

STORM SEWER IMPROVEMENTS TO SERVE Lot 13, Block A, Ridge Port Commercial Park, Wichita, Kansas

Private Project: 0109 PPD (607861)

CITY OF WICHITA, KANSAS

Gary Janzen, P.E. Interim City Engineer

July 2012

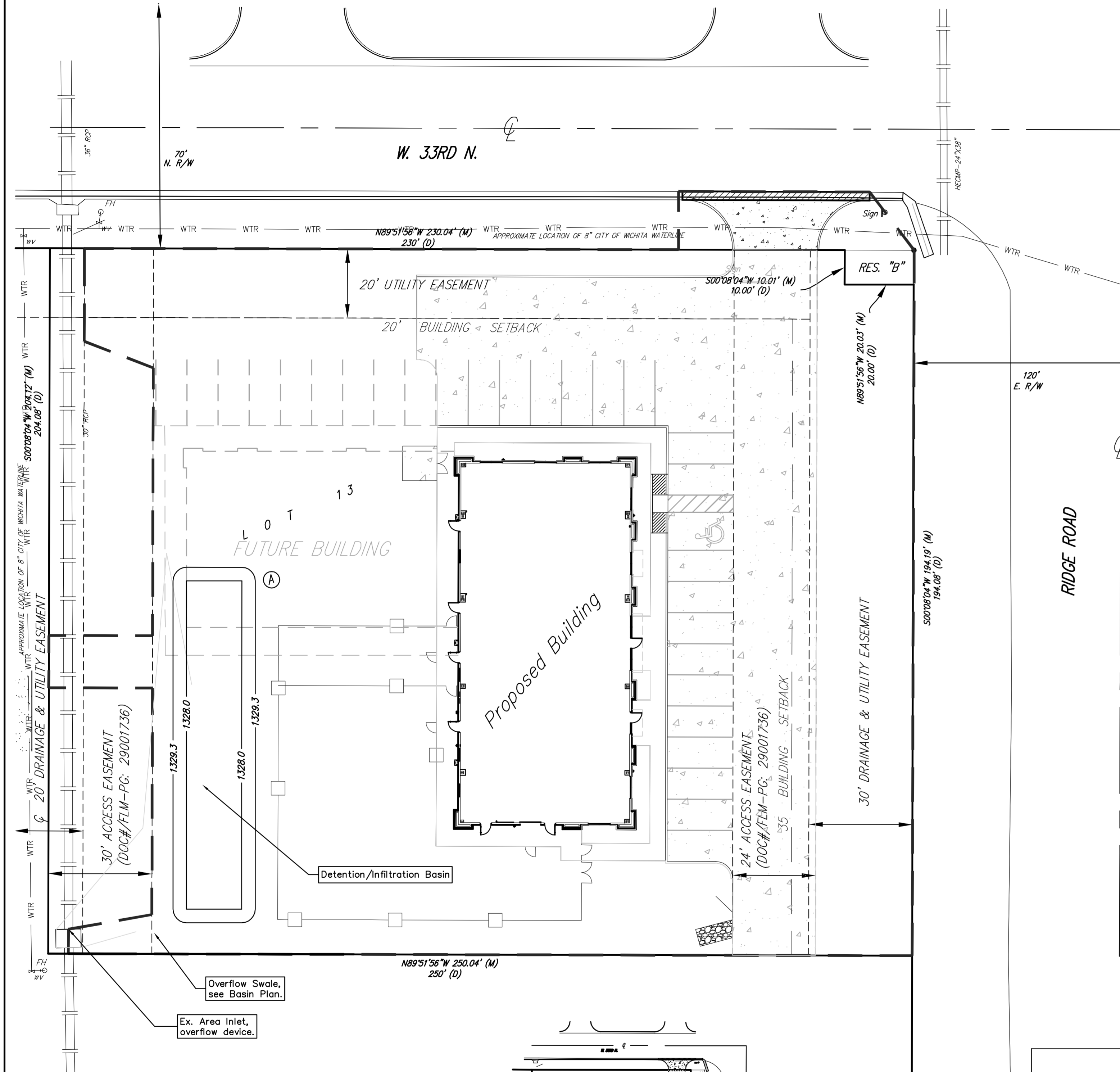
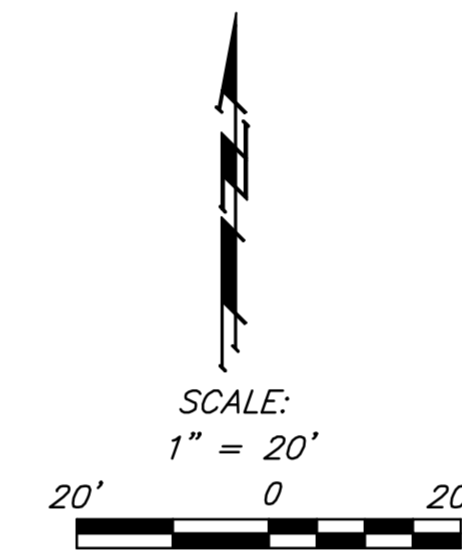
Index

Title Sheet	1
Detention/Infiltration Basin	2
Grading Plans (Reference Only)	3
Erosion Control Plan (Reference Only)	4
Landscape Plan (Reference Only)	5

General Notes

- Contractor will be required to provide notice to utility companies a minimum of forty-eight (48) hours prior to any excavation, as follows:

Kansas One-Call	687-2470
The Contractor must notify the following in case of an emergency:	
Cox Communications	262-4270
Kansas Gas Service Company	1-888-482-4950
Westar Energy (Electric)	383-8650
Black Hills Energy (Gas)	1-800-303-0357
Southwestern Bell Telephone Co.	1-800-286-8313
City of Wichita Water Dept. (Water)	262-6000
City of Wichita Sewer Maint. (SS)	268-4090
City of Wichita Storm Sewer Maint.	268-4034
City of Wichita Traffic Maint.	262-6000
- All disturbed areas within the project site and that overlap the area to be disturbed shall have temporary and permanent erosion control measures installed by the general contractor. See site plan reference copy of the Erosion Control Plan and Landscape Plan and coordinate with General Contractor to ensure temp. erosion control measures are install within 7 days of construction.
- All disturbed R/W areas not intended for pavement or sidewalk construction shall be seeded with Kansas Premium Fescue Blend at a rate of 8 lb./1000 Sq. Ft., fertilized with a 16-20-6 ratio at a rate of 4 lb./1000 Sq. Ft., and mulched with Prairie Hay at a rate of 92 lb./1000 Sq. Ft. Mulch shall be "patted" with forks or punched into soil to reduce loss due to wind.
- Utility service lines, poles, valve boxes, meters, et cetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans represent the best information obtainable for design and shall be field verified. The contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Contractor shall furnish the inspector with a copy of the manufacturer's certification for all pipe used on this project after completion of pipe installation. The engineer will not certify the project to the city until pipe certification has been received.
- Properties within the project limits may have underground sprinkler systems which conflict with new construction. Contractor will be required to remove such improvements should they not be removed by their owner at the time of construction. The Contractor will be required to salvage all sprinkler heads and/or valves and give such material to their owner. Portions of underground sprinkler systems not in conflict with new construction shall be protected from damage and shall remain in place. All work in connection with underground sprinkler systems shall be considered as subsidiary to the contract pay items of work.
- Cuts made to paved surfaces on public property will be repaired by the City's contractor and charged against the owner/applicant. Unit repair prices are available from the City at 268-4418. A surcharge may be applicable; call 268-4418 for details. Repair costs to be paid prior to release of sewer service if sewer service is affected. Contractor shall obtain permit prior to construction.
- Barriers and detour signage shall be in accordance with the Manual On Uniform Traffic Control Devices.
- Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Contractor shall not start on the project until all necessary bonds and permits have been obtained. Bonds may include but are not limited to Statutory, Performance & Maintenance. Any work done without inspection will be required to be uncovered for inspection.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations that, in the opinion of the Engineer, will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- All storm water sewer lines and appurtenances shall be installed in accordance with the most recent edition of City of Wichita, Kansas Standard Specifications for the Construction of City Projects unless otherwise noted.
- All storm water sewer lines shall be reinforced concrete pipe unless otherwise noted in the plans.
- See Landscape and Grading Plans for Groundwater Infiltration Pond Plans.



BENCHMARK

"□" Chiseled on Top of Catch Basin on south side of W. 33rd North at the NW Corner of Lot 13, Block A, Ridge Port Commercial Park, Wichita, Sedgwick County, Kansas.
Elev. = 1329.68 (NAVD88)

LEGAL DESCRIPTION

Lot 13, Block A, Ridge Port Commercial Park, Wichita, Sedgwick County, Kansas.

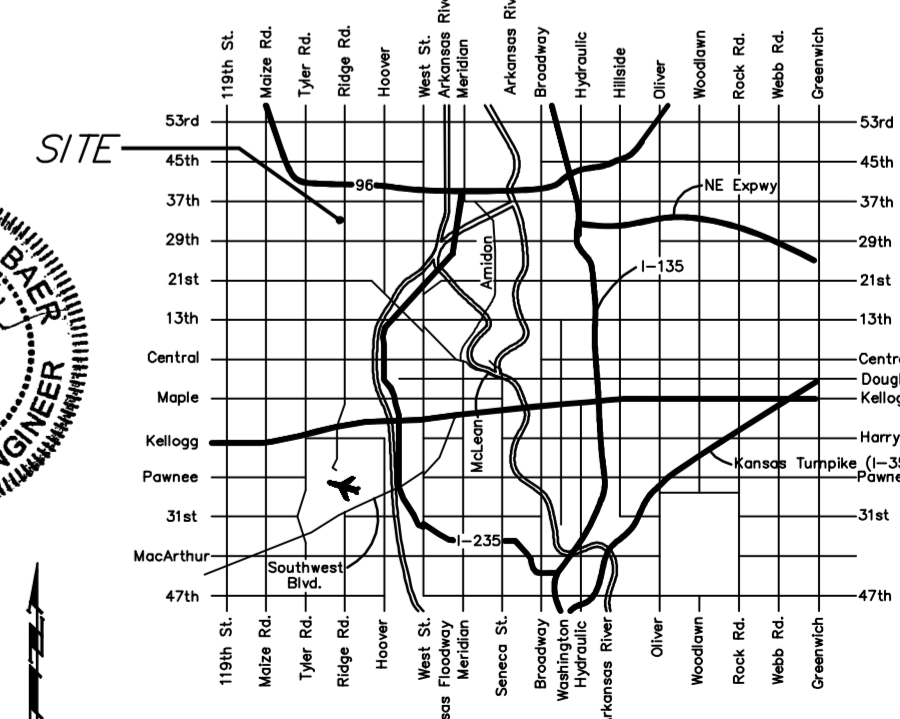
ERU INFORMATION

Total Area: ±50,843.70 sq. ft. (1.16 acres)
Existing Impervious Area: 0.00 sq. ft.
Post Impervious Area: ±18,756.96 sq. ft. (0.43 acres)
(Bldg. 5,250 & Pav. 13,507)
Parking Spaces Required: 1 Space/333 sq. ft. of building
5,250/333=15.9=16 Stalls
Parking Spaced Shown: 20 Spaces, Including 1 Handicapped

APPROVED AS NOTED
BY CITY ENGINEER OF WICHITA

Engineering *[Signature]* 7-17-12
Storm Drainage *[Signature]* 7-17-12

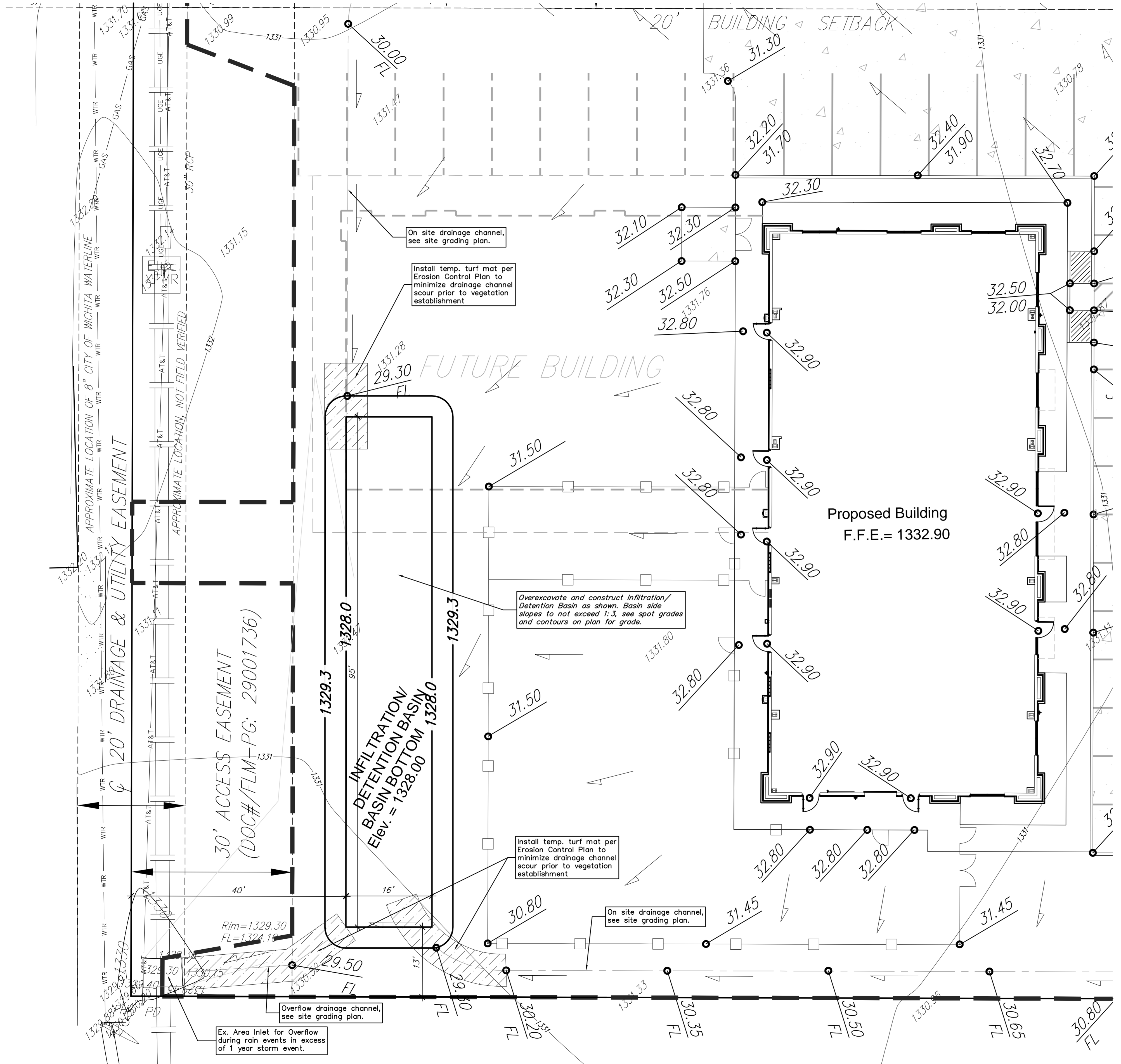
NOTE TO CONTRACTORS
Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said Inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).



VICINITY MAP

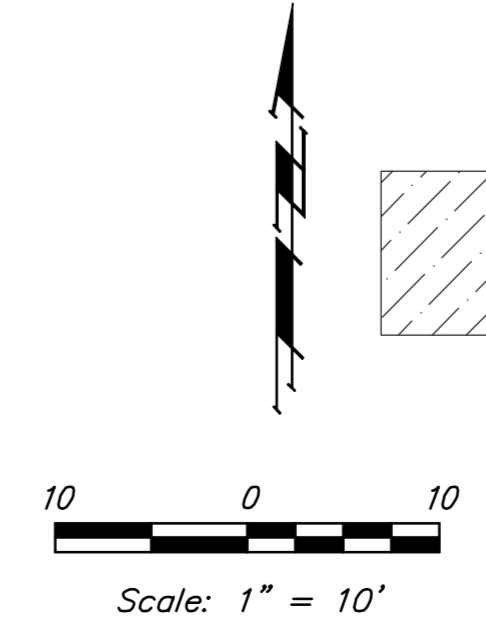


Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-01
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE



- INFILTRATION DETENTION BASIN NOTES:**
1. Basin bottom and shall be over-excavated to the existing sand layer, see Geotechnical Report and backfilled with on site sandy soil excavated from proposed Building Footings. Overexcavation and backfilling to be verified by PPD Inspector, to be paid by the contractor. Soil testing shall be arranged by the Contractor at the request of the Inspector.
 2. Top 4" layer of bottom and sideslap of basin to consist of amended top soil consisting of 75% construction sand, 10% Organic Matter, and 15% Top Soil.
 3. All of disturbed areas, see Erosion Control for temporary seeding, and Native Seed note for permanent seeding requirements.
 4. Seeding within Infiltration Detention Basin to consist of a short Grass Prairie Mix: 12# PLS/ac. (Sharp's Shortgrass Pasture Mix from Sharp Bros. Seed Co. Heely, KS) 50% Blue Grama, Native, 25% Buffalograss, Sharp's Improved w/KNO3, 25% Sideoats Grama, El Reno.
 5. Install Erosion Control Mat (North American Green Bionet S150BN (or approved equal) within Basin as indicated on this sheet immediately after completion of basin grading..

Basin Size		
Elevation	Area	Volume.
1328.0	1,520	0
1329.0	2,222	1,871
1329.3	2,446	2,578



Baughman

ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

Lots 13, Blk A, Ridge Port Comm. Parl
Infiltration Basin
Wichita, Kansas

PROJECT NUMBER
01XX PPD 607853

REVISIONS:

DESIGN
PSB

APPROVED
PSB

SCALE
varies

SHEET
2 OF 5

Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P: 316.260.3271 F: 316.260.0149

PATRICK SHAWN BAKER
LICENSED PROFESSIONAL ENGINEER
16976
7/17/12

NA Green SC 150 Erosion Control Mat with native seed. Install per Manufacture Specifications.

LEGAL DESCRIPTION

Lot 13, Block A, Ridge Port Commercial Park, Wichita, Sedgwick County, Kansas.

BENCHMARK

Chiseled on Top of Catch Basin on south side of W. 33rd North at the NW Corner of Lot 13, Block A, Ridge Port Commercial Park, Wichita, Sedgwick County, Kansas.

Elev. = 1329.68 (NAVD88)

SITE INFORMATION

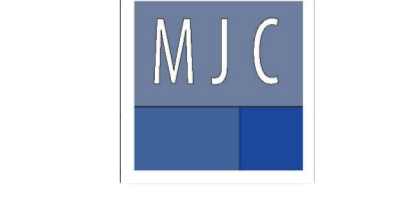
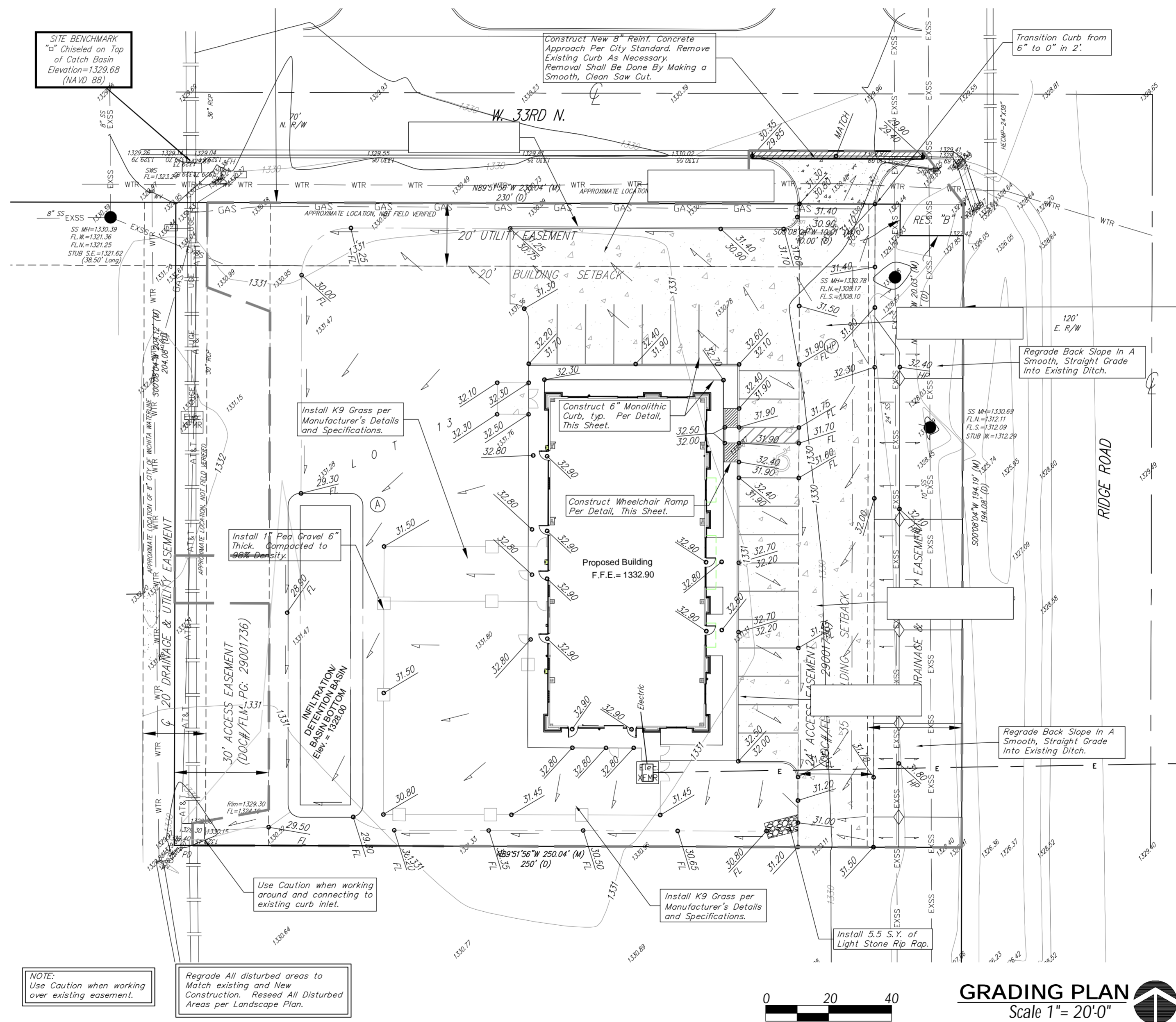
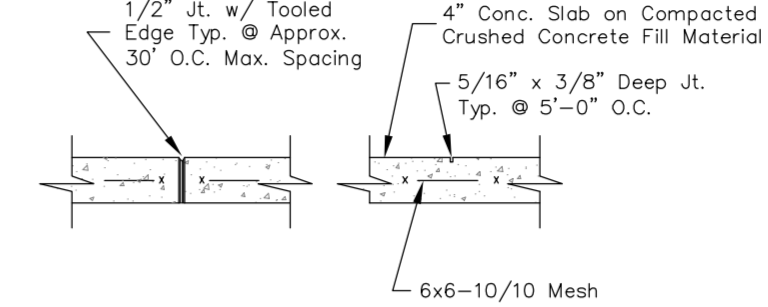
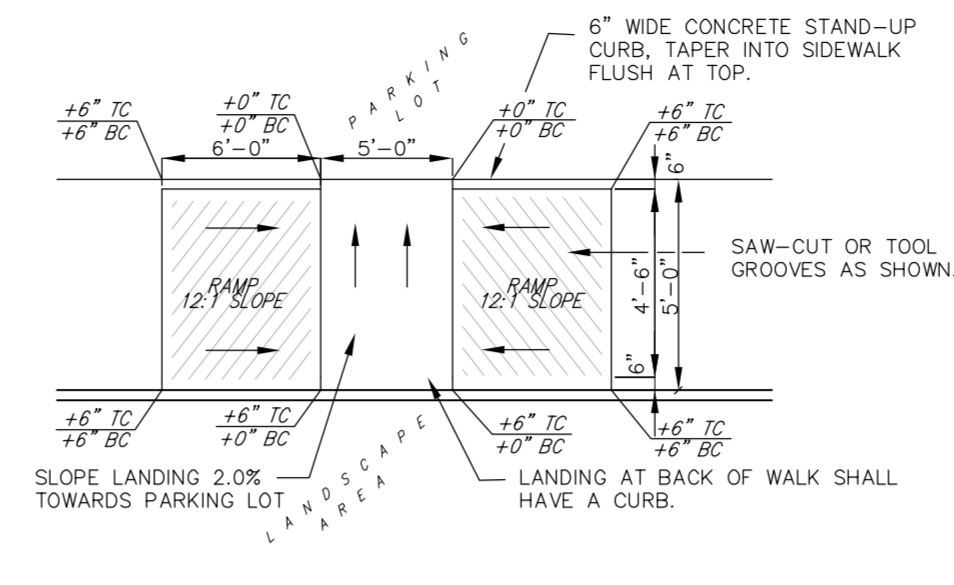
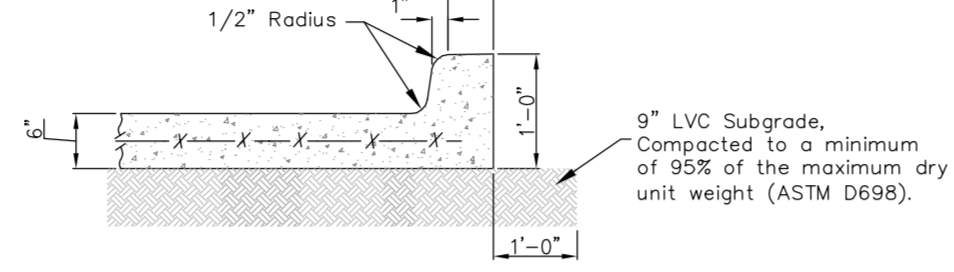
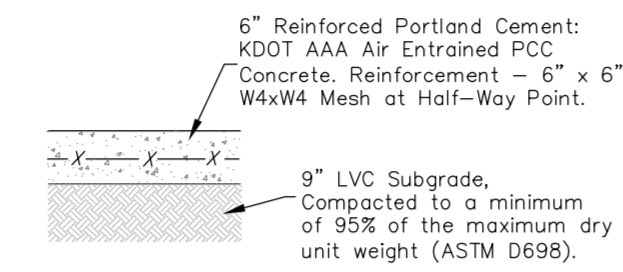
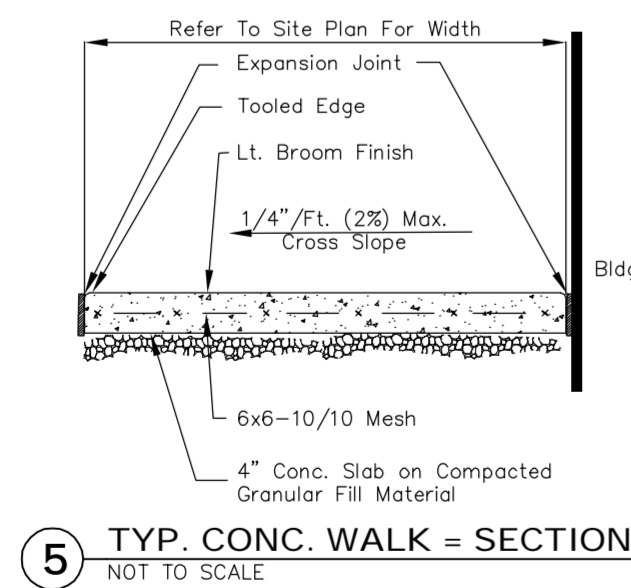
Total Area: ±50,843.70 sq. ft. (1.16 acres)
 Impervious Area: ±18,756.96 sq. ft. (0.43 acres)
 Building Area: ±5,250 sq. ft.
 Parking Spaces Required: 1 Space/333 sq. ft. of building
 5,250/333=15.9=16 Stalls
 Parking Spaced Shown: 20 Spaces, including 1 Handicapped

GRADING NOTES

- Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
- The Contractor must notify the following in case of an emergency:
 - Kansas Gas Service (Gas).....1-888-482-4950
 - Aquila Energy (Gas).....1-800-303-0357
 - Westar Energy (Electric).....383-8650
 - Cox Communications (Cablevision).....262-4270
 - A&T (Phone).....268-2759
 - City of Wichita Water Dept. (Water).....268-4563 or 268-4908
 - City of Wichita Sewer Maint. (San. Sewer).....268-4024 or 262-6006
 - City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4090
 - City of Wichita Traffic Maint. (Traf. Control).....268-4034 or 268-4203
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Refer to Landscape Plans and Specifications for Treatment of All Disturbed Areas.
- Signaling and striping shall be installed in accordance with Local City Specifications and Codes.
- Paved Lot to be constructed Per Approved Specifications.
- The Contractor shall notify adjacent landowners prior to proceeding with any construction work on landowner's property.
- Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%). Notify Engineer of any discrepancies prior to forming of walks.

LEGEND

--- Construction Limits



NORTH RIDGE
 VETERINARY CLINIC
 & REHABILITATION
 North Ridge Road
 Wichita, Kansas

MJC Architecture
 450 N. 159th St. E. - Wichita KS 67230
 cell (316)218.3103 - (316)733.1413 tel & fx
 mjcarchitecture@ms2u.com

PRINTS ISSUED
 3-1-12 PRELIM. DESIGN
 4-12-12 75% REVIEW SET
 4-27-12 PERMIT SET
 6-19-12 CITY REVISIONS

MJC No. 12002
 drawn: MDK
 checked: MJC
 GRADING PLAN

C1.2
 Copyright 2012 MJC Architecture

For Reference Only
 See Site Plans

Baughman Company, P.A.
 ENGINEERING | SURVEYING | PLANNING
 LANDSCAPE ARCHITECTURE
 Baughman

Lot 1, Blk A, Ridge Port Comm. Addition
 Grading Plan Copy
 Drainage Improvements

EROSION CONTROL NOTES:

- No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #10).
- All exposed areas shall be seeded and all permanent erosion control measures installed immediately after final GRADING.
- Should construction stop for longer than 14 days, the site temporary stabilization is to be installed immediately and established within 21 days.
- Maintain erosion control measures after each rain and at least once a week.
- This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
- Contractor shall comply with all state and local ordinances that apply.
- Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
- Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
- If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
- This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
- ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
- An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.

LEGAL DESCRIPTION

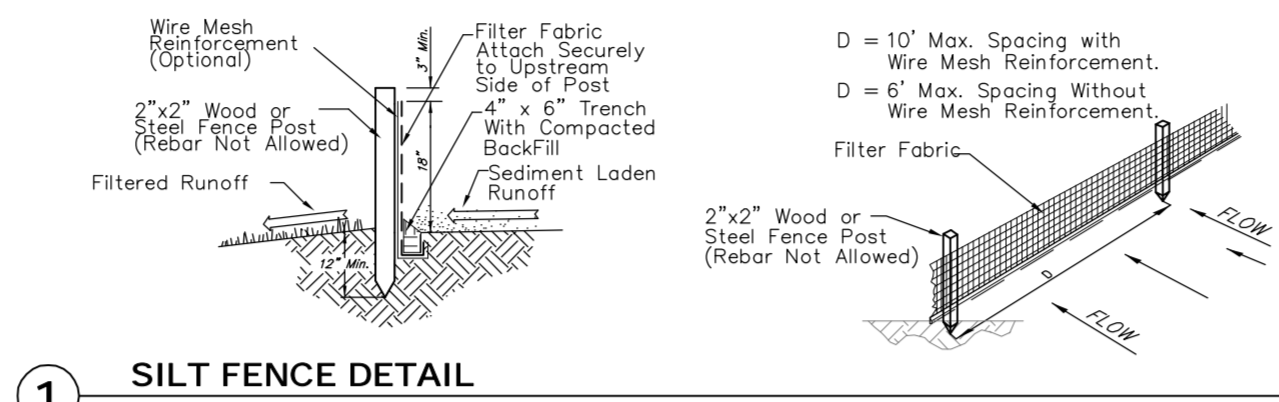
Lot 13, Block A, Ridge Port Commercial Park, Wichita, Sedgwick County, Kansas.

BENCHMARK

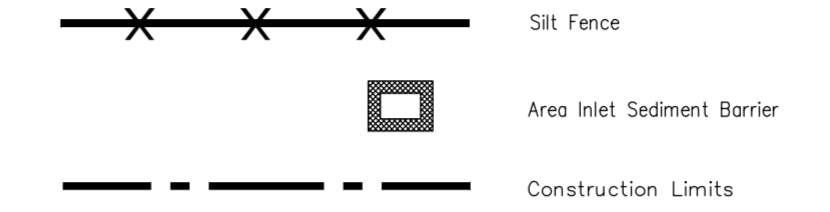
"□" Chiseled on Top of Catch Basin on south side of W. 33rd North at the NW Corner of Lot 13, Block A, Ridge Port Commercial Park, Wichita, Sedgwick County, Kansas.
Elev. = 1329.68 (NAVD88)

SITE INFORMATION

Total Area: ±50,843.70 sq. ft. (1.16 acres)
Impervious Area: ±18,756.96 sq. ft. (0.43 acres)
Building Area: ±5,250 sq. ft.
Parking Spaces Required: 1 Space/333 sq. ft. of building
5,250/333=15.9=16 Stalls
Parking Spaced Shown: 20 Spaces, Including 1 Handicapped



EROSION CONTROL LEGEND



NORTHEDGE
VETERINARY CLINIC
& REHABILITATION
North Ridge Road
Wichita, Kansas

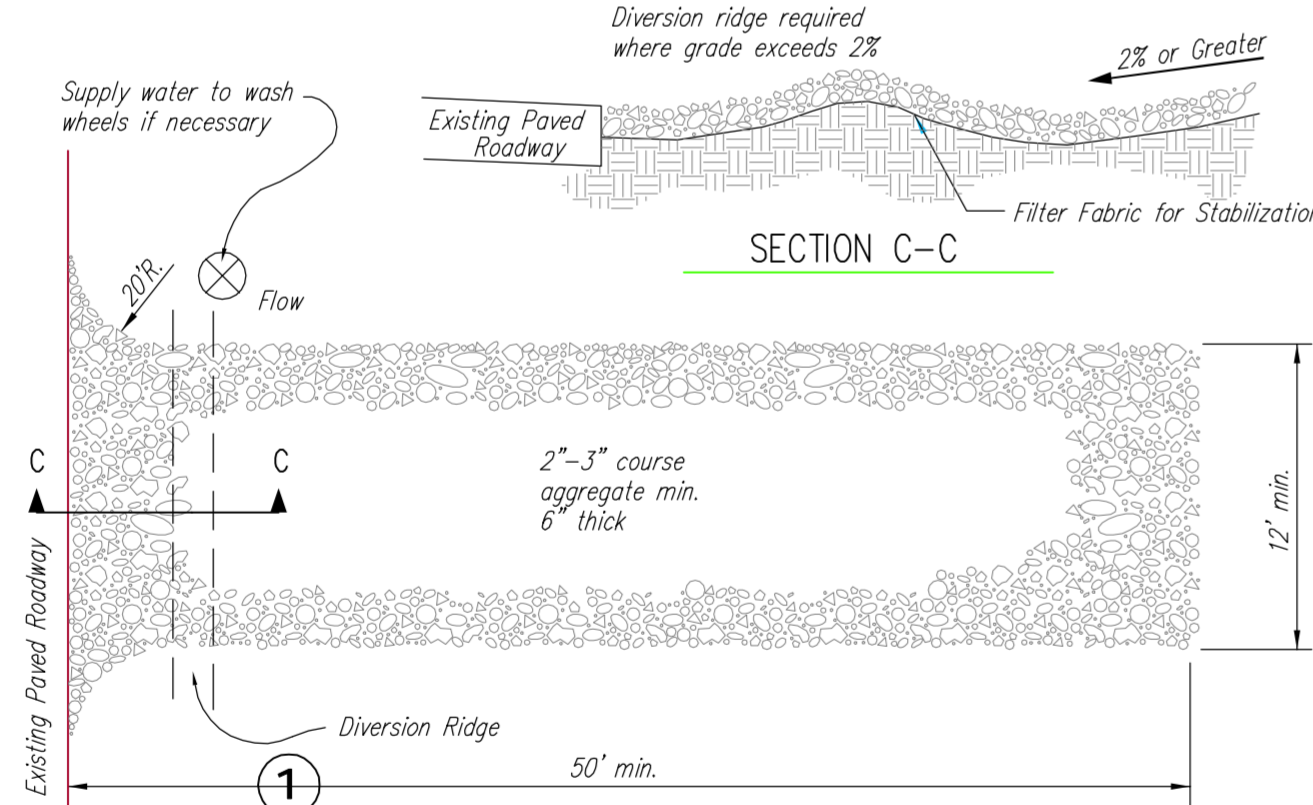
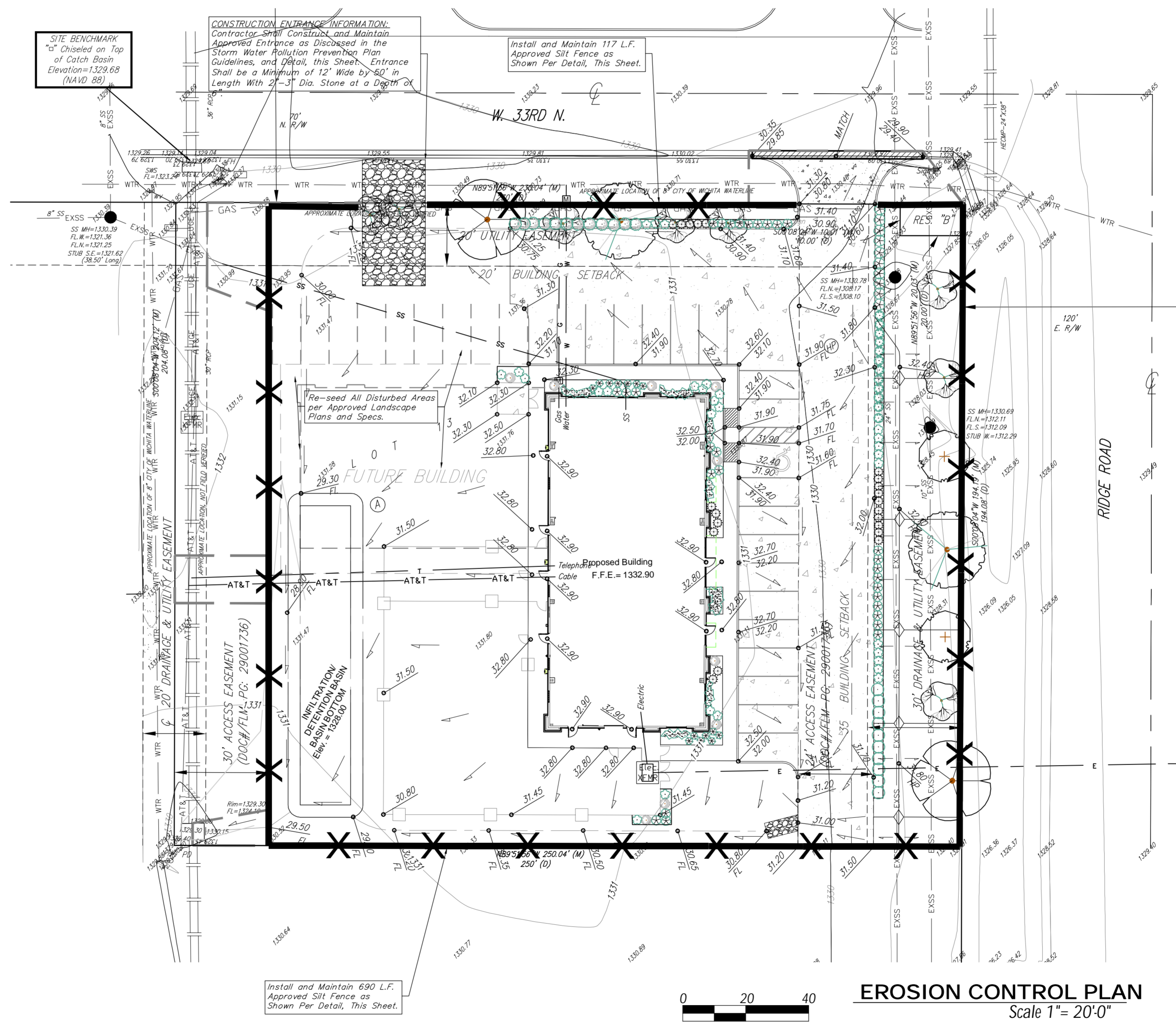
MJC Architecture
450 N. 159th St. E. - Wichita KS 67230
cell (316)218.3103 - (316)733.1413 tel & fx
mjcarchitecture@ms2u.com

PRINTS ISSUED
3-1-12 PRELIM. DESIGN
4-12-12 75% REVIEW SET
4-27-12 PERMIT SET
6-19-12 CITY REVISIONS

MJC No. 12002
drawn: MDK
checked: MJC

C1.4
EROSION CONTROL PLAN
Copyright 2012 MJC Architecture

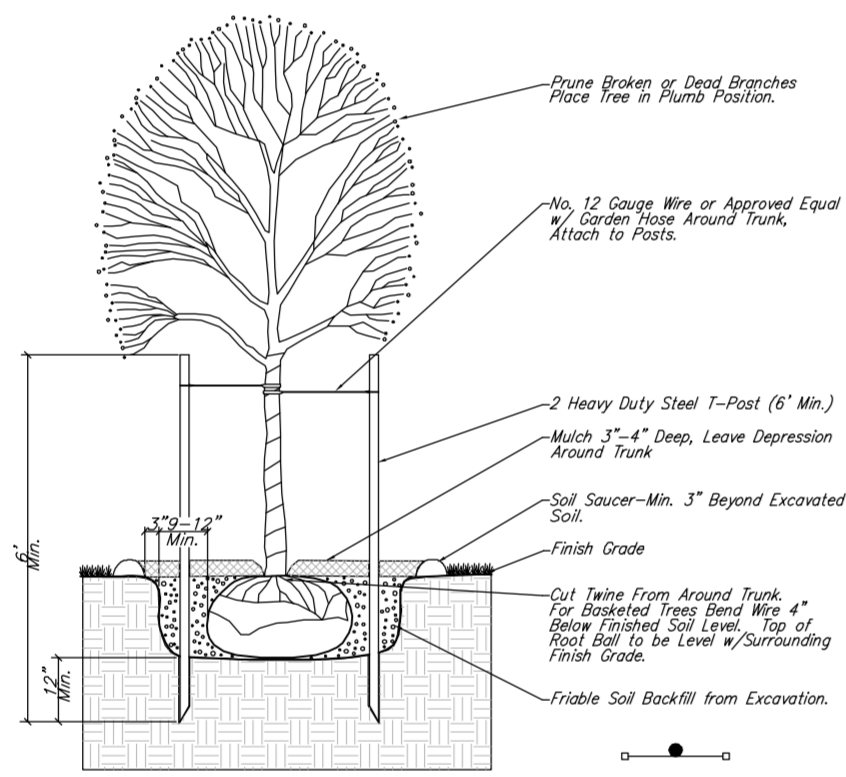
For Reference Only
See Site Plans



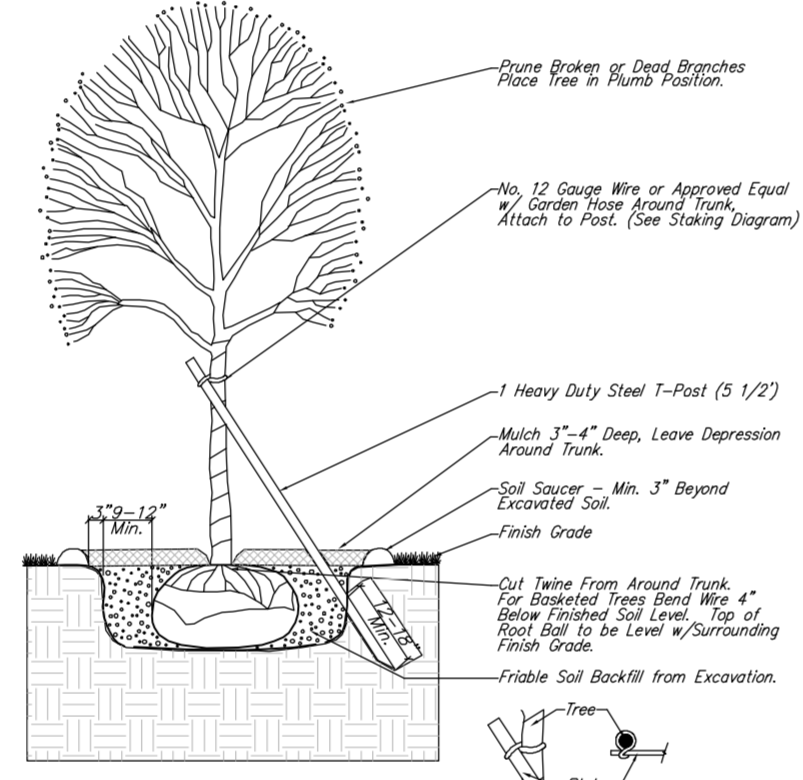
- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
 - DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

Scale: Title: Date: Drawing Name:

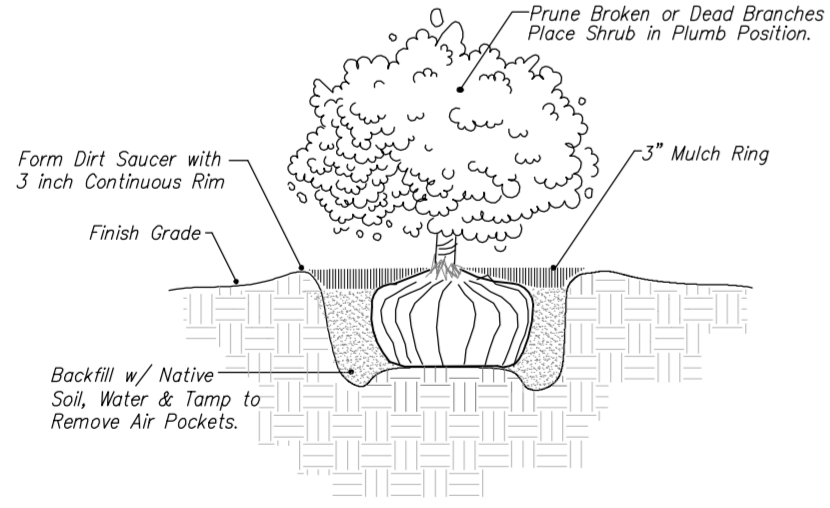
PLANT SCHEDULE					
TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	REMARKS
2	<i>Acer freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	B & B	3"Cal	Full & Healthy
9	<i>Juniperus scopulorum</i> 'Skyrocket'	Skyrocket Juniper	5 gal		Full & Healthy
2	<i>Malus x 'Spring Snow'</i>	Spring Snow Crab Apple	B & B	2"Cal	Full & Healthy
8	<i>Quercus robur</i> 'Fastigiata'	Pyramidal English Oak	B & B	3"Cal	Full & Healthy
2	<i>Quercus shumardii</i>	Shumard Red Oak	B & B	2.5"Cal	Full & Healthy
SHRUBS	BOTANICAL NAME	COMMON NAME	CONT		REMARKS
29	<i>Calamagrostis x acutiflora</i> 'Kari Foerster'	Feather Reed Grass	3 gal		Full & Healthy
14	<i>Cornus sericea</i> 'Kelsey'	Kelsey Dogwood	5 gal		Full & Healthy
12	<i>Hypericum frondosum</i> 'Sunburst'	Sunburst Hypericum	3 gal		Full & Healthy
12	<i>Itea virginica</i> 'Henry's Garnet'	Henry's Garnet Sweetspire	5 gal		Full & Healthy
21	<i>Juniperus x pfitzeriana</i> 'Aurea Improved'	Gold Coast Juniper	3 gal		Full & Healthy
29	<i>Spiraea japonica</i> 'Goldmound'	Goldmound Spirea	3 gal		Full & Healthy
10	<i>Spiraea x bumalda</i> 'Anthony Waterer'	Anthony Waterer Spirea	3 gal		Full & Healthy
10	<i>Taxus x media</i> 'Densiflormis'	Dense Yew	3 gal		Full & Healthy
SHRUB AREAS	BOTANICAL NAME	COMMON NAME	CONT		REMARKS
15.3	<i>Liriope muscari</i> 'Big Blue'	Big Blue Lilyturf	1 gal@ 12" oc		Full & Healthy
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS
	6,783 sf	<i>Festuca arundinacea</i>	Kansas Premium Tall Fescue	sod	
	14,252 sf	<i>Festuca arundinacea</i> Seed	Kansas Tall Fescue Seed	seed	
	146 sf	<i>Sedum reflexum</i> 'Blue Spruce'	Blue Stonecrop	1 gal@ 14" oc	Full & Healthy



1 TREE PLANTING & STAKING DETAIL
Deciduous Trees Larger than 2" Cal, and Smaller Evergreen Trees Larger than 6" Height
No Scale



2 TREE PLANTING & STAKING DETAIL
Occasional Trees 2" Cal, and Smaller Evergreen Trees 6" Height and Smaller
No Scale



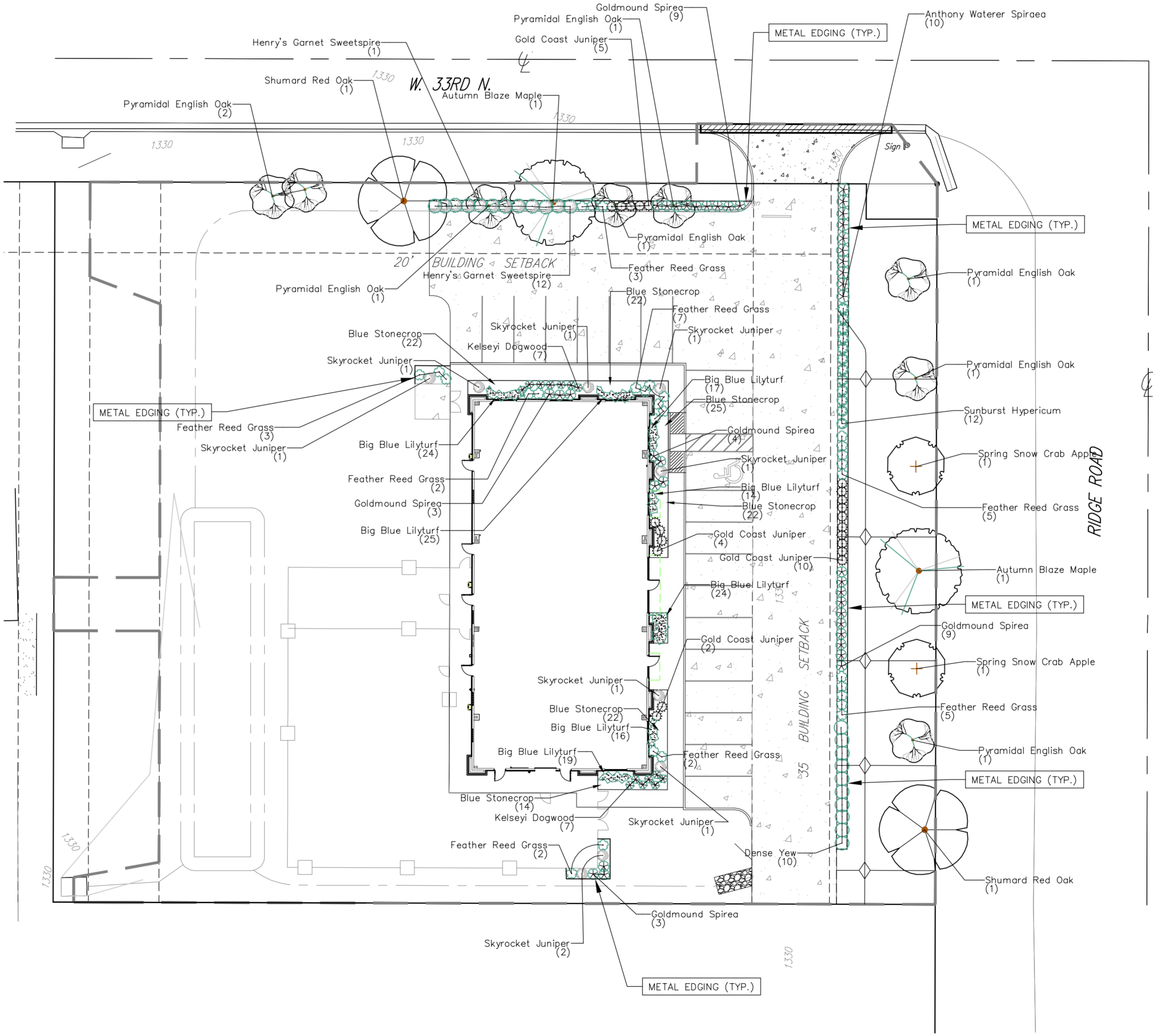
3 SHRUB PLANTING DETAIL
5 Gallon and Smaller
No Scale

IRRIGATION NOTES:

- All irrigation work is to be installed in compliance with all local codes and regulations.
- Irrigation Contractor shall design system so turf heads are on separate zones from shrub spray heads.
- The Irrigation Contractor DOES NOT START irrigation construction until final shop drawings are submitted and approved to the Landscape Architect and/or Owner prior to construction for final approval which shall include Rainbirds, Toro, Hunter products, or approved equal, which will illustrate type of heads, head coverage, valve location, piping and accessories, and main line location. Included in shop drawings show zone pressure, valve size, GPM requirements and pipe sizing. Also specify a rain switch or moisture sensing device per City Codes.
- Prior to construction, Irrigation Contractor to locate all exist and proposed utilities and electrical wiring.
- Contractor shall not install irrigation system when any obstructions in the field exist. Contact the Landscape Architect for clarification before proceeding around obstructions.
- All turf areas shall be head-to-head coverage with triangle spacing where possible. Contractor is responsible for adequate coverage in shrub bed zones using drip system and/or spray heads.
- Heads to be adjusted to not spray on buildings, walks, or drives. Spray Heads will be located nearest to planting bed edge using funny pipe and fittings. Spray Heads to be located and sized so not to be susceptible to damage by automobile overhangs.
- Irrigation Contractor shall coordinate with Paving Contractor to locate and install required irrigation lines steaming prior to any paving. Combine piping when possible to save on sleeving material. Sleeves to be min. 20" below finish grade. Verify final depth w/ Paving Contractor for adequate coverage.
- Automatic drainage valves to be located at the ends of lines and at the lowest points on the lines.
- Irrigation Contractor to verify location of water supply with GC prior to installation of system. Irrigation Contractor shall verify static pressure.
- Locate Irrigation Controller per Owner's direction.

LANDSCAPE NOTES:

- All landscape work shall be done in accordance with industry standards.
- All areas called out on the plan as "Sod" or "Seed" shall be installed and fertilized as follows:
SOD—Kansas Premium Fescue Sod
SEED—Kansas Premium Fescue Seed
FERTILIZER—16-20-6 ratio 4#/1000 sq. ft.
- Trees with broken leaders or no central leader will not be accepted.
- All planting beds shall be prepared by killing all existing vegetation with Round-Up (or equal) according to label directions. A Pre-emergent herbicide such as Trifluralin (5%) (or equal) shall be applied per label directions. All planting beds to receive 2" organic matter (such as cotton bur mulch, compost, or humus) and shall be rototilled in to a depth of 10-12".
- Mulch all planting beds with min. 3" of mulch. Mulch all tree saucer wells with min. 3" of mulch. Mulch material to be premium cedar mulch of uniform consistency.
- Metal edging shall be used to separate all turf areas from planting beds. Edging shall be 10 gauge thickness, commercial grade, or approved equal.
- General Contractor to supply and place at a depth of 4", all topsoil on site within the Limits of Construction.
- Topsoil hauled onto site shall be fertile, friable, natural loam topsoil, of uniform quality characteristic of representative local soils which produce heavy growth of crops, grass, or other vegetation. It shall be free of trash, or other matter toxic to plant growth.
- Topsoil shall be delivered in an unfrozen and non-muddy condition and shall be subject to approval by the Landscape Architect.
- Prior to any excavation for landscaping purposes the location of underground utilities shall be determined by calling Kansas One Call at 687-2470/1-800-344-7233. Contractor shall be responsible for any damage done to existing utilities.
- Report any discrepancies in the planting plan to the Landscape Architect, prior to starting construction.
- The Landscape Contractor shall coordinate with the G.C. to gain site access to install the plants and maintain grounds, until final acceptance from owner. Upon final acceptance, the one (1) year guarantee period will begin.
- The Landscape Contractor shall coordinate with the G.C. to install the plants and maintain grounds, until final acceptance from owner.
- The Landscape Contractor shall submit bid with unit prices for all plants, including mulch, installation, 1 year guarantee, bed preparation, fertilizer, etc.
- The Landscape Contractor is responsible for any damage done to the exterior of the building or any part of the parking lot when installing or maintaining the plantings before final acceptance.
- Fall planting season shall be September 1 thru October 31. Spring planting season shall be April 1 thru June 30. For grass seeding, fall season shall be September 1 thru mid-October. Spring season for seeding shall be from March 15 thru mid-May.
- Landscape Contractor shall provide maintenance until final project acceptance including landscape maintenance and watering.



NORTH RIDGE
VETERINARY CLINIC

3233 N. Ridge Rd
Wichita, Kansas



450 N. 159th St. E. - Wichita KS 67230
cell (316)218-3103 - (316)733-1413 tel & fax
mjcarc@architects2u.com

PRINTS ISSUED
3-1-12 PRELIM. DESIGN
4-12-12 75% REVIEW SET
4-27-12 PERMIT SET

MJC No. drawn: MDK
12002 check: MJC

LANDSCAPE PLAN

L1.1

©copyright 2012 MJC Architecture

For Reference Only
See Site Plans

Lot 1, Blk A, Ridge Port Comm. Addition
Landscaping Plan Copy
Drainage Improvements

SHEET
OF
5
5