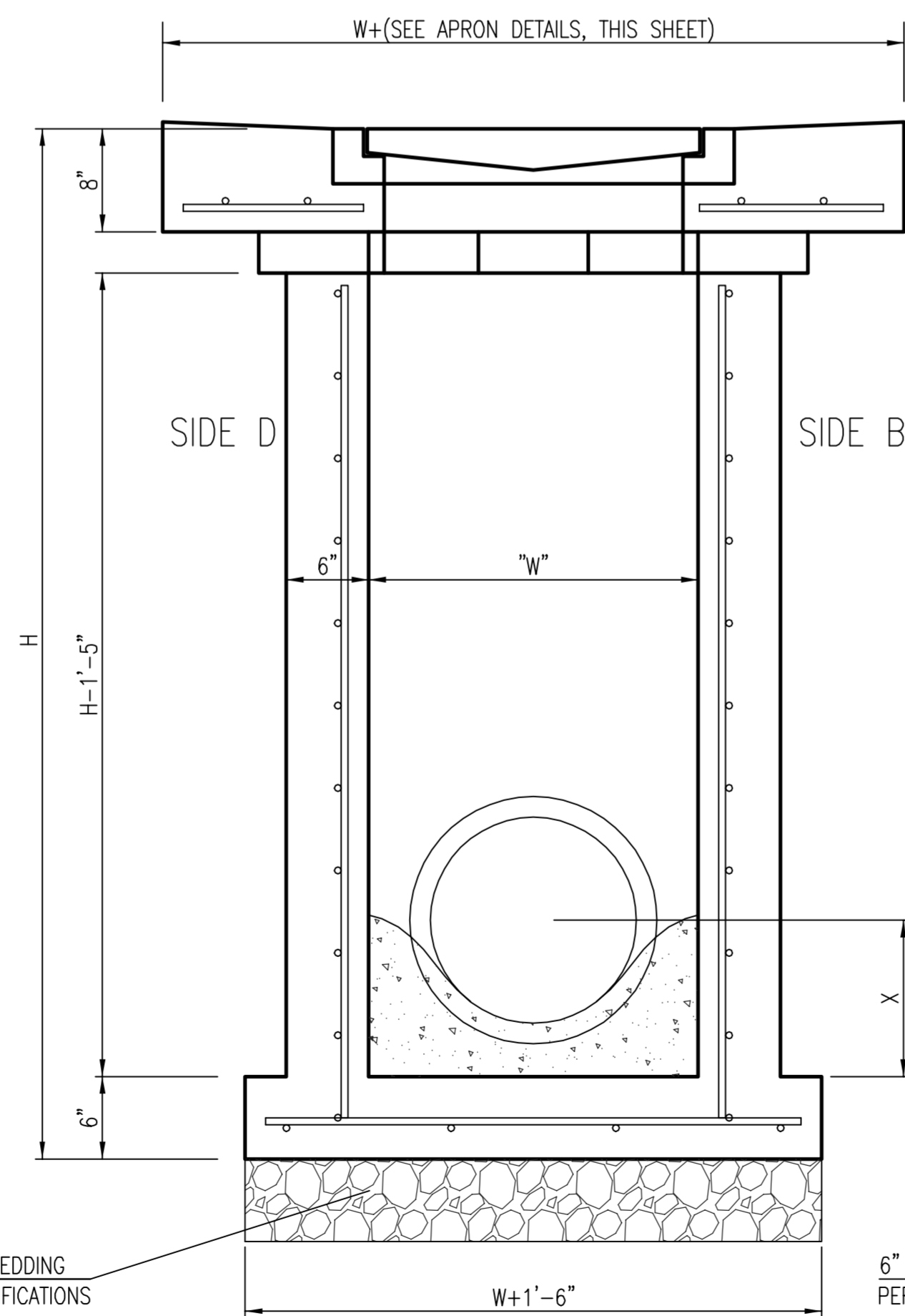
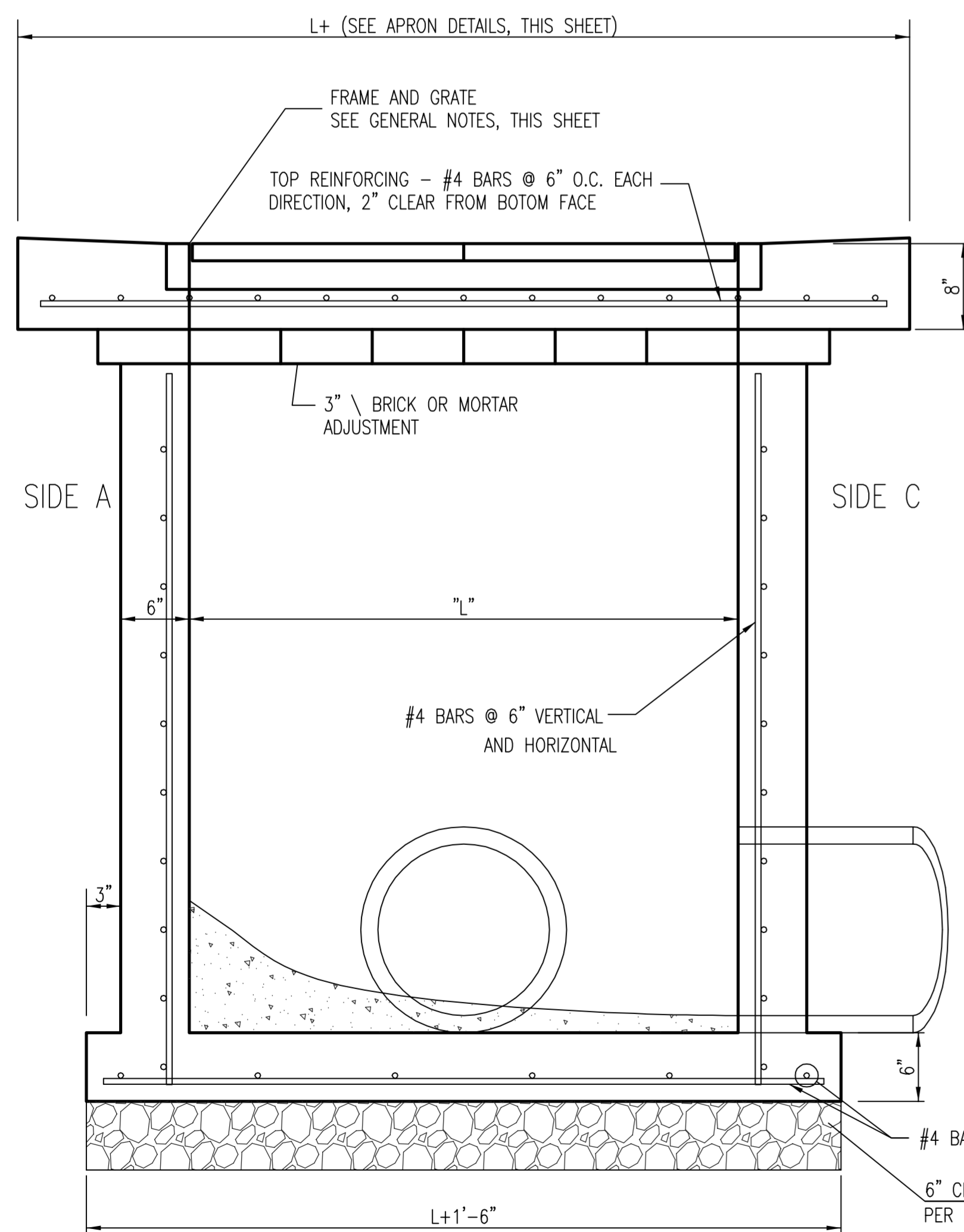
* APRON TO EXTEND ON ALL 4 SIDES OF INLET.
DESIGNER TO DESIGNATE APRON SIZE.

W=2' and L=2' for SINGLE DROP INLET
W=2' and L=4' for DOUBLE DROP INLET

The structure(s) on this detail sheet are designed for HS-20 loading at these specific dimensions only.
If larger dimensions are required, the ENGINEER shall provide a project specific structure design for approval by the City Engineer's office.

GENERAL NOTES

1. GRATE FRAME TO BE INSTALLED ON THIN MORTAR CUSHION TO INSURE FULL SUPPORT ALONG BRICK. CONCRETE USED FOR INLET CONSTRUCTION SHALL CONFORM TO CITY OF WICHITA SPECIFICATIONS FOR CONCRETE PAVEMENT MIX.
2. INLET INVERT SHALL BE SHAPED WITH 8 SACK SAND MIX CONCRETE TO CREATE FLOW CHANNELS AND TO INCREASE HYDRAULIC EFFICIENCY SUCH THAT THE INLET WILL BE SELF CLEANING BETWEEN ALL INLET AND/OR OUTLET PIPES.
3. THE ENDS OF ALL PIPES INSTALLED IN INLETS SHALL BE CUT OFF FLUSH WITH THE INSIDE FACE OF THE INLET WALL.
4. INLET FRAME AND GRATE TO BE DEETER #2433, EJIW #5391-Z1 OR APPROVED EQUAL FOR 2'x2' SINGLE DROP INLET AND DEETER #2434, EJIW #5391 Z3 OR APPROVED EQUAL FOR 2'x4' DOUBLE DROP INLET.
5. CONTRACTOR SHALL REMOVE LIFTING HOOKS AFTER INSTALLATION. RECESSES IN INLET WALL SHALL BE GROUTED FLUSH TO THE INLET WALL WITH HYDRAULIC CEMENT AFTER THE INLET IS IN PLACE. LIFTING HOLES THRU THE INLET WALL WILL NOT BE ACCEPTED.



SINGLE/DOUBLE DROP INLET			
CITY ENGINEER Gary Janzen, P.E. Interim City Engineer			
PRIVATE PROJECT NUMBER 0097 PPD 607853		DATE 5/09/12	
CITY ENGINEER'S OFFICE CITY HALL - SEVENTH FLOOR 455 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501		DESIGN Staff	DRAWN Staff
		SHEET 12 of 14	

GRADING NOTES

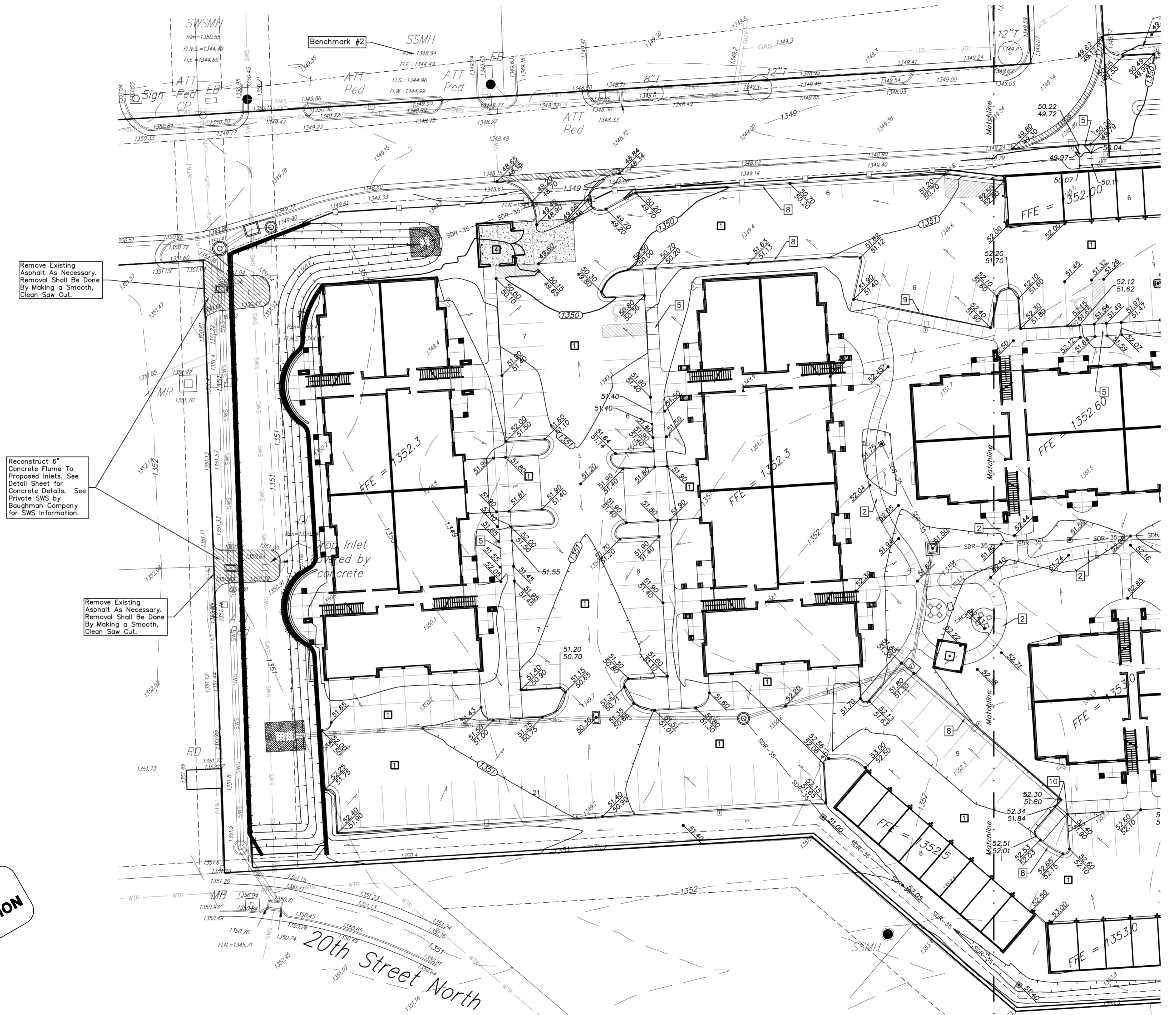
- Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
- The Contractor must notify the following in case of an emergency:
 - Kansas Gas Service (Gas).....1-888-482-4950
 - Aquila Energy (Gas).....1-800-303-0357
 - Westar Energy (Electric).....383-8650
 - Cox Communications (Cablevision).....262-4270
 - AT&T (Phone).....268-2759
 - City of Wichita Water Dept. (Water).....268-4563 or 268-4908
 - City of Wichita Sewer Maint. (San. Sewer).....268-4024 or 262-6000
 - City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4090
 - City of Wich Traffic Maint.(Trsf. Control).....268-4034 or 268-4203
 - Conoco Pipeline Co. (Petroleum).....1-800-231-2551
 - Williams Pipeline Co. (Petroleum).....529-6600 or 1-800-324-9696
 - Phillips Pipeline Co. (Petroleum).....1-800-766-8230
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Refer to Landscape Plan for Treatment of All Disturbed Areas.
- Signing and striping shall be installed in accordance with Local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
- Paved Lot to be constructed with Paving as shown. Subgrade to be compacted to 98% Standard Proctor Density and treated with 4 to 6 percent lime or 14 to 16 percent class "C" fly ash. Refer to pavement details to verify depths and Paving type.
- Proposed storm water sewer shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Project." The storm sewer system shall be designed separately, and undergo Local City review and approval. The installation of the storm sewer is required to be done by a bonded contractor, inspected and certified. Refer to Separate Sewer and Storm Water Sewer Plan Set. The Contractor shall construct the sewer only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- The Contractor shall notify adjacent landowners prior to proceeding with any construction work on landowner's property.
- Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%). Notify Landscape Architect of any discrepancies prior to forming of walks.

LEGEND

- 1 6" Concrete Pavement - Per Detail, Detail Sheet.
- 2 Sidewalk - Per Detail, Detail Sheet.
- 3 Private-SWS - See Private-SWS Plans by Baughman Company.
- 4 Trash Enclosure - See Arch. Plans. Construct on 8" Reinforced Concrete Pavement - Per Detail, Detail Sheet.
- 5 Construct Hand-Cap Ramp - Per Detail, Detail Sheet.
- 6 Construct Decorative Block Wall - Per Manufacturer's Details and Specifications.
- 7 Construct Concrete Retaining/Screen Wall - Per Structural Engineering Plans.
- 8 Construct Curb Cut Per Detail, Detail Sheet.
- 9 Construct Curb Walk Per Detail, Detail Sheet.
- 10 Construct Conc. Flume with Steel Grate Cover Per Detail, Detail Sheet.

BENCHMARK

- #1 - "□" Chiseled on Top of Curb at the Southwest Corner of Lot 2, Timber Ridge 4th Addition, Wichita, Sedgwick County, Kansas. Elevation=1350.52 (NGVD 29)
- #2 - "V" Chiseled on Top of Curb at the Southwest Corner of Lot 17, Timber Ridge 2nd Addition, Wichita, Sedgwick County, Kansas. Elevation=1350.10 (NGVD 29)



Remove Existing Asphalt As Necessary. Removal Shall Be Done By Making a Smooth, Clean Saw Cut.

Reconstruct 6" Concrete Flume To Proposed Inlets. See Detail Sheet for Concrete Details. See Private SWS by Baughman Company for SWS Information.

Remove Existing Asphalt As Necessary. Removal Shall Be Done By Making a Smooth, Clean Saw Cut.

REFERENCE COPY NOT FOR CONSTRUCTION

PPD REFERENCE COPY SHEET 13A OF 14

SITE GRADING PLAN
 0 20 40 Scale 1"= 20'-0"

21st & Maize Apartments GRADING PLAN Civil Site Improvements	
Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316.262.7271 F 316.262.0148 ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE	
PROJECT NUMBER 11-06-EG57	DESIGN DML
REVISIONS: 5-24-12 pab Reallocated SW & entrance and split into 2:20 scale sheets.	DRAWN DML
APPROVED Noted	DATE 05/2012
SCALE Noted	SHEET 3A OF 6

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GRADING NOTES

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 - Williams Pipeline Co. (Petroleum).....529-6600 or 1-800-324-9696
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- Refer to Landscape Plan for Treatment of All Disturbed Areas.
- Signaling and striping shall be installed in accordance with Local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
- Paved Lot to be constructed with Paving as shown. Subgrade to be compacted to 98% Standard Proctor Density and treated with 4 to 6 percent lime or 14 to 16 percent class "C" fly ash. Refer to pavement details to verify depths and Paving type.
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- Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%). Notify Landscape Architect of any discrepancies prior to forming of walks.

LEGEND

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- 2 Sidewalk - Per Detail, Detail Sheet.
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- 4 Trash Enclosure - See Arch. Plans Construct on 8" Reinforced Concrete Pavement - Per Detail, Detail Sheet.
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- 6 Construct Decorative Block Wall - Per Manufacturer's Details and Specifications.
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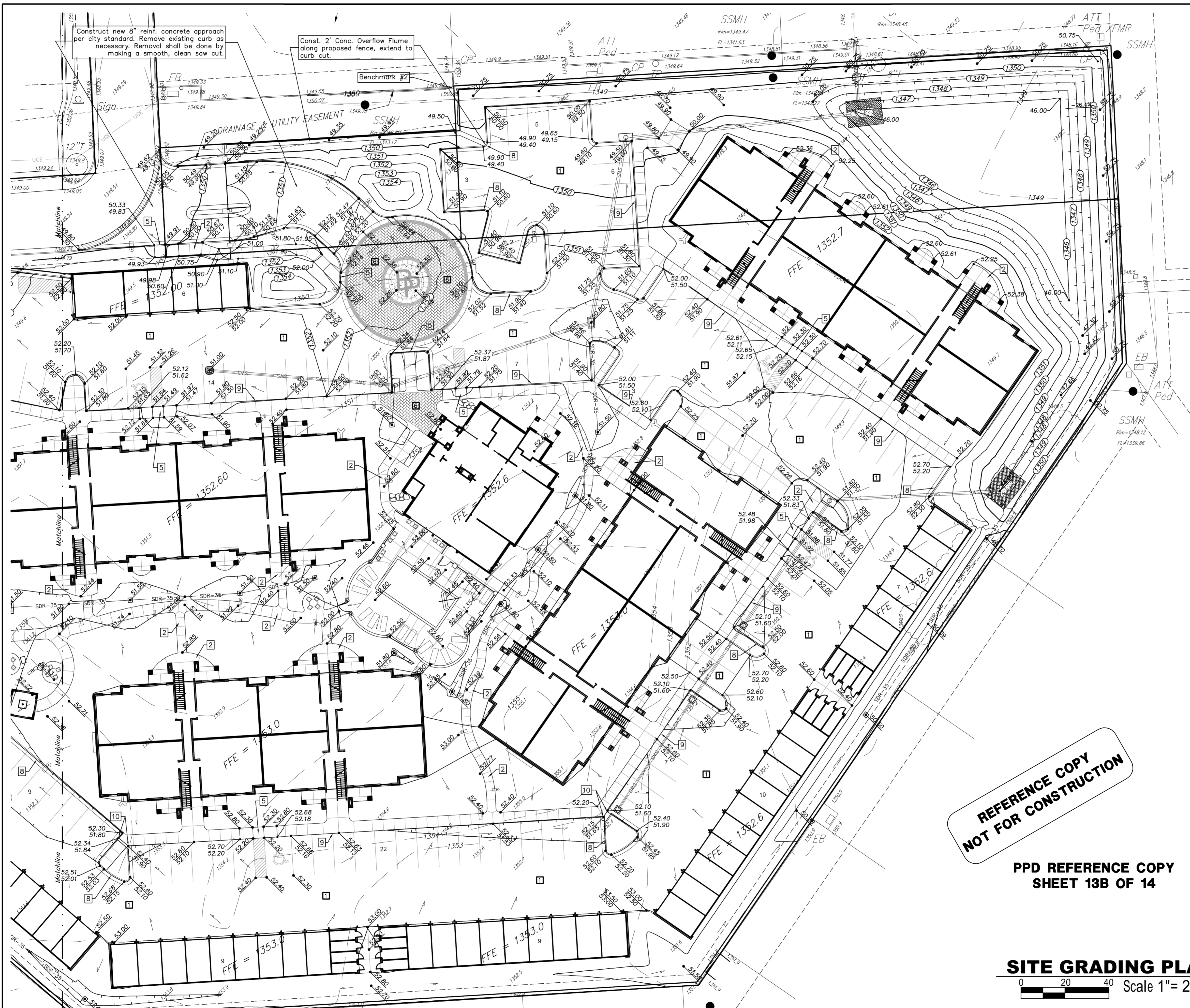
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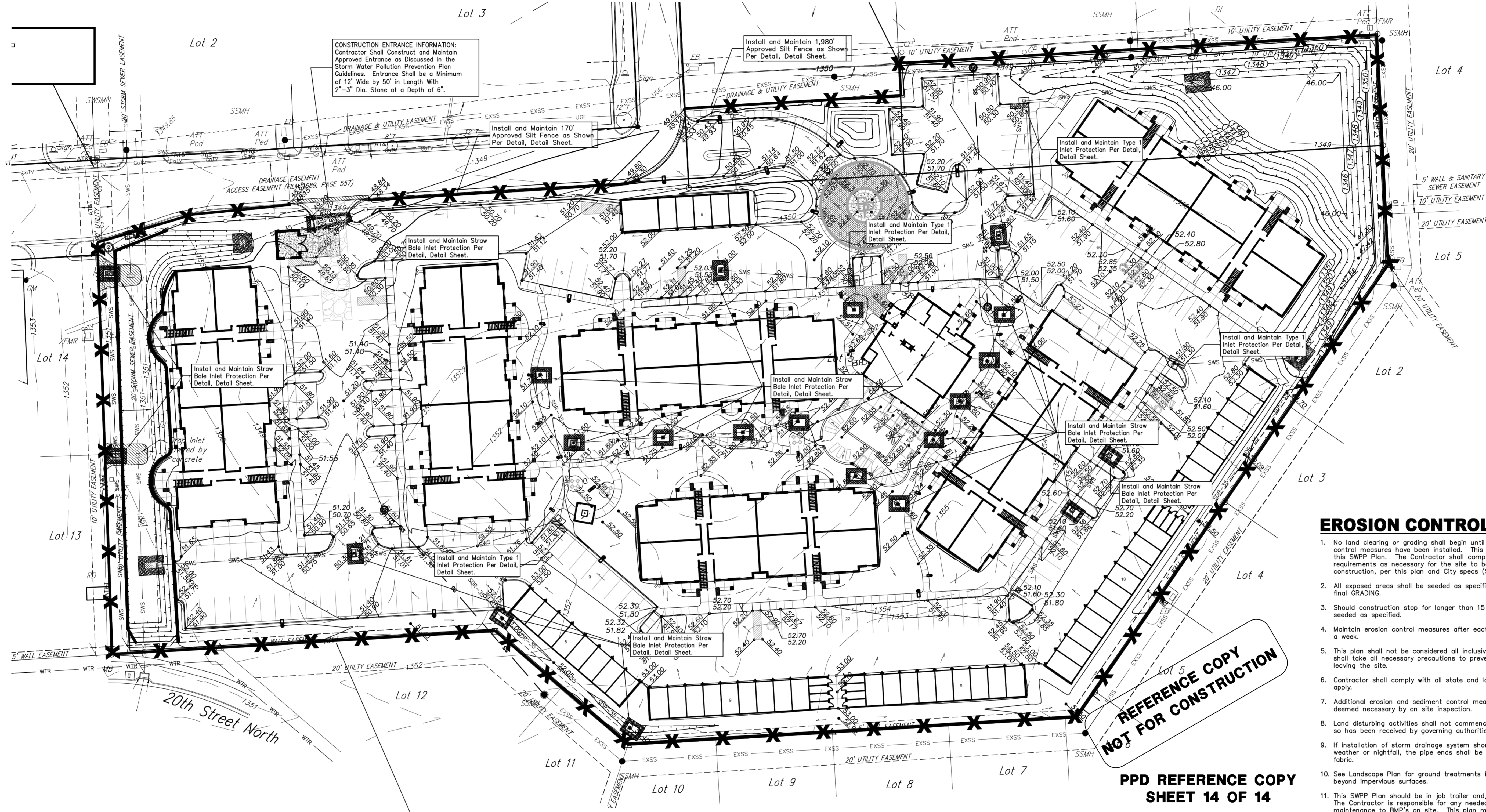
PPD REFERENCE COPY
SHEET 13B OF 14

SITE GRADING PLAN

Scale 1"= 20'-0"

21st & Maize Apartments GRADING PLAN Civil Site Improvements	
Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149 ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE	
PROJECT NUMBER 11-06-EG57	DESIGN DML DATE 05/2012
REVISIONS: 5-29-12 pjb <small>Revised SW & entrance and split into 2:20 scale sheets</small>	APPROVED DML DATE 05/2012
SCALE Noted SHEET <b style="font-size: 1.2em;">3B OF 6	
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CONSTRUCTION ENTRANCE INFORMATION:
 Contractor Shall Construct and Maintain Approved Entrance as Discussed in the Storm Water Pollution Prevention Plan Guidelines. Entrance Shall be a Minimum of 12' Wide by 50' in Length With 2"-3" Dia. Stone at a Depth of 6".

Lot 2

Lot 3

Lot 4

Lot 5

Lot 2

Lot 3

Lot 4

Lot 5

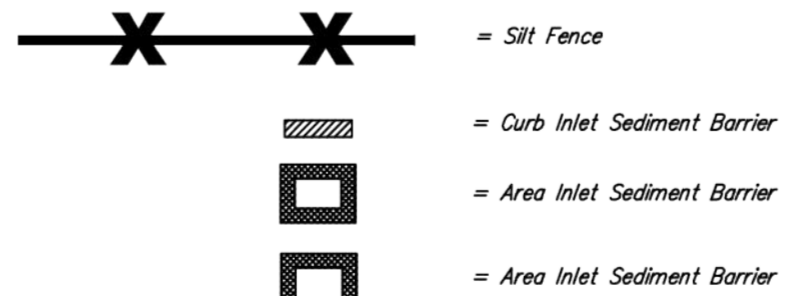
**REFERENCE COPY
 NOT FOR CONSTRUCTION**

**PPD REFERENCE COPY
 SHEET 14 OF 14**

EROSION CONTROL NOTES:

- No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #11).
- All exposed areas shall be seeded as specified within 30 days of final GRADING.
- Should construction stop for longer than 15 days, the site shall be seeded as specified.
- Maintain erosion control measures after each rain and at least once a week.
- This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
- Contractor shall comply with all state and local ordinances that apply.
- Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
- Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
- If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
- See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
- This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
- ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
- An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.

EROSION CONTROL LEGEND



Install and Maintain 1,980' Approved Silt Fence as Shown Per Detail, Detail Sheet.

Re-seed All Disturbed Areas per Approved Landscape Plans and Specs.

SITE EROSION CONTROL PLAN

Scale 1" = 30'-0"



	21st & Maize Apartments	
	E.C. PLAN	
Civil Site Improvements		
Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P: 316-262-7271 F: 316-262-0149		
ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE		
PROJECT NUMBER 11-06-E057	DESIGN DML	DRAWN DML
REVISIONS:	APPROVED DATE 05/2012	SCALE Noted
		SHEET 5 OF 6