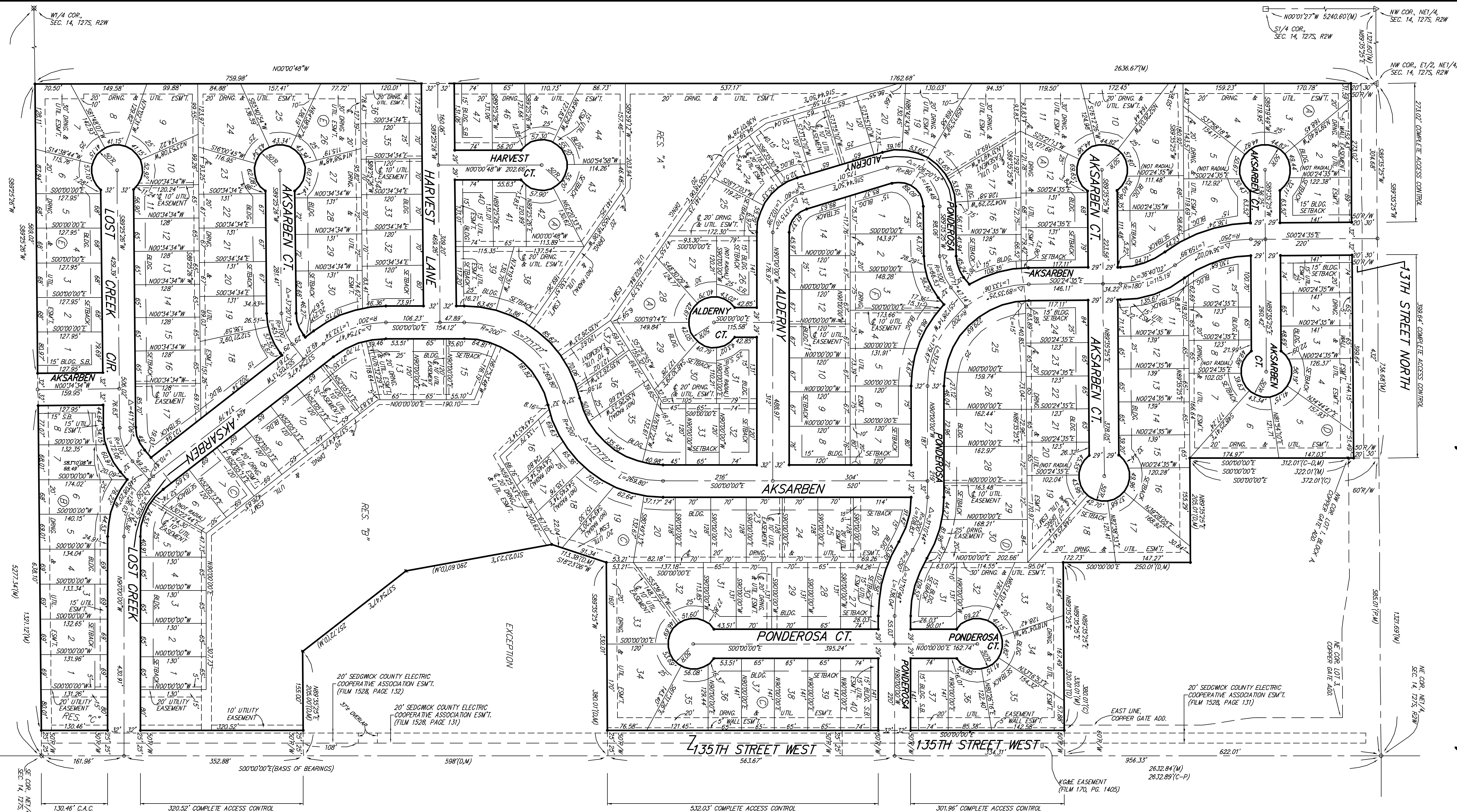
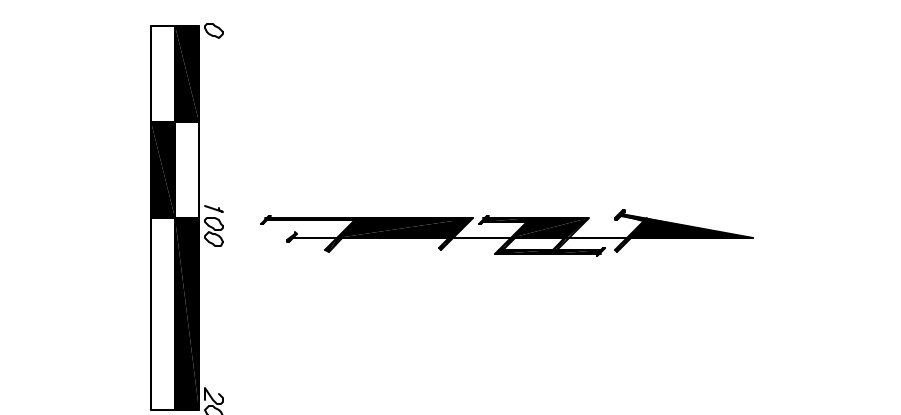


COPPER GATE ESTATES WICHITA, SEDGWICK COUNTY, KANSAS



NOTE:
A master grading plan for drainage has been developed for this subdivision. The plat is subject to the provisions of the drainage easements, rights-of-way, or reserves shall remain of established grades or as modified with the approval of the City Engineer of the City of Wichita, Kansas. No alterations which increase the flow of this drainage system shall be allowed.



(M) = MEASURED
(P) = RECOVERED
(R) = RECALCULATED PER DESCRIBED INFO
(S) = SURVEYED

• = 4" REBAR W/ BATHROOM CAP (SET)
○ = 4" REBAR W/ BATHROOM CAP (FOUND)
○ = 1/2" IRON (FOUND)
x = 1" IRON (FOUND)
△ = STONE W/ REBAR ON E SIDE (FOUND)
□ = 4" REBAR (FOUND)

UNLAWFUL BUILDING OR ALTERATIONS FOR LATEST GRADING TO THE STRUCTURES	LOT	BLOCK	ELEVATION	CITY DATA
	20	A	170.0	
	21,22	A	168.0	
	23,24	A	168.0	
	25,27	A	167.0	
	28,31,28	A	168.0	
	42	A	167.0	
	43	A	168.0	
	44	A	168.0	
	1-18	C	168.0	

State of Kansas) SS We, Baughman Company, P.A., Surveyors in Sedgwick County and State do hereby certify that we have surveyed and plotted COPPER GATE ESTATES, Wichita, Sedgwick County, Kansas and that the accompanying plat is a true and correct exhibit of the property surveyed, described as follows: The E1/2 of the NE1/4 of Sec. 14, Twp. 27-S-R-2-W of the 6th P.M., Sedgwick County, Kansas, EXCEPT that part platted as Copper Gate Addition, Sedgwick County, Kansas, and EXCEPT that part of said E1/2 described as follows: Commencing at the NE corner of said NE1/4; thence S00°00'00"E along the east line of said NE1/4, 1520.00 feet for a point of beginning; thence S89°35'25"W parallel with the north line of said NE1/4, 380.01 feet; thence S18°23'08"W, 113.38 feet; thence S10°23'23"E, 290.80 feet; thence S37°54'47"E, 257.72 feet to a point 2118.00 feet south of the north line of said NE1/4 as measured parallel with the east line of said NE1/4; thence N89°35'25"E parallel with the north line of said NE1/4, 205.00 feet to a point on the east line of said NE1/4; thence N00°00'00"E along the east line of said NE1/4, 598.00 feet to the point of beginning, 100E THEREAFTER with all of Lot 2, Block 4, in said Copper Gate Addition, and 100E THEREAFTER with that part of Lot 1 in said Block 4 described as follows: Beginning at the most easterly corner common to said Lots 1 and 2; thence S89°35'25"W along the north line of said Lot 2, 200.00 feet to the NW corner of said Lot 2; thence S00°00'00"W along the west line of said Lot 2, 200.00 feet to the SW corner of said Lot 2; thence S89°35'25"W along the south line of said Lot 2, 325.01 feet to the SW corner of said Lot 1; thence N00°00'00"E along the west line of said Lot 1, 608.69 feet; thence N69°35'25"E, 205.01 feet to a point 205.00 feet normally distant east of the west line of said Lot 1; thence S00°00'00"E, 250.01 feet; thence N89°35'25"E, 320.01 feet to a point on the east line of said Lot 1; thence S00°00'00"E along the east line of said Lot 1, 236.69 feet to the point of beginning, all being subject to road rights-of-way of record.

All being situated in the NE1/4 of Sec. 14, Twp. 27-S-R-2-W of the 6th P.M., Sedgwick County, Kansas.

Existing public easements and dedications being recited by virtue of K.S.A. 12-512(b).

Baughman Company, P.A.

Michael G. Correy, Surveyor

Know all men by these presents that we, the undersigned, have caused the land in the surveyors certificate to be platted into Lots, Blocks, Streets and Reserves to be known as COPPER GATE ESTATES, Wichita, Sedgwick County, Kansas. The utility easements are hereby granted as indicated for the construction and maintenance of all public utilities. The drainage and utility easements are hereby granted as indicated for drainage purposes and for the construction and maintenance of all public utilities. The streets are hereby dedicated to and for the use of the public. Reserves "A", "B" and "C" are hereby reserved for open space, landscaping, berms, drainage purposes, sidewalks, and utility easements as indicated. Reserve "C" is hereby reserved for open space, drainage purposes, landscaping, berms, sidewalks, and utility easements as indicated. Reserves "A", "B", and "C" shall be owned and maintained by the homeowners' association for the addition, access controls shall be as depicted on the face of the plat and are hereby granted to the City of Wichita, Kansas. The Minimum Building Pad Elevations for the lowest opening to the structures shall be as indicated on the face of the plat.

Kelsey Investments, Inc., a Kansas corporation
Paul E. Kelsey, President

State of Kansas) SS The foregoing instrument acknowledged before me, this _____ day of _____, 2002, by Paul E. Kelsey, President of Kelsey Investments, Inc., a Kansas corporation, on behalf of the corporation.

My App't, Ex'd _____, Notary Public

This plat of "COPPER GATE ESTATES", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this _____ day of _____, 2002
Wichita-Sedgwick County Metropolitan Area Planning Commission

J. D. Michaelis, Chair
Michael E. Lindebock, Secretary

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this _____ day of _____, 2002.

At the direction of the City Council
Chris Charachas, City Manager
Pat Burnett, City Clerk

Reviewed in accordance with K.S.A. 58-50-2005 on this _____ day of _____, 2002

Don Brace, County Clerk
Theresa L. Robello, L.S. #1246, Deputy County Surveyor
Sedgwick County, Kansas

Entered on transfer record this _____ day of _____, 2002

Don Brace, County Clerk
Pat Burnett, City Clerk
Chris Charachas, City Manager
Theresa L. Robello, L.S. #1246, Deputy County Surveyor
Sedgwick County, Kansas

State of Kansas) SS This is to certify that this plat has been filed for record in the office of the Register of Deeds, this _____ day of _____, 2002 at _____ o'clock _____ M., and is duly recorded.

Register of Deeds
Linda Kitzner, Deputy

BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING & PLANNING
316 - 262-1727 • 1233 S. LINCOLN ST., SUITE 200, WICHITA, KANSAS 67202