



**LAYOUT AND PAVING NOTES**

- ALL EXISTING STRUCTURES, CONCRETE PADS/WALKS/DRIVES AND UTILITY SERVICES ON THE SITE SHALL BE REMOVED TO FULL DEPTH PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ALL DISCREPANCIES TO THE ARCHITECT/ENGINEER PRIOR TO BEGINNING WORK.
- THE CONTRACTOR VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN AND REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO CURRENT LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. RELOCATE IRRIGATION LINES AS NECESSARY FOR CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL PERMITS AND PAY ALL FEES PRIOR TO BEGINNING WORK.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES AND IRRIGATION SLEEVES PRIOR TO INSTALLATION OF PAVEMENT.
- THE CONTRACTOR SHALL PROTECT ALL TREES TO REMAIN, IN ACCORDANCE WITH THE SPECIFICATIONS. DO NOT OPERATE OR STORE HEAVY EQUIPMENT OR STORE MATERIALS WITHIN THE DRIP LINES OF TREES OR OUTSIDE THE LIMIT OF GRADING.
- CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH WITH NO EXPOSED AGGREGATE ON ANY FACE. ALL CONCRETE TO BE MINIMUM 4,000 PSI COMPRESSIVE STRENGTH WITH 5% (+/-) AIR ENTRAINMENT. MIXTURES WITH WATER/CEMENT RATIOS AT 0.5 OR BELOW ARE RECOMMENDED. CURB RAMPS, SIDEWALK SLOPES, AND DRIVEWAY RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT LOCAL REQUIREMENTS. IF APPLICABLE, THE CONTRACTOR SHALL REQUEST INSPECTION OF SIDEWALK AND RAMP FORMS PRIOR TO PLACEMENT OF CONCRETE.
- CONSTRUCTION OF REINFORCED CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH ACI 330 STANDARD SPECIFICATIONS. CURING COMPOUND TO BE APPLIED TO ALL CONCRETE SURFACES IMMEDIATELY AFTER BROOM FINISH. CONTRACTOR SHALL REJECT CONCRETE IF IT CANNOT BE PLACED WITHIN 90 MINUTES OF BATCH TIME OR WITHIN 75 MINUTES DURING SUMMER HIGH TEMPERATURE CONDITIONS.
- ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN RESULTING FROM NEW CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE TO THE FACE OF CURB, EXPOSED FACE OF WALL, EDGE OF CONCRETE OR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- COORDINATES ARE TO FACE OF BUILDINGS, CENTER LINES OF DRIVEWAYS, CENTER OF SANITARY SEWER MANHOLES, AND CENTER AT FACE OF CURB ON CURB INLETS, UNLESS OTHERWISE NOTED.
- PARKING STRIPES SHALL BE 4-INCH WHITE PAVEMENT PAINT.
- SCREENED ITEMS INDICATE A PRE-CONSTRUCTION TOPOGRAPHIC SURVEY PROVIDED BY CORNERSTONE REGIONAL SURVEYING, DATED SEPTEMBER 12, 2012.
- CONTRACTION JOINTS SHALL BE CONSTRUCTED TO A DEPTH OF AT LEAST 1/4 THE CONCRETE THICKNESS, AND SHALL DIVIDE CONCRETE ROUGHLY INTO SQUARES WITH MAXIMUM 10' SEGMENTS. JOINTS CAN BE SAWCUT, FORMED OR TOOLED.
- MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ARCHITECT/ENGINEER UPON COMPLETION.
- CONTRACTOR SHALL PROVIDE AS-BUILT ELEVATION SURVEY FOR ALL NEW SIDEWALK RAMPS.

**GENERAL UTILITY NOTES**

- WATER AND SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL CODES AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PAY ALL FEES AND OBTAIN ALL PERMITS.
- ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND ARE BASED ON TOPOGRAPHIC SURVEYS. ADDITIONAL UTILITIES MAY BE PRESENT. SHOULD UNCHARTED UTILITIES BE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AS SOON AS POSSIBLE FOR INSTRUCTIONS.
- THE CONTRACTOR SHALL NOTIFY THE KANSAS ONE-CALL SYSTEM AT (811) AT LEAST 3 WORKING DAYS PRIOR TO ANY EXCAVATION AND/OR DEMOLITION.
- MAINTAIN 10-FOOT HORIZONTAL AND 18-INCH VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER SUPPLY LINES.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES INCLUDING IRRIGATION. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. RELOCATE IRRIGATION LINES AS NECESSARY FOR CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES AND UNDERGROUND ELECTRIC DO NOT CONFLICT WITH SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITIES PRIOR TO FINAL PAVEMENT CONSTRUCTION.
- BACKFILL UTILITY TRENCHES UNDER PAVEMENT AREAS WITH CRUSHED STONE OR GRAVEL. BACKFILL UTILITY TRENCHES IN LAWN AREAS WITH SATISFACTORY FILL MATERIAL COMPACTED TO AT LEAST 98% OF MAXIMUM PER ASTM D698. SEE NOTES IN SECTION 4.2.2 IN GEOTECH REPORT DATED SEPTEMBER 24, 2012, TERRACON PROJECT NO. 01125137.
- ADJUST ALL EXISTING CASTINGS TO MATCH PROPOSED FINISH GRADE.
- ALL SANITARY SEWER PIPE SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE.
- WATER SERVICE PIPE SHALL BE SDR21 PVC, PRESSURE RATING 200 PSI.
- THE CONTRACTOR SHALL COORDINATE LIGHT POLE AND ELECTRICAL CONDUIT LOCATION WITH ELECTRICAL SITE PHOTOMETRIC PLAN, GRESHAM SMITH AND PARTNERS' AND CASTLES DESIGN GROUP TO COORDINATE. SHOWN ON PLAN FOR REFERENCE.

**WATER**  
WICHITA PUBLIC UTILITIES  
CONTACT: JEFF CROSBY  
PH: 316-268-4555

**TELEPHONE**

AT&T

CONTACT: SHELBY  
PH: 800-660-3000

**ELECTRIC**

WESTAR  
CONTACT: BECKY THOMPSON  
PH: 316-261-6320

**STORM SEWER**

WDWPV STORM WATER  
MANAGEMENT/ENGINEERING  
CONTACT: TIM DAVIDSON  
PH: 316-268-4307

**SEWER**  
WICHITA PUBLIC UTILITIES  
CONTACT: JEFF CROSBY  
PH: 316-268-4555

**GAS**  
KANSAS GAS SERVICE  
CONTACT: ED KOEHLER  
PH: 316-832-3177

**SITE DATA TABLE**

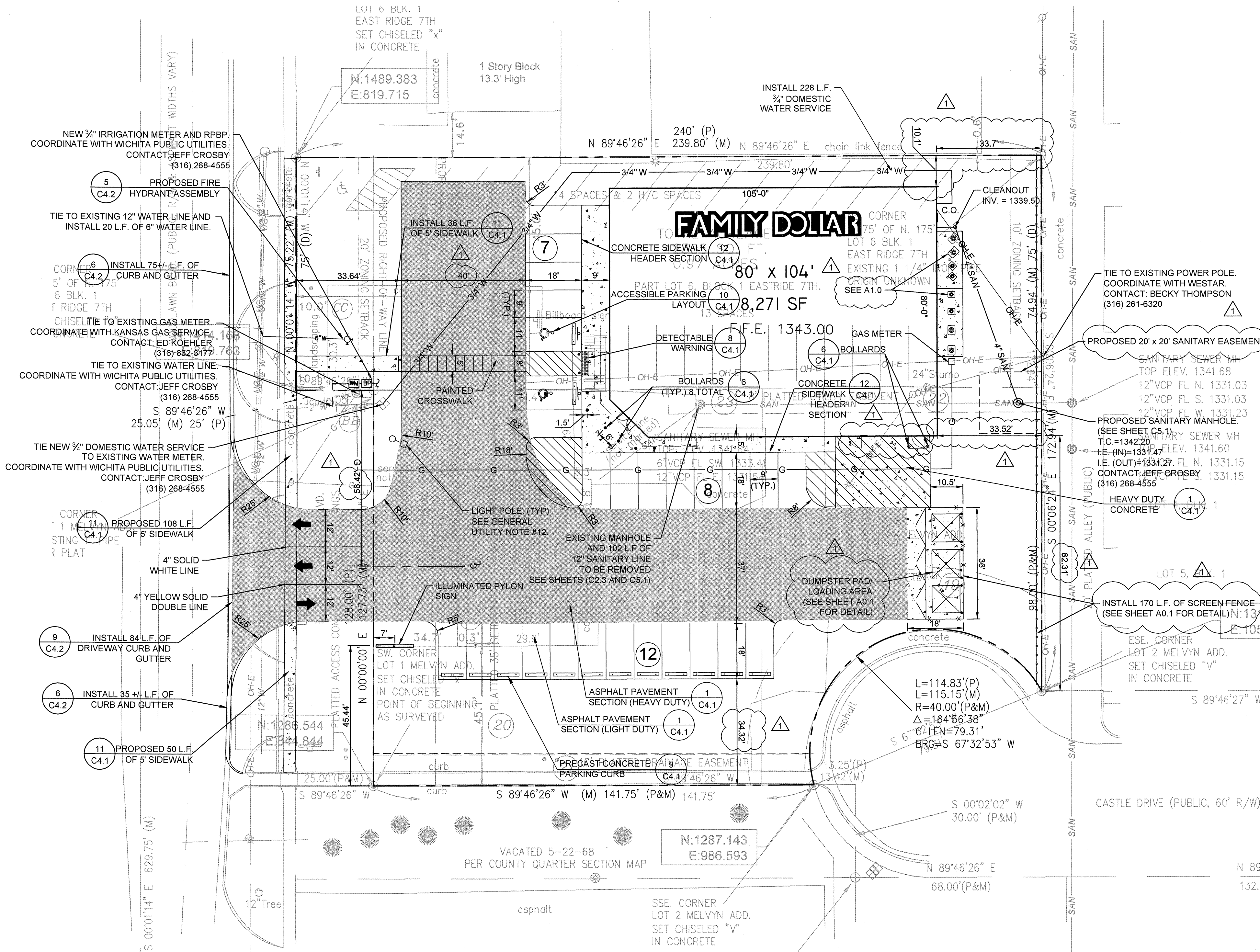
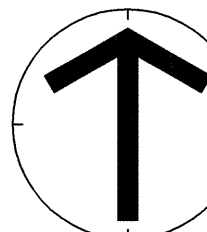
- PROPERTY ZONED: LC LIMITED COMMERCIAL DISTRICT
- SETBACKS: FRONT = 20' (LOT 6)  
35' (LOT 1)  
REAR = 10'  
SIDE = 0'
- SITE AREA: 42,305 S.F. = 0.97 ACRES
- BUILDING AREA: STORE = 8,271 S.F., ONE STORY
- MINIMUM BUILDING HEIGHT = 26'
- MAXIMUM BUILDING HEIGHT = 35'
- PARKING REQUIRED: 25 SPACES (1/333 S.F. TOTAL + 2 ADA)  
PARKING PROVIDED: 27 SPACES
- EXISTING IMPERVIOUS AREA = 0.813 ACRES = 84%  
EXISTING PERVIOUS AREA = 0.157 ACRES = 16%
- PROPOSED IMPERVIOUS AREA = 0.610 ACRES = 63%  
PROPOSED LANDSCAPE AREA = 0.360 ACRES = 37%

**LEGEND**

- PROPOSED PROPERTY LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK/PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED FENCE
- 1" W PROPOSED WATER LINE
- PROPOSED WATER VALVE
- PROPOSED WATER METER
- 6" SAN PROPOSED SANITARY SEWER LINE
- C.O. PROPOSED SANITARY CLEANOUT
- G PROPOSED GAS LINE
- OH-E PROPOSED OVERHEAD ELECTRIC
- PROPOSED STORM PIPING
- PROPOSED CATCH BASIN
- PROPOSED UTILITY POLE

CONTRACTOR IS RESPONSIBLE FOR ALL PUBLIC UTILITY CONNECTIONS (ELECTRIC, WATER, GAS, SEPTIC, SEWER) AS WELL AS PROVIDING ALL INFRASTRUCTURES REQUIRED BY UTILITY COMPANY.

NORTH



Design Services

For The Built Environment

- Atlanta
- Birmingham
- Cincinnati
- Columbus
- Dallas
- Fort Lauderdale
- Jackson
- Jacksonville
- Knoxville
- Louisville
- Memphis
- Nashville
- Richmond
- Tampa

**GRESHAM SMITH AND PARTNERS**

1400 Nashville City Center  
511 Union Street  
Nashville, TN 37219  
615.770.8100

WWW.GSPNET.COM



MICHAEL DUANE HUNKLER  
REG.# 15263

**FAMILY DOLLAR**  
8,000 S.F. Facility  
WICHITA, KS

GSP PROJECT # 27691.16  
HUTTON PROJECT # 2012-067

10-30-12

**REVISION**

REVISION	HUTTON COMMENTS
1	01.17.13

SITE LAYOUT AND UTILITY PLAN

**C2.1**



Design Services

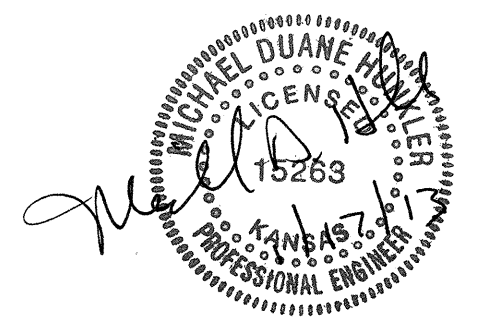
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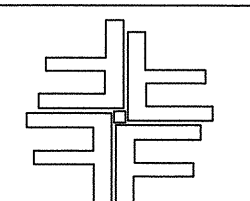
GRESHAM SMITH AND PARTNERS

1400 Nashville City Center  
511 Union Street  
Nashville, TN 37219  
615.770.8100

WWW.GSPNET.COM



MICHAEL DUANE HUNKLER  
REG.# 15263



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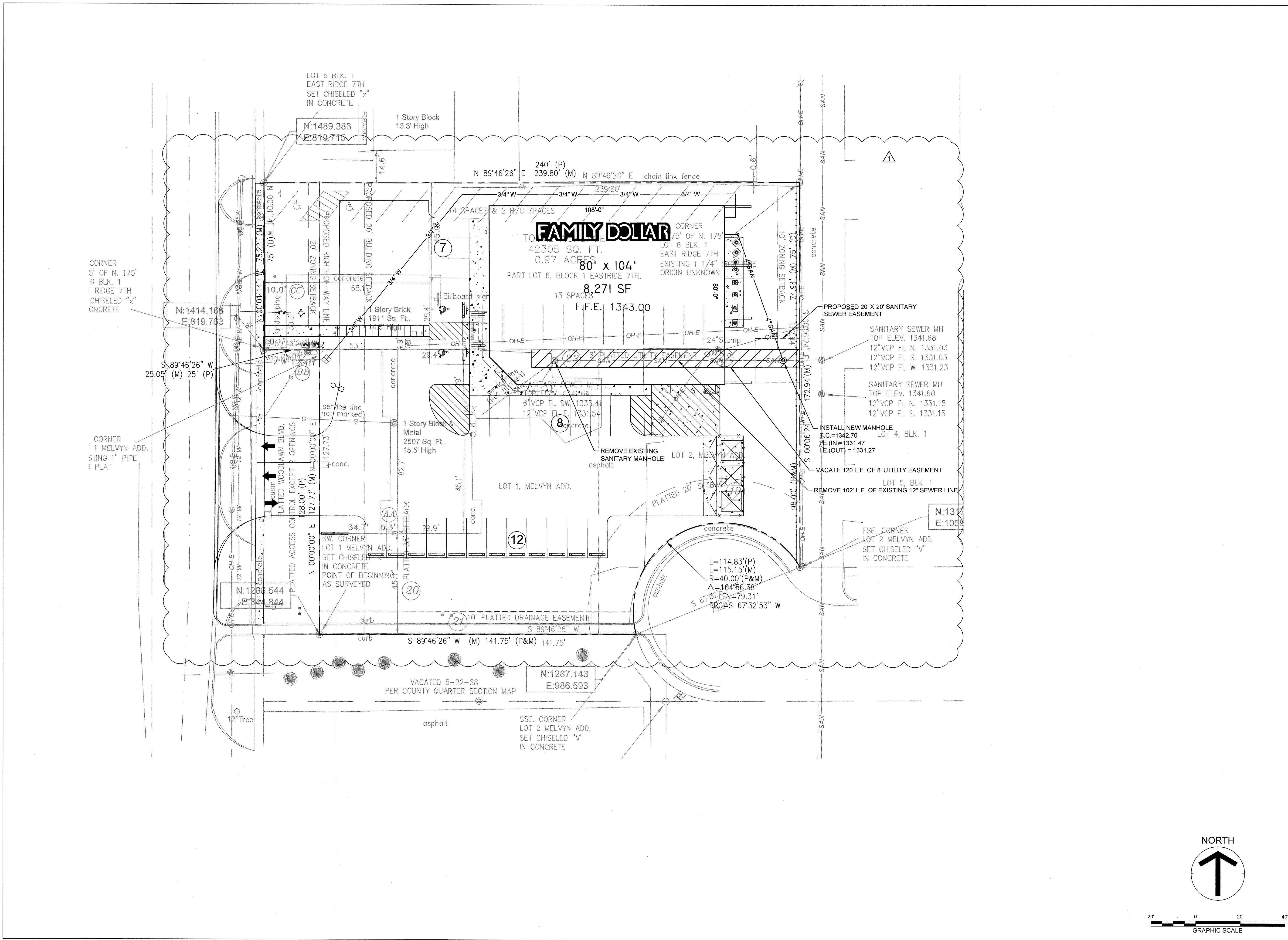
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REVISION

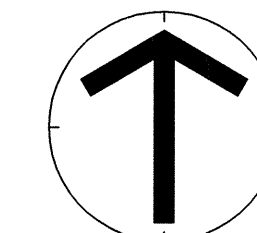
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SANITARY/EASEMENT  
ABANDONMENT  
PLAN

C2.3



NORTH



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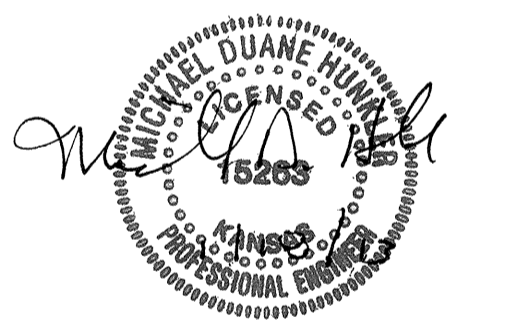
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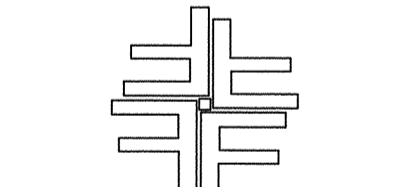
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SMITH AND  
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1400 Nashville City Center  
511 Union Street  
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615.770.8100

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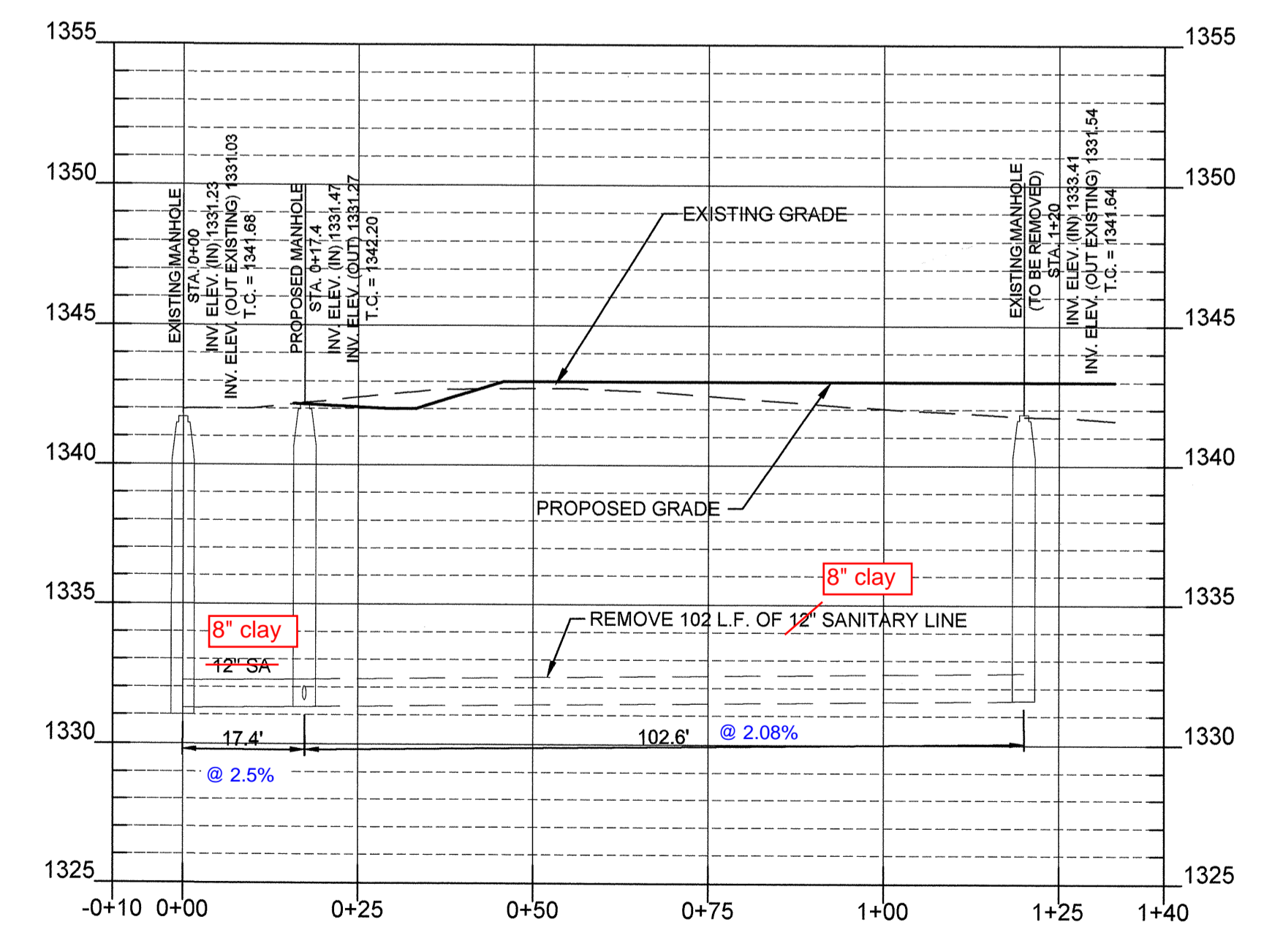
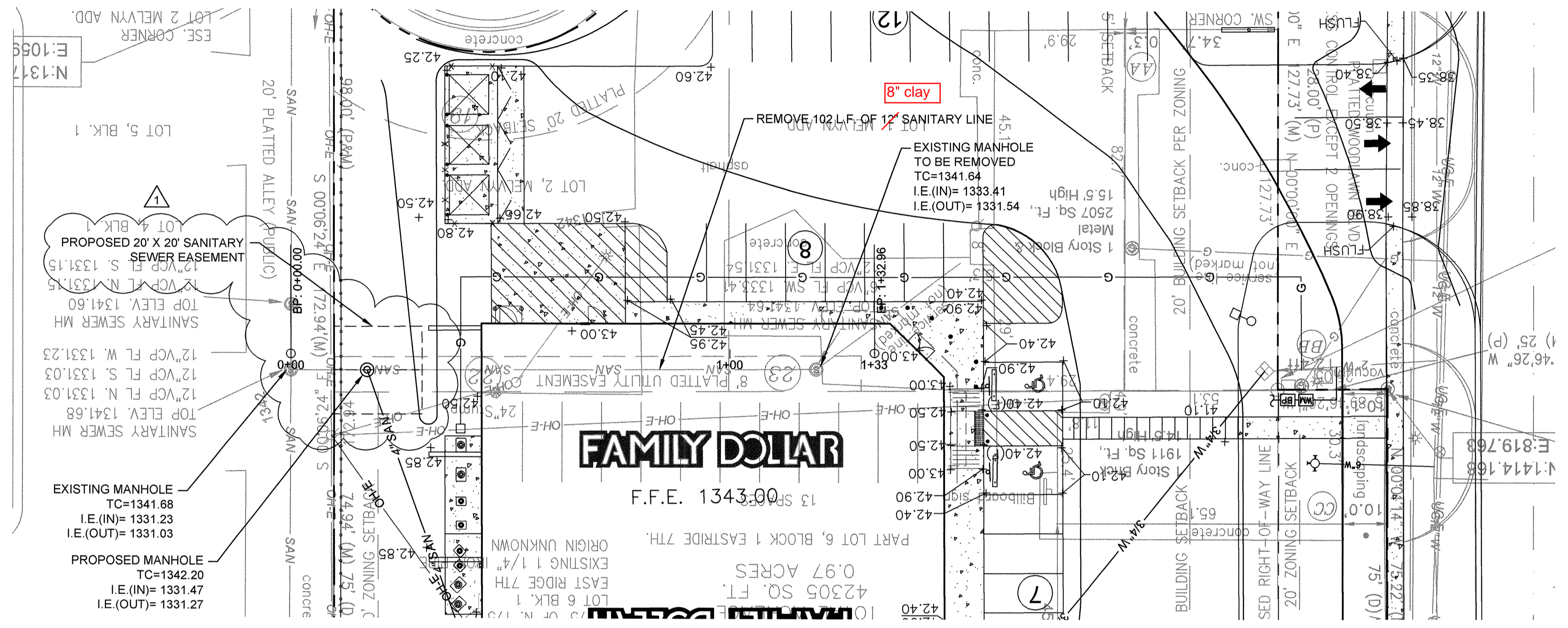
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**10-30-12**  
**REVISION**

NO.	DATE	REVISION
1	01.17.13	CITY COMMENTS

SANITARY LINE PROFILE

**C5.1**



**SANITARY SEWER PROFILE**  
SCALE H:1"=20'; V:1"=5'

