

AS BUILT PLANS

Contractor: Superior Excavating
 Inspector: Don Eddingfield, Baughman Co.
 pdf's by: KEK, 10/7/14

STORM WATER DRAIN IMPROVEMENTS to serve Ridge Port Commercial Park Lot 5

Private Project: 248 PPD (607861)

CITY OF WICHITA, KANSAS

Gary Janzen, P.E., City Engineer

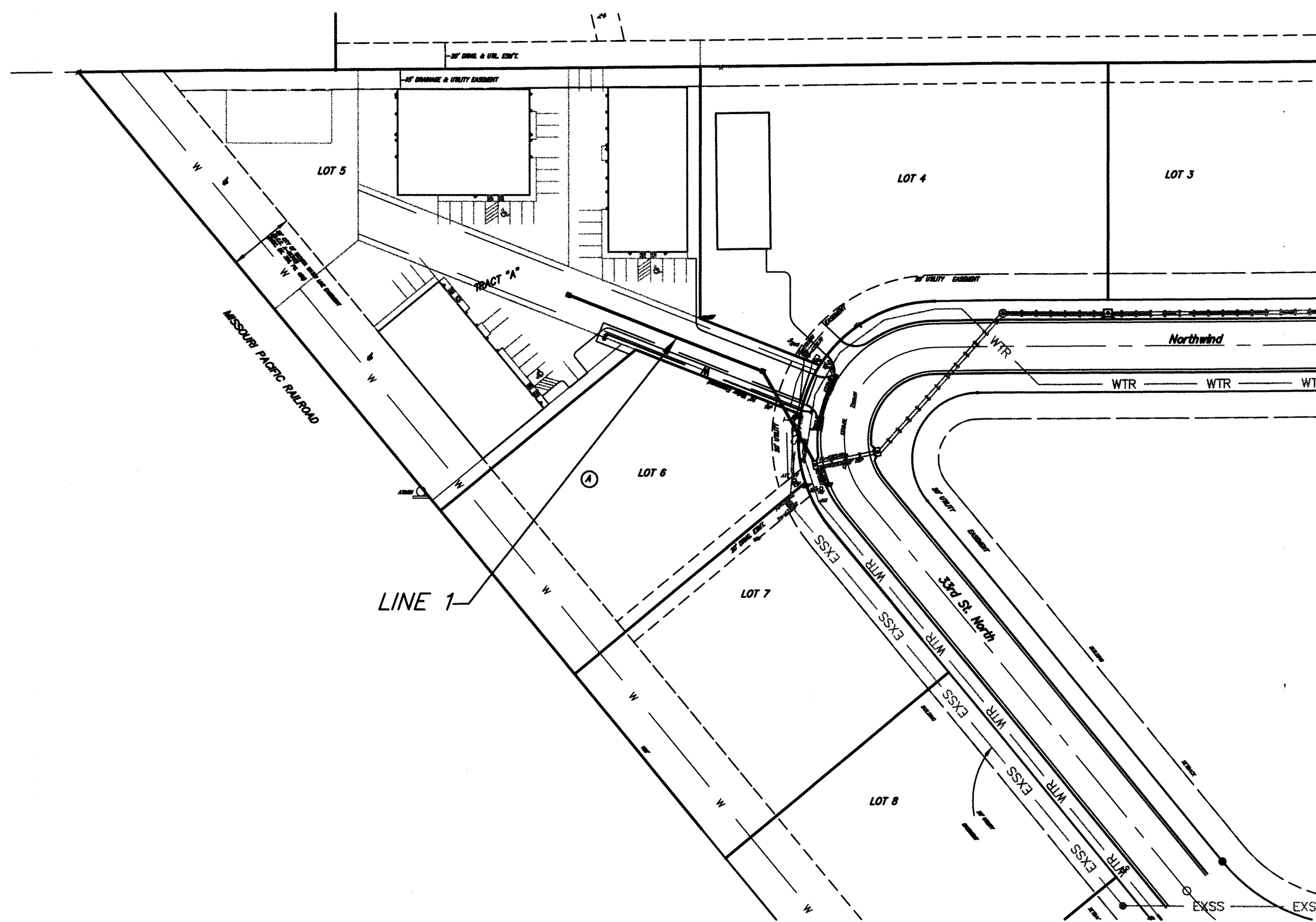
May 2014

General Notes

- Contractor will be required to provide notice to utility companies a minimum of forty-eight (48) hours prior to any excavation, as follows:

Kansas One-Call	687-2470
Cox Communications	262-4270
Kansas Gas Service	1-888-482-4950
Westar Energy	383-8650
Black Hills Energy (Gas)	1-800-303-0357
ATT	268-2245
City of Wichita Water Dept.	268-4563
City of Wichita Sewer Maint.	268-4024
City of Wichita Storm Sewer Maint.	268-4090
City of Wichita Traffic Maint.	268-4034

The Contractor must notify the following in case of an emergency:
- Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- All disturbed R/W areas not intended for pavement or sidewalk construction shall be seeded with Kansas Premium Fescue Blend at a rate of 8 lb./1000 Sq. Ft., fertilized with a 16-20-6 ratio at a rate of 4 lb./1000 Sq. Ft., and mulched with Prairie Hay at a rate of 92 lb./1000 Sq. Ft. Mulch shall be "patted" with forks or punched into soil to reduce loss due to wind.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Waters of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- Contractor shall furnish the inspector with a copy of the manufacturer's certification for any pipe used on this project after completion of pipe installation. The engineer will not certify the project to the city until pipe certification has been received.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- All sewer lines and appurtenances shall be installed in accordance with the most recent edition of City of Wichita, Kansas Standard Specifications for the Construction of City Projects.
- Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Contractor shall not start on the project until all necessary bonds and permits have been obtained. Bonds may include but are not limited to Statutory, Performance & Maintenance Any work done without inspection will be required to be uncovered for inspection.



BENCHMARK

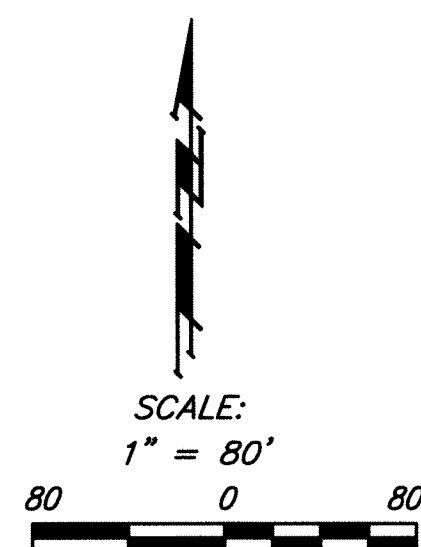
Benchmark - City of Wichita disc 33rd Street North and Northwind by Fire Hydrant, North corner Lot 7.
 Elevation = 1329.83 (NAVD 88)

LEGAL DESCRIPTION

Lot 5, Block A, Ridge Port Commercial Park Addition, an addition to Wichita Sedgwick County, Kansas.

Stormwater Narrative (Summary)

This site complies with Chapter 16.32 of the City Code. The proposed site is 2.3 ac. with only 1.7 being developed. The site is utilizing an existing storm water sewer system. Therefore, no downstream (CPv) protection is required and no detention is required. The site requires only Water Quality.



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Reference Erosion Control Plan	7
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Stormwater Compliance

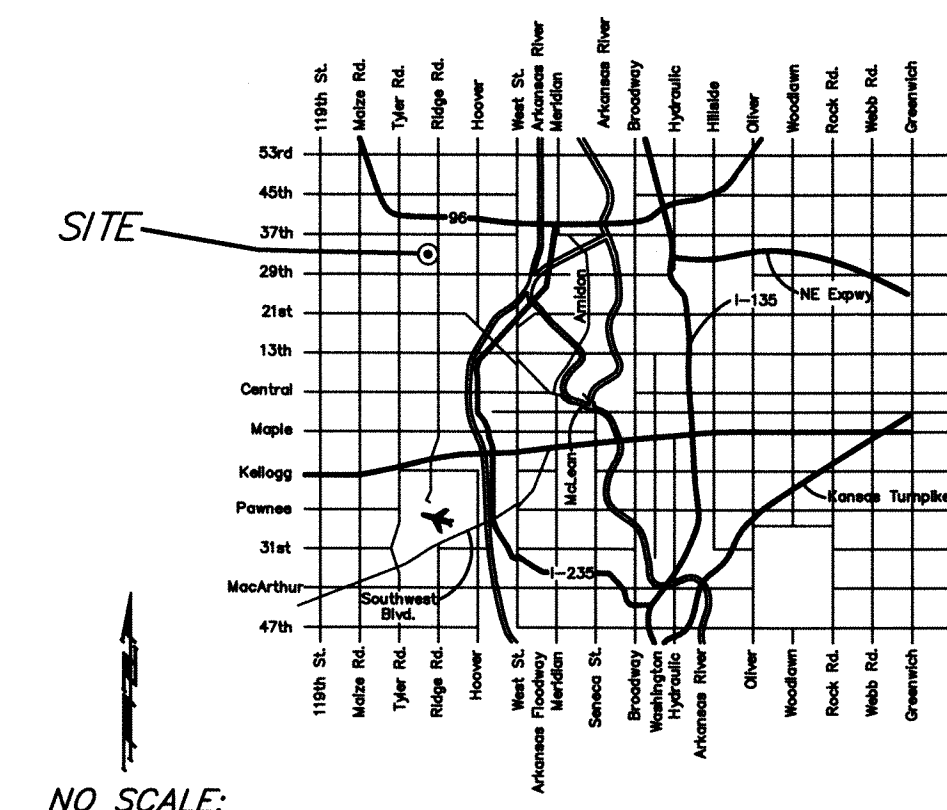
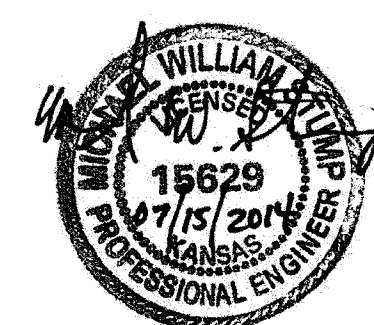
Water Quality requirements will be addressed with the use of new inlets in the drive that will feature a sump bottom with a water quality snout located over the outflow pipe. The structures have been designed for Water quality requirements for this phase of construction only. The Project Disturbed Area = 1.7 ac. The Water Quality (WQv) = 7,044 ft³. Channel Protection (CPv) = NA. Detention = NA.

APPROVED AS NOTED
 BY CITY ENGINEER OF WICHITA

Engineering *Julian Killman* 7-16-14
 Stormwater *Jim Handberg* 7-16-14

NOTE TO CONTRACTORS

Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).



Water Quality Unit Maintenance

The 18F Snout Water Quality Device will be inspected and maintained by the developer of the parcel where the device resides.

Stormwater Compliance

Water Quality requirements will be addressed with the use of new inlets in the drive that will feature a sump bottom with a water quality snout located over the outflow pipe. The structures have been designed for Water quality requirements for this phase of construction only.

BENCHMARK

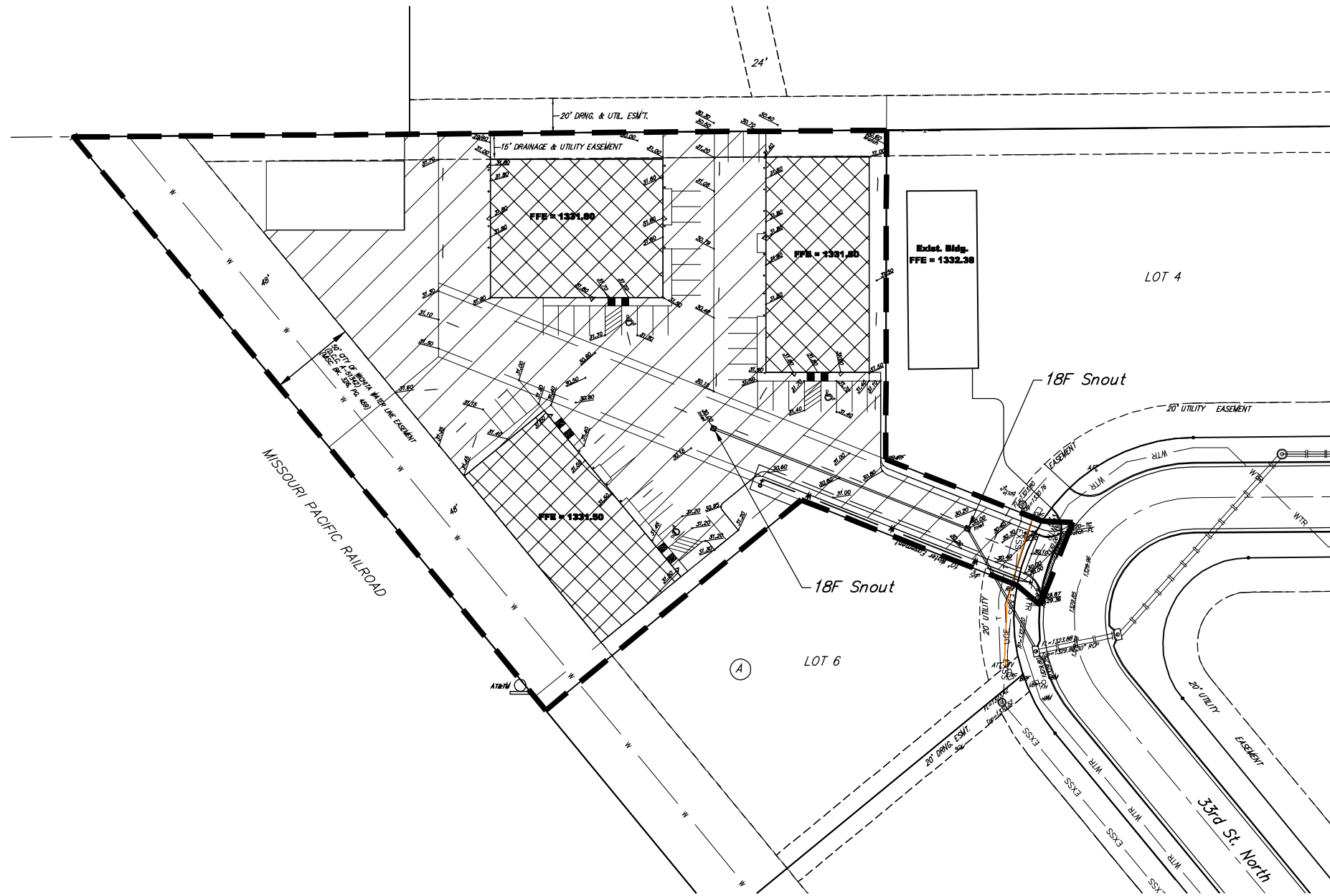
Benchmark - City of Wichita disc 33rd Street North and Northwind by Fire Hydrant, North corner Lot 7.
Elevation = 1329.83 (NAVD 88)

LEGAL DESCRIPTION




Lot 5, Block A, Ridge Port Commercial Park Addition, an addition to Wichita Sedgwick County, Kansas.

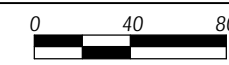
SITE INFORMATION

Total Area: ±101,374.8 sq. ft. (2.33 acres)
Proposed Impervious Area: ±45,409 sq. ft. (1.04 acres)
Proposed Building Area: ±26,200 sq. ft.
Total Impervious Area:
Proposed Impervious + Building: ±71,609 sq. ft. (1.65 acres)




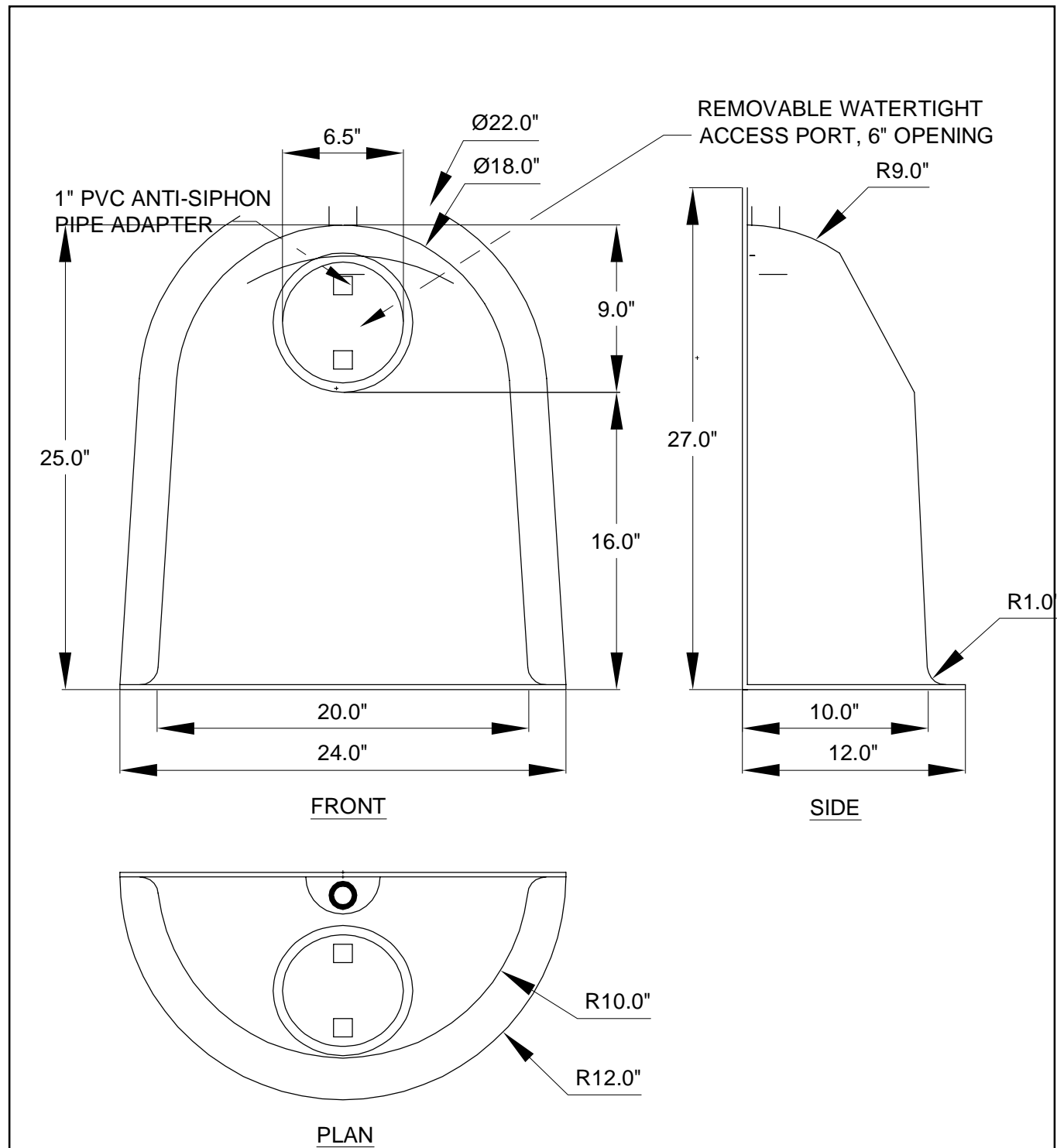
ERU LEGEND

-  = Project Limits
-  = Impervious Area
-  = Building Area



ERU PLAN
Scale 1" = 40'-0"

		Ridge Port Commercial Park - Lot 5	
ERU Plan		Storm Water Sewer Improvements	
Baughman Company, P.A. 315 Erie St. Wichita, KS 67211 P 316-262-7271 F 316-262-0109			
ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE			
PROJECT NUMBER 248 PPD (607861)	DESIGN NBW	DRAWN MWS	DATE May 2014
REVISIONS:	APPROVED	SCALE Noted	SHEET
			3 OF 8

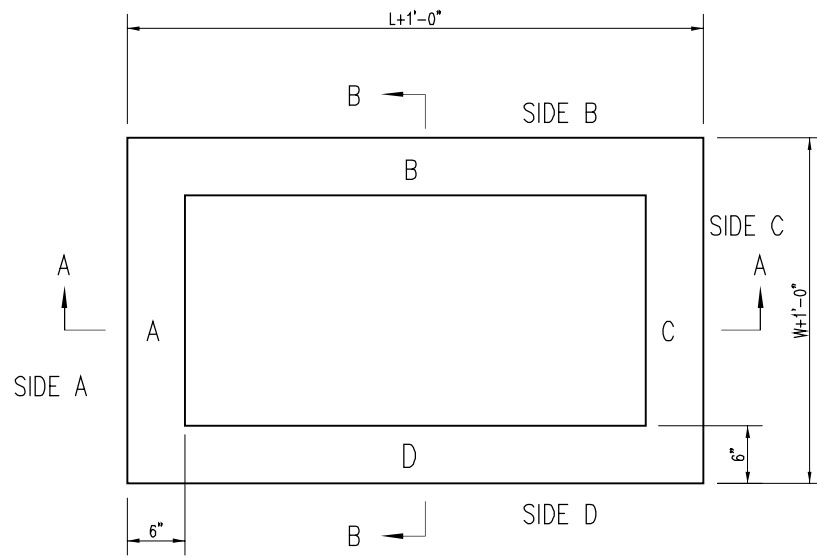


RECOMMENDED SUMP DEPTH = Min. 37.5"

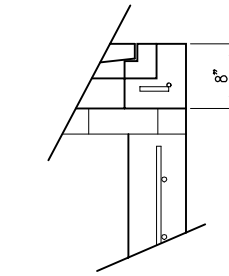
US PATENT #6126817 ADDITIONAL PATENTS PENDING

BMP, INC.		
53 MT. ARCHER ROAD, LYME, CT. 06371 (800) 504-8008 FAX: (860)434-3195		
DESCRIPTION	DATE	SCALE
18F SNOUT OIL & DEBRIS STOP	09/14/99	NONE
DRAWING NUMBER 18F		

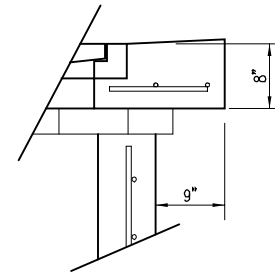
18F SNOUT DETAIL		
PROJECT NUMBER 248 PPD	OCA NUMBER 607861	DATE 05/2014
		SHEET 4 of 8



TOP VIEW

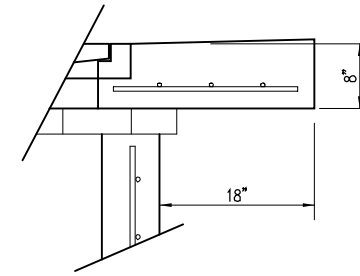


FLUSH STYLE TOP
NO APRON



9" APRON

* APRON TO EXTEND ON ALL 4 SIDES OF INLET.
DESIGNER TO DESIGNATE APRON SIZE.



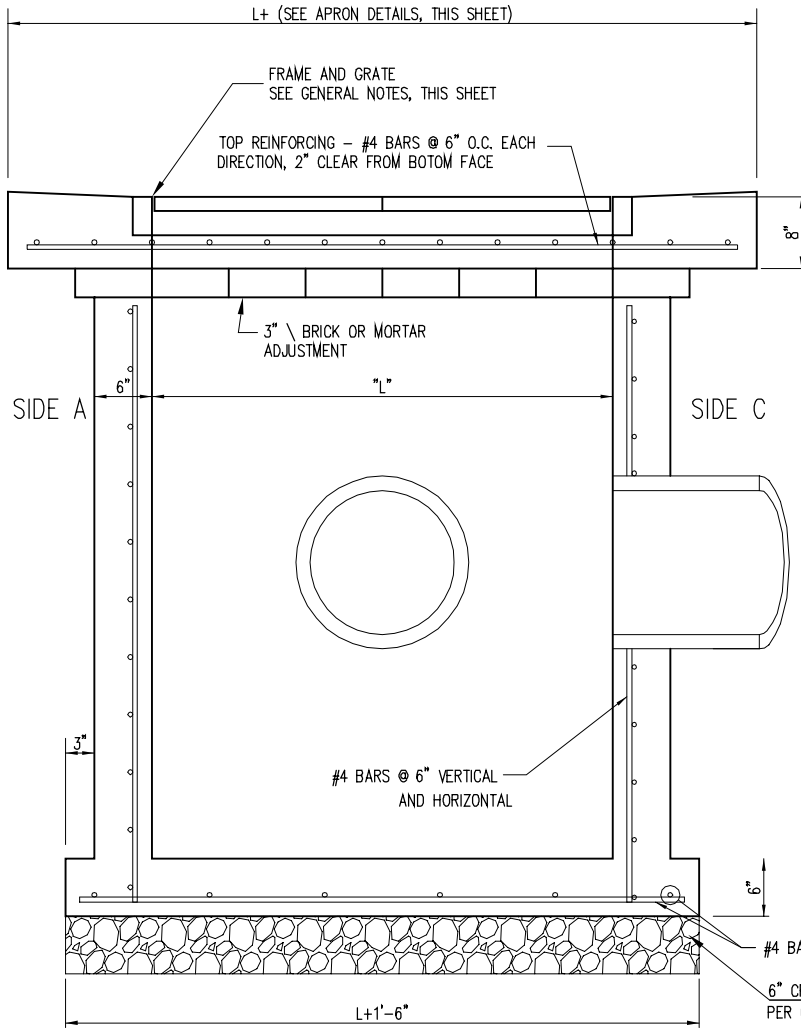
18" APRON

$W=2'$ and $L=2'$ for SINGLE DROP INLET
 $W=2'$ and $L=4'$ for DOUBLE DROP INLET

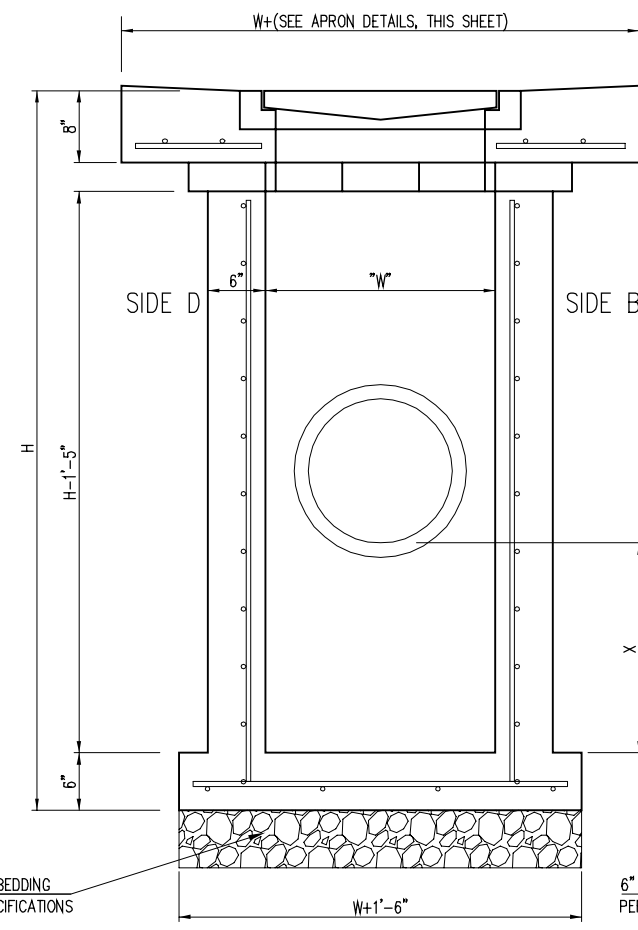
The structure(s) on this detail sheet are designed for HS-20 loading at these specific dimensions only. If larger dimensions are required, the ENGINEER shall provide a project specific structure design for approval by the City Engineer's office.

GENERAL NOTES

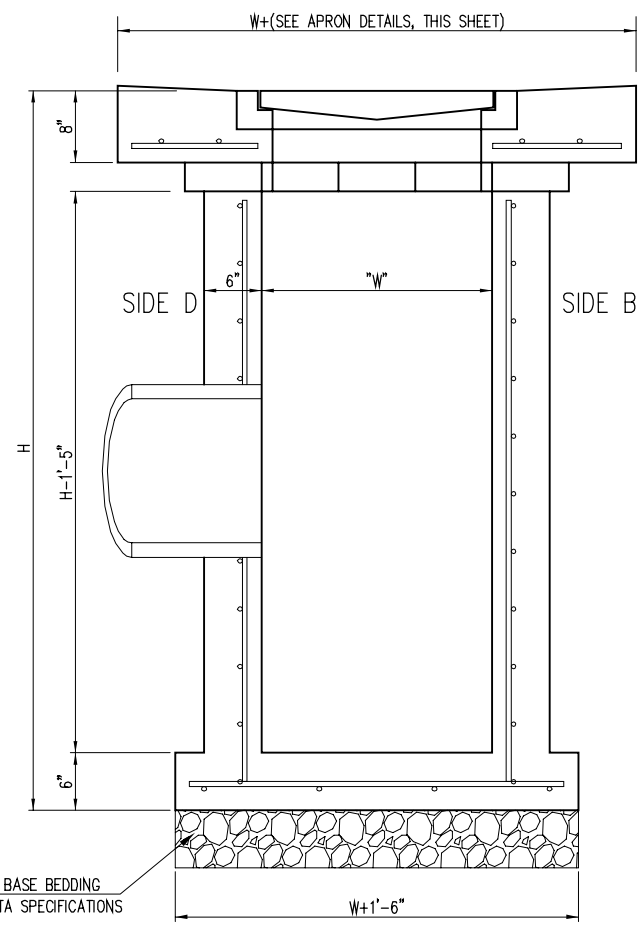
1. GRATE FRAME TO BE INSTALLED ON THIN MORTAR CUSHION TO INSURE FULL SUPPORT ALONG BRICK. CONCRETE USED FOR INLET CONSTRUCTION SHALL CONFORM TO CITY OF WICHITA SPECIFICATIONS FOR CONCRETE PAVEMENT MIX.
2. INLET INVERT SHALL BE SHAPED WITH 8 SACK SAND MIX CONCRETE TO CREATE FLOW CHANNELS AND TO INCREASE HYDRAULIC EFFICIENCY SUCH THAT THE INLET WILL BE SELF CLEANING BETWEEN ALL INLET AND/OR OUTLET PIPES.
3. THE ENDS OF ALL PIPES INSTALLED IN INLETS SHALL BE CUT OFF FLUSH WITH THE INSIDE FACE OF THE INLET WALL.
4. INLET FRAME AND GRATE TO BE DEETER #2433, EJV #5391-Z1 OR APPROVED EQUAL FOR 2'x2' SINGLE DROP INLET AND DEETER #2434, EJV #5391 Z3 OR APPROVED EQUAL FOR 2'x4' DOUBLE DROP INLET.
5. CONTRACTOR SHALL REMOVE LIFTING HOOKS AFTER INSTALLATION. RECESSES IN INLET WALL SHALL BE GROUTED FLUSH TO THE INLET WALL WITH HYDRAULIC CEMENT AFTER THE INLET IS IN PLACE. LIFTING HOLES THRU THE INLET WALL WILL NOT BE ACCEPTED.



SECTION "A-A"



SECTION "B-B"
END OUTLET



SECTION "B-B"
SIDE OUTLET



SINGLE/DOUBLE DROP INLET		
CITY ENGINEER GARY JANZEN, P.E.		
PROJECT NUMBER 248 PPD	OCA NUMBER 607861	DATE 4/2012
CITY ENGINEER'S OFFICE CITY HALL - SEVENTH FLOOR 455 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501		SHEET 5 of 8

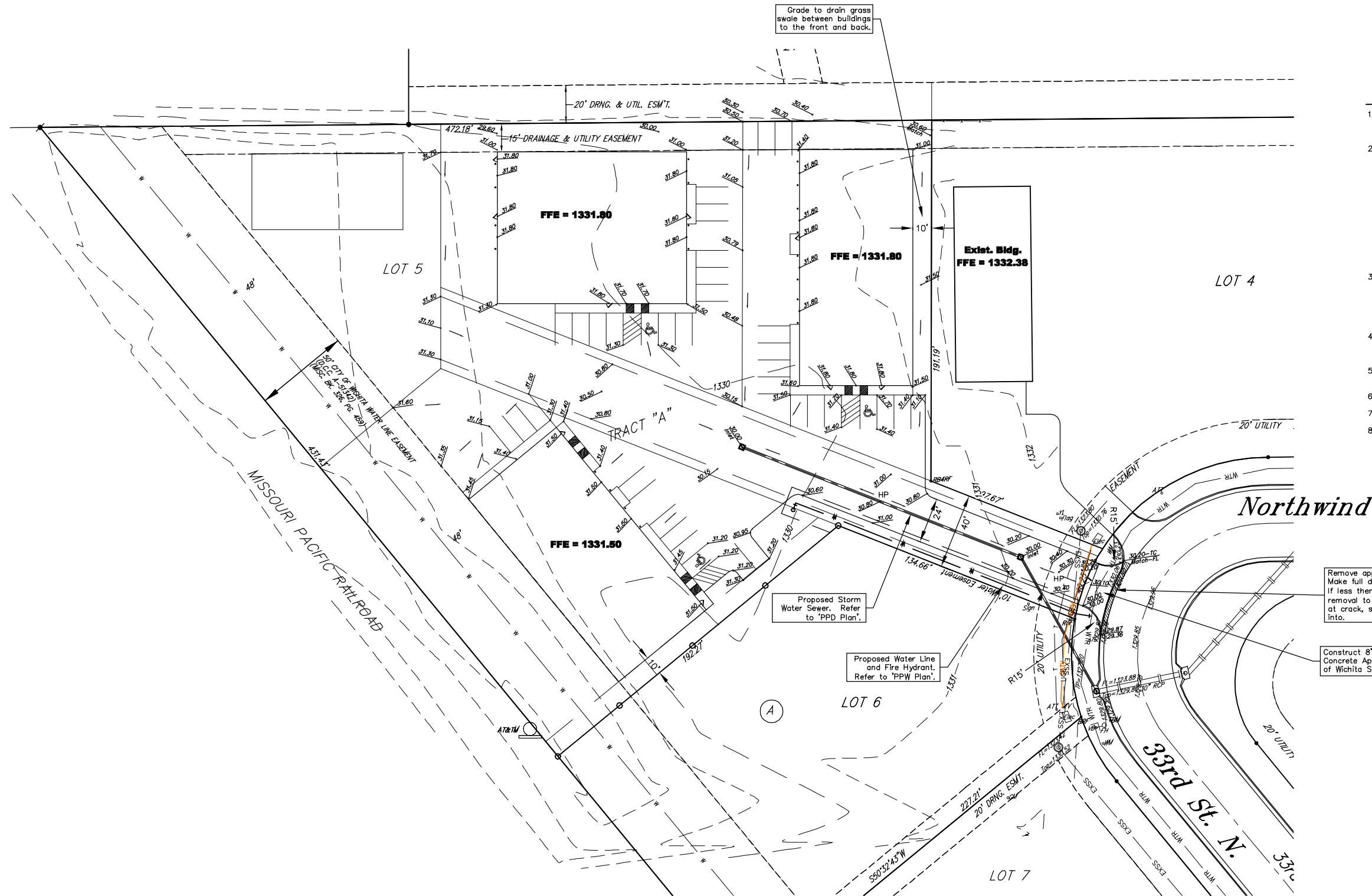
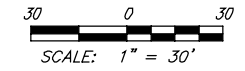
REVISED 05/10/2011 - GJ

BENCHMARK

Benchmark - City of Wichita disc 33rd Street North and Northwind by Fire Hydrant, North corner Lot 7.
Elevation = 1329.83 (NAVD 88)

LEGAL DESCRIPTION

Lot 5, Block A, Ridge Port Commercial Park Addition, an addition to Wichita Sedgwick County, Kansas.



GRADING NOTES

- Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
- The Contractor must notify the following in case of an emergency:
 - Kansas Gas Service (Gas).....1-888-482-4950
 - Black Hills Energy (Gas).....1-800-303-0357
 - Westar Energy (Electric).....363-8650
 - Cox Communications (Cablevision).....262-4270
 - AT&T (Phone).....268-2759
 - City of Wichita Water Dept. (Water).....268-4563 or 268-4908
 - City of Wichita Sewer Maint.(San. Sewer).....268-4024 or 262-6000
 - City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4090
 - City of Wich Traffic Maint.(Trat. Control).....268-4034 or 268-4203
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Signing and striping shall be installed Per Approved Specifications.
- Paved Lot to be constructed Per Approved Specifications.
- Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%). Notify Engineer of any discrepancies prior to forming of walks.

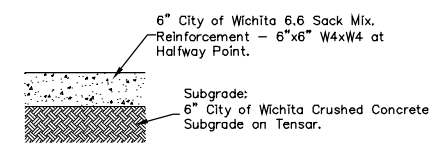
Remove approx. 43 l.f. curb & gutter. Make full depth saw cuts at each end. If less than 3' from joint/crack, take removal to joint/crack. If removal is at crack, saw cut smooth edge to tie into.

Construct 8" Reinforced Concrete Approach per City of Wichita Standards.

If Soils Report is prepared for this project, adjust subgrade and pavement sections per Site Soils Report.

Refer to 'Layout Plan', prepared by others, for dimensions.

Regrade All disturbed areas to Match existing and New Construction. Reseed All Disturbed Areas per Landscape Plan.



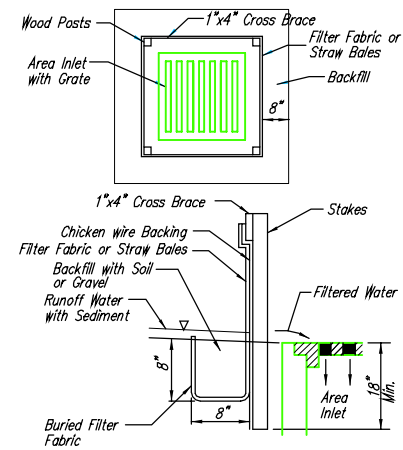
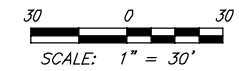
1 6" CONCRETE PAVEMENT
NOT TO SCALE

For Reference Only
Not To Scale
Sht 6 of 8

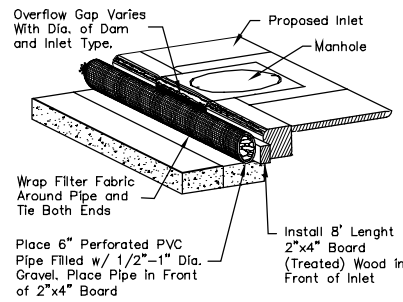
		Ridge Port Commercial Park - Lot 5 Grading Plan Site Improvements	
Baughman Company, P.A. 315 Erie St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149			
ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE			
PROJECT NUMBER	DESIGN	DRAWN	
	NBW	MWS	
REVISIONS:	APPROVED	DATE	May 2014
		SCALE	Noted
		SHEET	1 OF 1

BENCHMARK

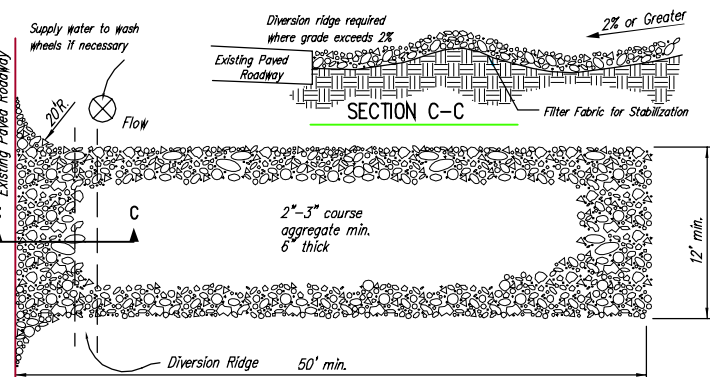
Benchmark - City of Wichita disc 33rd Street North and Northwind by Fire Hydrant, North corner Lot 7. Elevation = 1329.83 (NAVD 88)



4 PROTECTION FOR AREA INLETS
(INLET PROTECTION: SILT FENCE OR STRAW BALES)

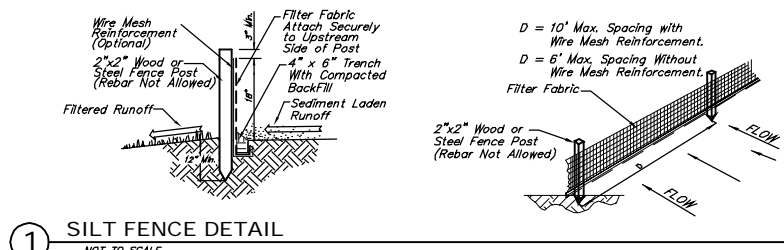


3 TYPE 1 INLET PROTECTION
NOT TO SCALE

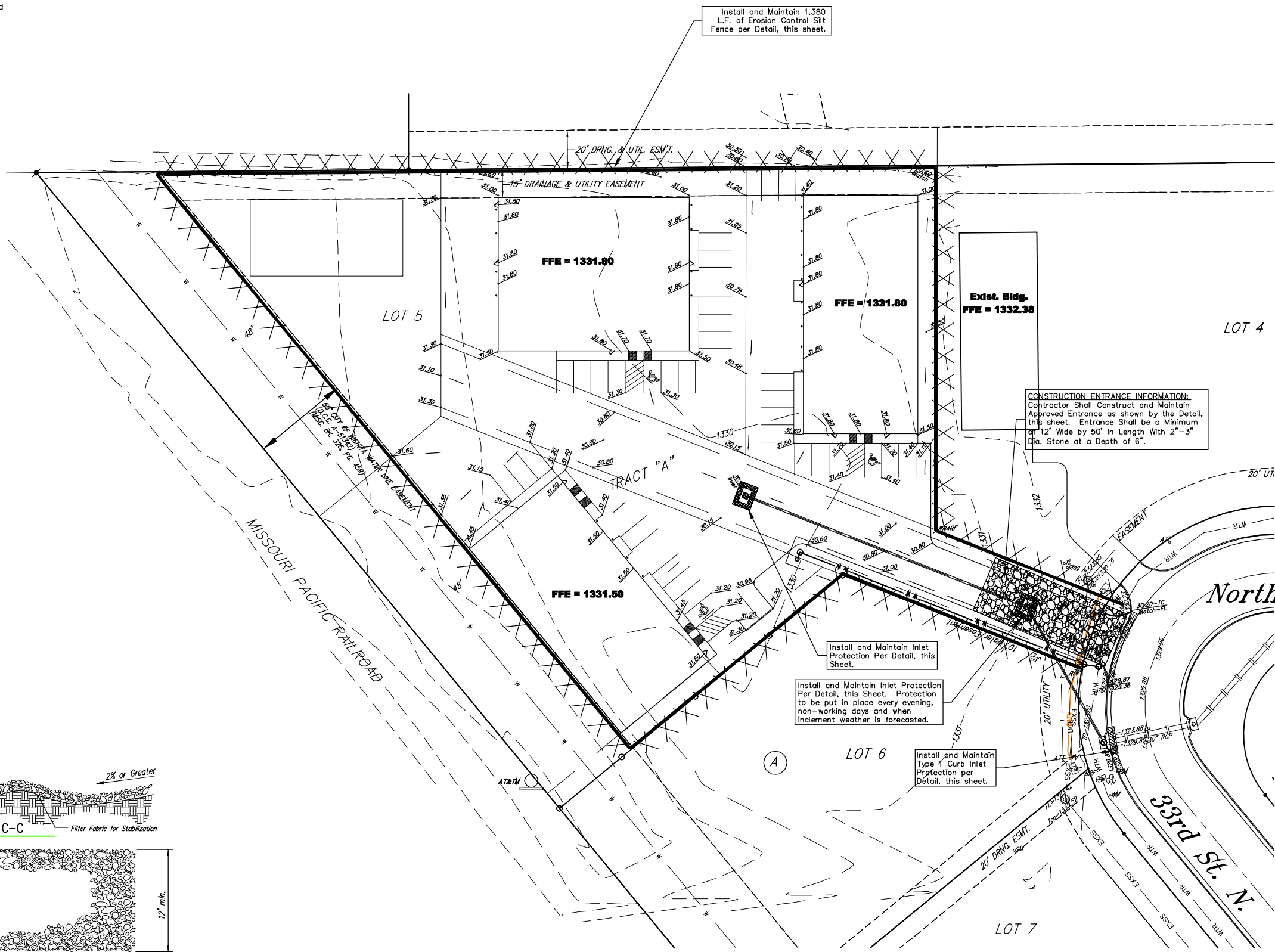


- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
 - DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED. IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET, ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

2 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



1 SILT FENCE DETAIL
NOT TO SCALE



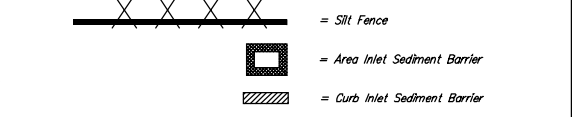
EROSION CONTROL NOTES

- No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #10).
- All exposed areas shall be mulched (or mulched and seeded) as specified within 14 days of final GRADING.
- Should construction stop for longer than 14 days, the site shall be mulched (or mulched and seeded).
- Site inspections of all project areas, even stabilized areas, shall be at least once every 14 days and within 24 hours after a precipitation event of 1/2" or greater. Corrections are required to be fixed within 7 calendar days of the inspection.
- This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
- Contractor shall comply with all state and local ordinances that apply.
- Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
- Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
- If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
- This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
- ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
- An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.

SITE INFORMATION

Total Area: ±101,374.8 sq. ft. (2.33 acres)
Proposed Impervious Area: ±45,409 sq. ft. (1.04 acres)
Proposed Building Area: ±26,200 sq. ft.
Total Impervious Area:
Proposed Impervious + Building: ±71,609 sq. ft. (1.65 acres)

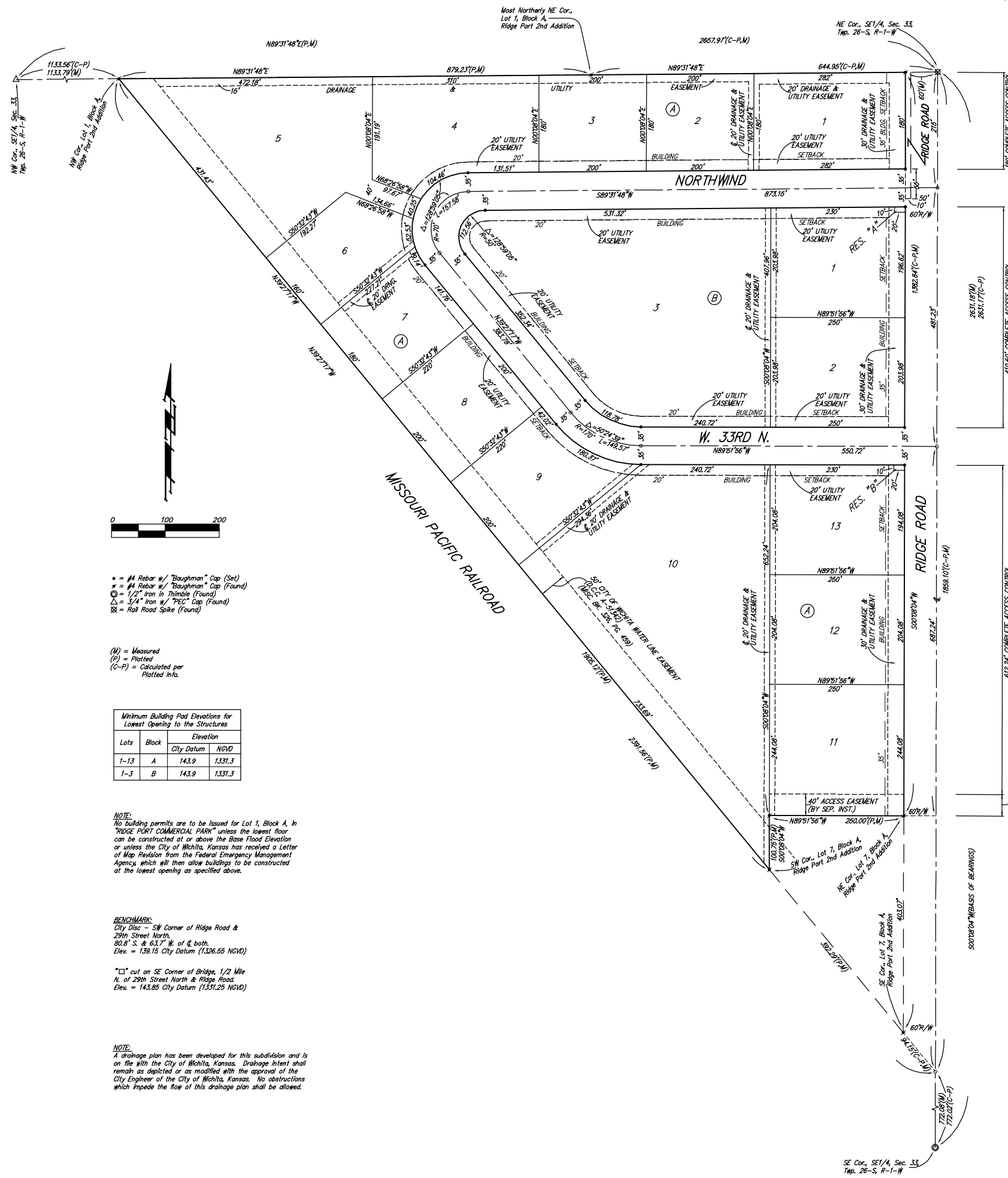
EROSION CONTROL LEGEND



For Reference Only
Not To Scale
Sht 7 of 8

		Ridge Port Commercial Park - Lot 5	
		Erosion Control Plan	
Baughman Company, P.A. 315 Erie St. Wichita, KS 67211 P 316.262.7271 F 316.262.0149 ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE		DESIGN	DRAWN
PROJECT NUMBER		MWS	MWS
REVISIONS:		APPROVED	DATE
			May 2014
		SCALE	
		Noted	
		SHEET	
			1 OF 1

RIDGE PORT COMMERCIAL PARK WICHITA, SEDGWICK COUNTY, KANSAS



- = #4 Rebar w/ "Baughman" Cap (Set)
- = #4 Rebar w/ "Baughman" Cap (Found)
- ⊙ = 1/2" Iron In Thimble (Found)
- ⊙ = 3/4" Iron w/ "PEC" Cap (Found)
- ⊙ = Rail Road Spike (Found)

(M) = Measured
(P) = Platted
(C-P) = Calculated per Platted Info.

Minimum Building Pad Elevations for Lowest Opening to the Structures			
Lots	Block	Elevation	
		City Datum	NGVD
1-13	A	143.9	1331.3
1-3	B	143.9	1331.3

NOTE:
No building permits are to be issued for Lot 1, Block A, in "RIDGE PORT COMMERCIAL PARK" unless the lowest floor can be constructed at or above the Base Flood Elevation or unless the City of Wichita, Kansas has received a Letter of Map Revision from the Federal Emergency Management Agency, which will then allow buildings to be constructed at the lowest opening as specified above.

BENCHMARK:
City Disc - SW Corner of Ridge Road & 29th Street North
80.8' S. & 63.7' W. of E. both
Elev. = 139.15 City Datum (1326.55 NGVD)

"□" set on SE Corner of Bridge, 1/2 Mile N. of 29th Street North & Ridge Road.
Elev. = 143.85 City Datum (1331.25 NGVD)

NOTE:
A drainage plan has been developed for this subdivision and is on file with the City of Wichita, Kansas. Drainage intent shall remain as depicted or as modified with the approval of the City Engineer of the City of Wichita, Kansas. No obstructions which impede the flow of this drainage plan shall be allowed.

State of Kansas) SS We, Baughman Company, P.A., Surveyors in aforesaid county and state do hereby certify that we have surveyed and platted "RIDGE PORT COMMERCIAL PARK", Wichita, Sedgwick County, Kansas, and that the accompanying plat is a true and correct exhibit of the property surveyed, described as and being a replat of Lots 1, 2, 3, 4, 5, and 6, inclusive, Block A, Ridge Port 2nd Addition, Wichita, Sedgwick County, Kansas, TOGETHER with that part of the SE 1/4 of Sec. 33, Twp. 26-S, R-1-W of the 6th P.M., Sedgwick County, Kansas lying northerly and northeasterly of Ridge Port 2nd Addition, Wichita, Sedgwick County, Kansas.

Existing public easements and dedications being vacated by virtue of K.S.A. 12-512(b).

Baughman Company, P.A.

Michael G. Conrey, Surveyor

Know all men by these presents that we, the undersigned, have caused the land in the surveyors certificate to be platted into Lots, Blocks, Streets, and Reserves to be known as "RIDGE PORT COMMERCIAL PARK", Wichita, Sedgwick County, Kansas. The utility easements are hereby granted as indicated for the construction and maintenance of all public utilities. The drainage easement is hereby granted as indicated for drainage purposes. The drainage and utility easements are hereby granted as indicated for drainage purposes and for the construction and maintenance of all public utilities. The streets are hereby dedicated to and for the use of the public. Reserves "A" and "B" are hereby reserved for signs, open space, streets, landscaping, drainage purposes, and utilities. Reserves "A" and "B" shall be owned and maintained by the lot owners association for the addition. Access controls shall be as depicted on the face of the plat and are hereby granted to the city of Wichita, Kansas. The permitted opening locations shall be as determined by the City Engineer of the City of Wichita, Kansas. The Minimum Building Pad Elevation for the lowest opening to the structures on all Lots shall be 143.9 City Datum, (1331.3 NGVD).

RRGNL, L.L.C.

Jay W. Russell, Member

State of Kansas) SS The foregoing instrument acknowledged before me, this day of _____, 2002, by Jay W. Russell, Member of RRGNL, L.L.C., on behalf of the limited liability company.

Notary Public

My App't. Exp. _____

We the undersigned holders of a mortgage on the above described property, do hereby consent to this plat of "RIDGE PORT COMMERCIAL PARK", Wichita, Sedgwick County, Kansas.

Conway Bank f/k/a The First National Bank

(Title)

State of Kansas) SS The foregoing instrument acknowledged before me, this day of _____, 2002, by _____, _____ of Conway Bank f/k/a The First National Bank, on behalf of the bank.

Notary Public

My App't. Exp. _____

This plat of "RIDGE PORT COMMERCIAL PARK", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this _____ day of _____, 2002.

Wichita-Sedgwick County Metropolitan Area Planning Commission

J. D. Michaelis, Chair

Marvin S. Krout, Secretary

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this _____ day of _____, 2002.

At the direction of the City Council

Chris Cherches, City Manager

Pat Burnett, City Clerk

Reviewed in accordance with K.S.A. 58-2005 on this _____ day of _____, 2002.

Tricia L. Robello, L.S. #1246
Deputy County Surveyor
Sedgwick County, Kansas

Entered on transfer record this _____ day of _____, 2002.

Don Brace, County Clerk

State of Kansas) SS This is to certify that this plat has been filed for record in the office of the Register of Deeds, this _____ day of _____, 2002 at _____ o'clock _____ M.; and is duly recorded.

Bill Meek, Register of Deeds

Linda Kizzire, Deputy