

# STORM WATER DRAINAGE

TO SERVE McDONALDS,  
LOT 1, BLOCK 1, REGENCY LAKES COMMERCIAL, 3RD ADDITION  
CITY OF WICHITA, KANSAS

GARY JANZEN, PE CITY ENGINEER

0255PPD

OCA NUMBER: 607861

ON-SITE BENCHMARK:  
SQUARE CUT IN TOP OF CURB INLET NEAR SE CORNER  
PROPERTY.  
ELEVATION 1363.30 (NAVD 88)

THE TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING BUT  
NOT LIMITED TO PROPERTY LINES, LEGAL DESCRIPTIONS,  
EXISTING UTILITIES, SITE TOPOGRAPHY INCLUDING SPOT  
ELEVATIONS, EXISTING STRUCTURAL LOCATIONS AND  
OUTSTANDING PHYSICAL FEATURES HAS BEEN PROVIDED BY  
OZARK CIVIL ENGINEERING. CONTACT RICK DAYTON AT  
479-464-8850 FOR SURVEY RELATED INFORMATION.

STORM WATER CERTIFICATION:  
THESE PLANS WERE PREPARED IN ACCORDANCE WITH THE CURRENT STORM WATER  
MANAGEMENT REGULATIONS AS SET FORTH IN THE CITY OF WICHITA' STORM WATER  
MANAGEMENT ORDINANCE 16.32 AND THE POLICIES/GUIDELINES PRESENTED IN THE  
WICHITA/SEDCWICK COUNTY STORM WATER MANUAL.  
DISTURBED AREA: 1.17 AC  
WATER QUALITY TREATMENT: PROVIDED BY SNOT ON JUNCTION BOX PRIOR TO  
DETENTION POND.  
DOWNSTREAM CHANNEL PROTECTION PROVIDED BY REGIONAL DETENTION POND.

## GENERAL NOTES

- Contractor will be required to provide a minimum advance notice of seventy-two (72) hours to utility companies prior to starting any excavation as follows:  
Kansas One-Call 687-2470 or 811
- The Contractor must notify the following in case of an emergency:  
Cox Communications 260-7204  
Kansas Gas Service 832-3126  
Westar 383-8600  
Aquila Net 1-800-303-0357  
AT&T 1-800-286-8313  
City of Wichita Water Utilities 262-6000
- Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company-provided field locations. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- The Contractor shall give all property owners and/or tenants of developed property directly abutting the construction of this project a minimum of ten (10) days advance notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- Construction of this project will be subject to all provisions and requirements of the "Construction of Infrastructure by Private Contract" and "Standard Specifications for the Construction of City Projects", available from the City of Wichita Public Works Department.
- Traffic will not be affected by the construction of this project.
- Trees in conflict with construction shall be removed or trimmed as necessary.

### DRAWING INDEX:

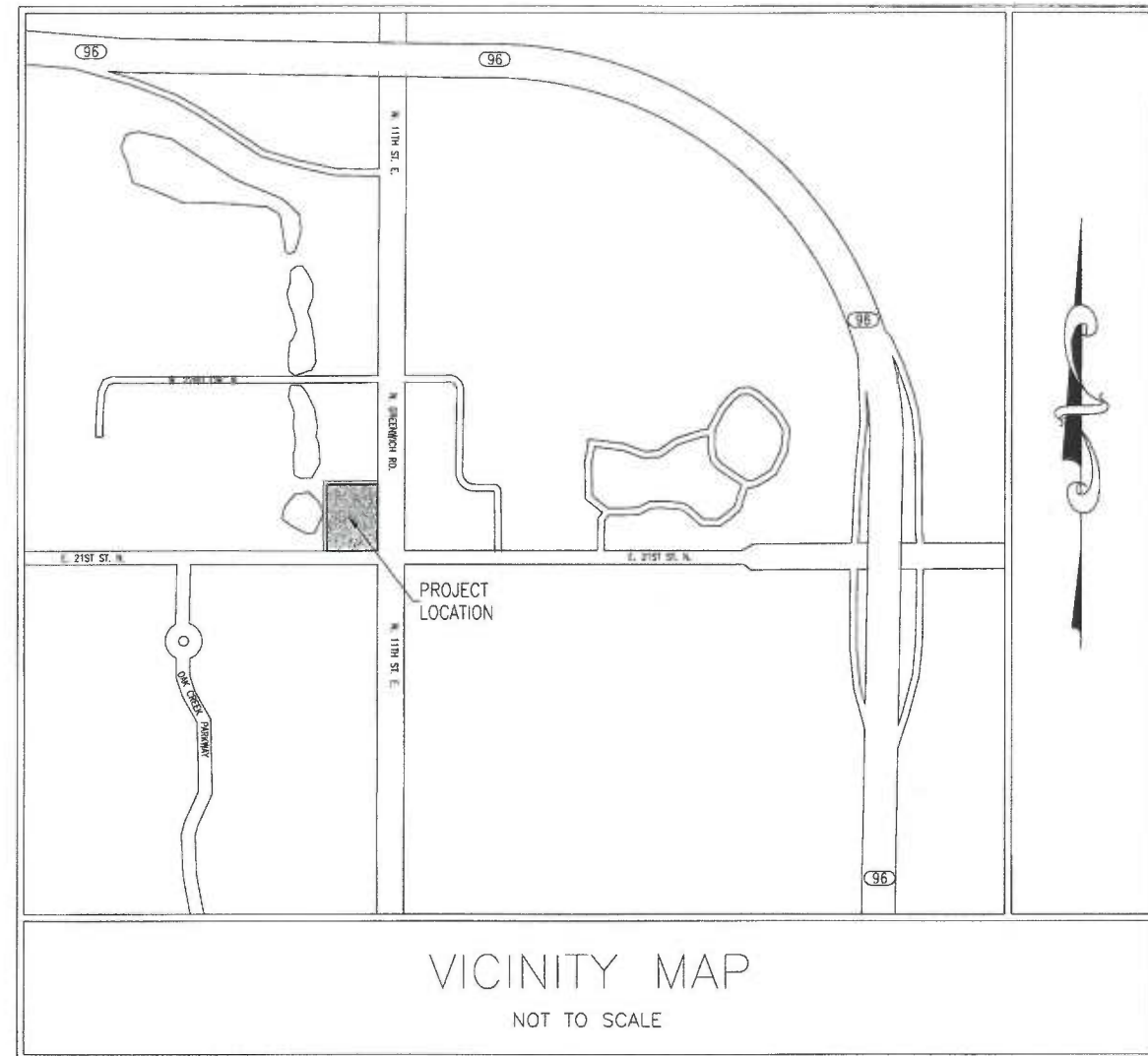
	DATE	ACTION
PPD COVER SHEET	07/08/14	CITY COMMENTS 07/08/14
C-3.1 GRADING PLAN	07/08/14	CITY COMMENTS 07/08/14
C-3.2 PLAN AND PROFILE STORM LINE 1 AND 2	07/08/14	CITY COMMENTS 07/08/14
C-3.3 SPOT GRADE DETAIL AREAS	07/08/14	CITY COMMENTS 07/08/14
D3 McDONALDS DETAIL SHEET	07/08/14	CITY COMMENTS 07/08/14
DA-2 ERU SHEET	07/08/14	CITY COMMENTS 07/08/14

## AS BUILTS

Contractor:  
Ewertz  
Excavation

10/13/2014

Project Inspector:  
Larry Gann



APPROVED AS NOTED  
BY CITY ENGINEER OF WICHITA

Engineering  
Stormwater

*Rebecca Smith 7/11/14*  
*StC.LH 7/11/14*

### NOTE TO CONTRACTORS

Inspection and testing for this project are to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection, nor shall any work be commenced without written authorization by the City Engineer.

### SITE UTILITY CONTACTS CITY OF WICHITA, KS

<b>CITY OF WICHITA</b> PAUL HAYS 455 N. MAIN WICHITA, KS 67202 316-268-4477 (V) phays@wichita.gov	<b>SANITARY SEWER</b> LADONNA LAWRENZ 455 N. MAIN WICHITA, KS 67202 316-268-4329 (V) llawrenz@wichita.gov	<b>GAS</b> KANSAS GAS SERVICE CINDY LITTLEJOHN 1021 E. 26th Street N. WICHITA, KS 67219 316-831-5664 (V) clittlejohn@kgas.com
<b>CITY ENGINEER</b> GARY JANZEN 455 N. MAIN WICHITA, KS 67202 316-268-4450 (V) gjanzer@wichita.gov	<b>TELEPHONE</b> AT&T MARK OLSON 154 N. BROADWAY WICHITA, KS 67202 316-268-2105 (V) mo999@att.com	<b>SIGNAGE</b> TERRILL FLORENCE 455 N. MAIN WICHITA, KS 67202 316-268-4479 (V) tflorence@wichita.gov
<b>WATER</b> JEFF CROSBY 455 N. MAIN WICHITA, KS 67202 316-268-4555 (V) jcrosby@wichita.gov	<b>STORMWATER</b> ALAN JOHNSON 1801 S. McCLEAN BLVD., STE. B WICHITA, KS 67203 316-268-4090 (V) ajjohnson@wichita.gov	<b>OWNER</b> MCDONALDS CORP. C/O HOWARD JOHNSON 10801 MASTIN BLVD STE 400 OVERLAND PARK, KS 66210 913-217-3900 (V)
<b>FIRE</b> STU BEVIS 455 N. MAIN WICHITA, KS 67202 316-268-4245 (V) sbevis@wichita.gov	<b>ELECTRIC</b> WESTAR BECKY THOMPSON PO BOX 208, WICHITA, KS 67201 316-261-6320 (V) becky.thompson@westarenergy.com	<b>DEVELOPER</b> LAHAM DEVELOPMENT GEORGE LAHAM 150 N. MARKET WICHITA, KS 67202 316-292-3927 (V)

DATE	DESCRIPTION	BY
06/13/14	REVISED PER CITY COMMENT LETTER 06/12/14	EDH
07/07/14	REVISED PER CITY COMMENT LETTER 07/07/14	EDH

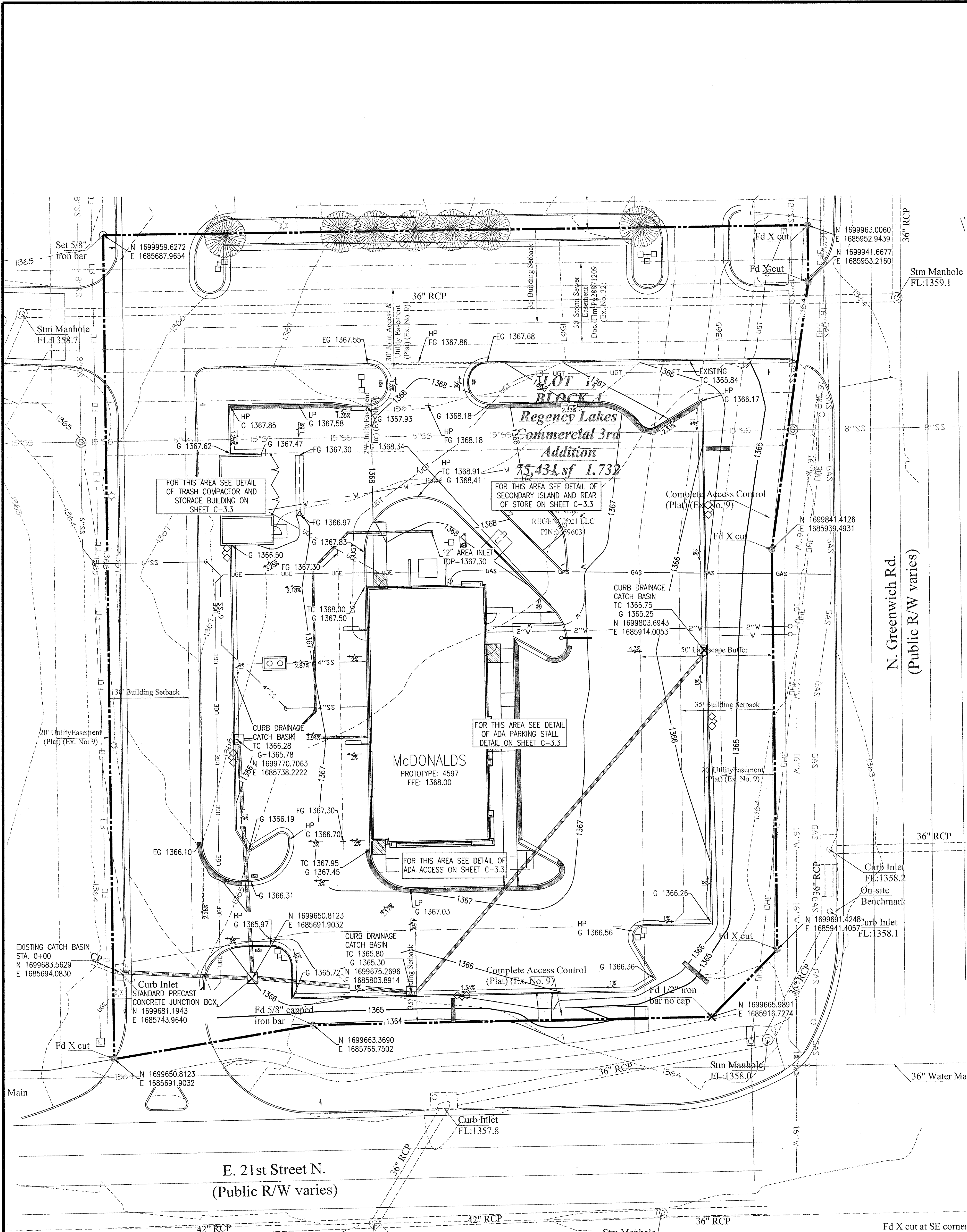
**McDonald's**  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE ADDRESS: 10801 MASTIN BLVD, STE. 400, OVERLAND PARK, KS 66210

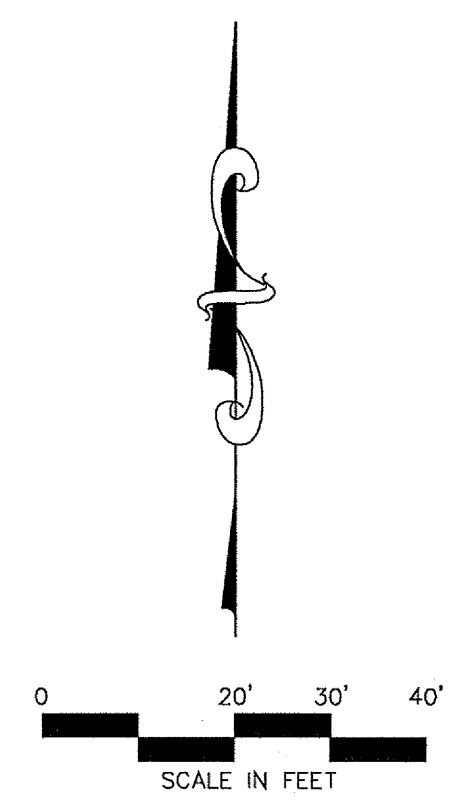


**BLACKSTONE ENVIRONMENTAL**  
9153 W. 133RD STREET  
OVERLAND PARK, KS 66212

STREET ADDRESS 11130 E 21ST ST N	
CITY WICHITA	STATE KS
COUNTY SEDCWICK	REGIONAL DWG. NO 15-0373
PPD COVER SHEET	



Know what's below.  
Call before you dig.



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PROPERTY.  
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GRADING PROPOSED FEATURES	
---	PROPERTY LINE
---	EASEMENT LINE
---	CONCRETE CURB AND GUTTER
---	FENCE
---	RETAINING WALL
---	SANITARY SEWER SERVICE
---	WATER SERVICE
---	UNDERGROUND TELEPHONE SERVICE
---	OVERHEAD TELEPHONE SERVICE
---	FIBER OPTIC CABLE SERVICE
---	GAS SERVICE
---	SPOT ELEVATIONS:
---	TO-TOP OF CURB
---	TO-BOTTOM OF GRADE (BEHIND TOP OF WALL)
---	TO-HIGH POINT
---	TO-EDGE OF PAVEMENT
---	RESURFACED END SECTION
---	TO-EXISTING GRADE
---	TO-FINISH GRADE
---	TO-EDGE OF CURB
---	TO-EDGE OF GRADE (AT FRONT OF WALL)
---	TO-EDGE OF GRADE (BEHIND TOP OF WALL)
---	TO-HIGH POINT
---	TO-EDGE OF PAVEMENT
---	RESURFACED END SECTION
---	TO-EXISTING GRADE
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---	RESURFACED END SECTION
---	TO-EXISTING GRADE
---	TO-FINISH GRADE

**GRADING AND DRAINAGE NOTES:**

INFORMATION PERTAINING TO UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS IN ADVANCE OF MACHINE TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THESE PLANS OR 18", WHICH EVER IS LESS, CONTACT THE ENGINEER AND THE OWNER/DEVELOPER PRIOR TO PROCEEDING WITH CONSTRUCTION.

ALL STRUCTURES LOCATED WITHIN RIGHT OF WAY OR OTHERWISE NOTED ON THESE PLANS SHALL BE CONSTRUCTED PER THE HIGHWAY DEPARTMENT STANDARDS. IF STRUCTURES ARE NOT PROTOTYPICAL OR CONSTRUCTION CANNOT BE ACHIEVED CONTRACTOR SHALL SUBMIT SHOP DRAWING TO CIVIL ENGINEER FOR REVIEW AND APPROVAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR REMOVAL OF EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES ON ADJUSTING EXISTING UTILITY LINE AS REQUIRED BY CUT AND FILL AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS.

ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND END OF PIPE AT FLARED END SECTIONS.

ALL DISTURBED AREAS AND SLOPES SHALL BE GRADED SMOOTH AND (6") OF TOP SOIL APPLIED. THE AREA SHALL BE SOODED AND WATERED UNTIL HARCY GRASS GROWTH HAS BEEN ESTABLISHED.

SEE EROSION CONTROL PLAN FOR RIP RAP PAD SIZES.

CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND CONSTRUCTION SCHEDULE. IF AREA DISTURBED EXCEEDS ONE ACRE IN SIZE, CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR IMPLEMENTING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP).

REMOVE GOOD TOPSOIL FROM AREAS TO BE GRADED AND FILLED, AND PRESERVE IT FOR USE IN FINISHING THE GRADING OF ALL CRITICAL AREAS.

SCARIFY AREAS TO RECEIVE TOPSOIL TO A MINIMUM DEPTH OF 3 INCHES BEFORE PLACING TOPSOIL PER OWNER/DEVELOPER, CITY AND/OR HIGHWAY DEPARTMENT STANDARDS AND SPECIFICATIONS.

CLEAR AND GRUB AREAS TO BE FILLED, REMOVE TREES, VEGETATION, ROOTS, OR OTHER DEBRIS, AND OTHER MATERIALS THAT WOULD AFFECT THE STABILITY OF THE FILL.

ENSURE THAT FILL MATERIAL IS FREE OF BRUSH, RUBBER, ROCKS, LOGS, STRAPS, BUILDING DEBRIS, AND OTHER MATERIALS INAPPROPRIATE FOR CONSTRUCTING STABLE FILLS.

DO NOT INCORPORATE FROZEN MATERIAL OR SOFT, MUCK, OR HIGHLY COMPRESSIBLE MATERIALS INTO FILL SLOPES.

KEEP DIMENSIONS AND OTHER WATER CONVEYANCE MEASURES FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.

PERMANENTLY STABILIZE ALL GRADED AREAS AFTER FINAL GRADING IS COMPLETED ON EACH AREA OF THE GRADING PLAN. APPLY TEMPORARY STABILIZATION MEASURES ON ALL GRADED AREAS WHEN WORK IS TO BE INTERRUPTED OR DELAYED.

CONTRACTOR SHALL MATCH TOP OF PROPOSED DRAINAGE STRUCTURES WITH PROPOSED GRADES. IF A DISCREPANCY OCCURS BETWEEN PROPOSED GRADES AND PROPOSED STRUCTURE TOPS, THE GRADING SHALL GOVERN. IF THE DISCREPANCY IS MORE THAN TWO INCHES THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.

ALL UTILITIES, INCLUDING STORM SEWER, SHOWN WITHIN PUBLIC EASEMENTS OR RIGHT OF WAYS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE CONSTRUCTED TO THE CLIENT'S OR THE GOVERNING AGENCY'S SPECIFICATIONS, WHICHEVER IS MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.

ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, ALL FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE, UNLESS OTHERWISE NOTED. NO BURNING IS ALLOWED ON SITE.

ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDING TO THE GOVERNING AGENCY'S SPECIFICATIONS.

CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT OF WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY (STATE OR LOCAL CALL SYSTEM) AND LOCATE ALL UTILITIES PRIOR TO BEGINNING OF GRADING.

SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

AFTER PERMITS HAVE BEEN OBTAINED AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED, THE CONTRACTOR SHALL GRADE BUILDING PAD & APPROX TO 2" TO +/- 1/2" OF SURFACE.

IMMEDIATELY APPLY & COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2" PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.

GENERAL CONTRACTOR SHALL PROVIDE 2' x 2' x 6" THICK CONCRETE APRON AT ALL CLEARWAYS OUTSIDE OF BUILDING AND IN PAVED AREAS.

**AS BUILTS**

117 E. Lewis,  
Wichita, KS 67202 (316)264-0242

DATE: 06/13/14 REVISED PER CITY COMMENT LETTER 06/12/14 BY: EDH

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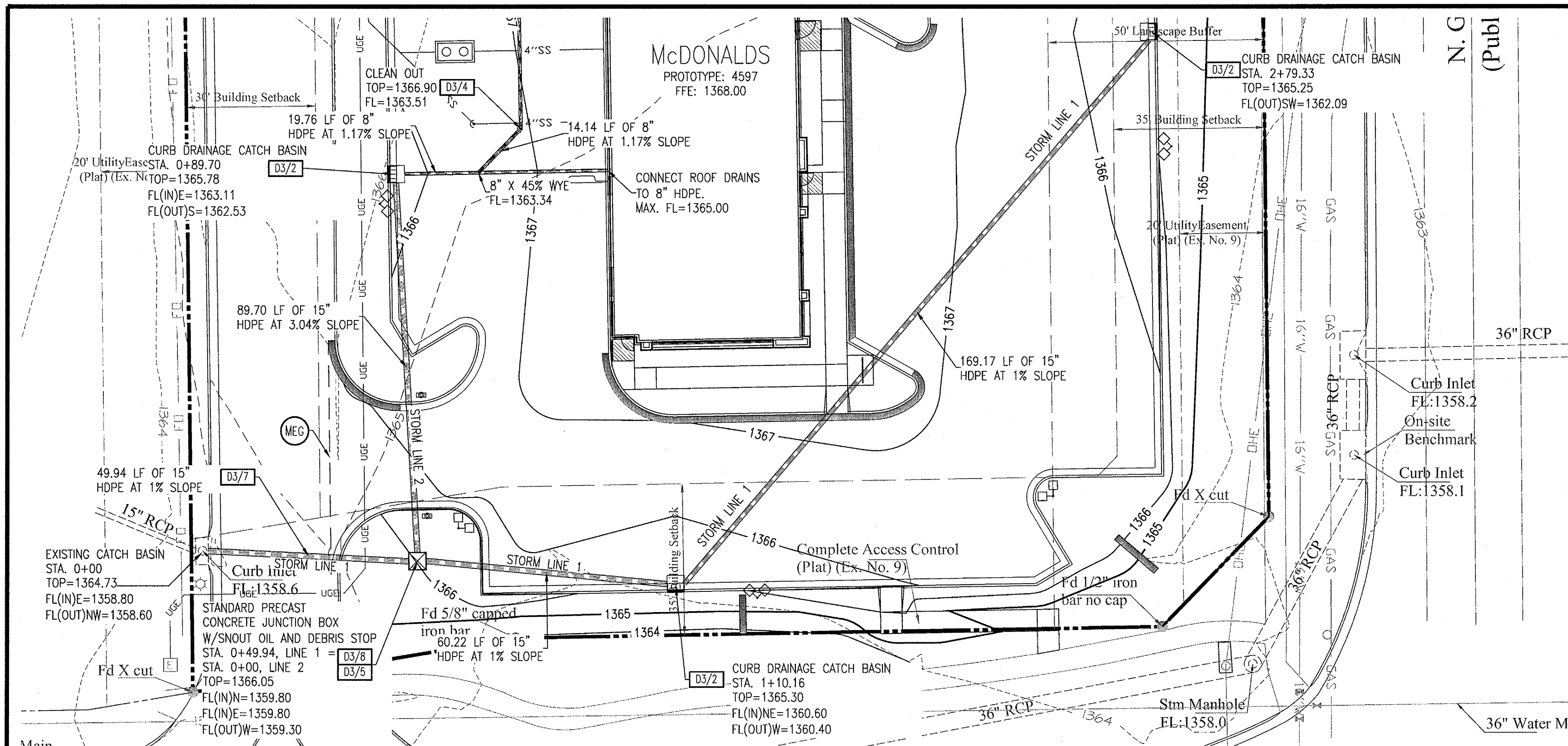
OFFICE: HEARLAND REGION  
ADDRESS: 10801 WASTIN BLVD., STE. 400, OVERLAND PARK, KS 66210

**BLACKSTONE ENVIRONMENTAL**

9153 W. 133RD STREET  
OVERLAND PARK, KS 66212

REGISTERED PROFESSIONAL ENGINEER  
KANSAS  
12552  
71914

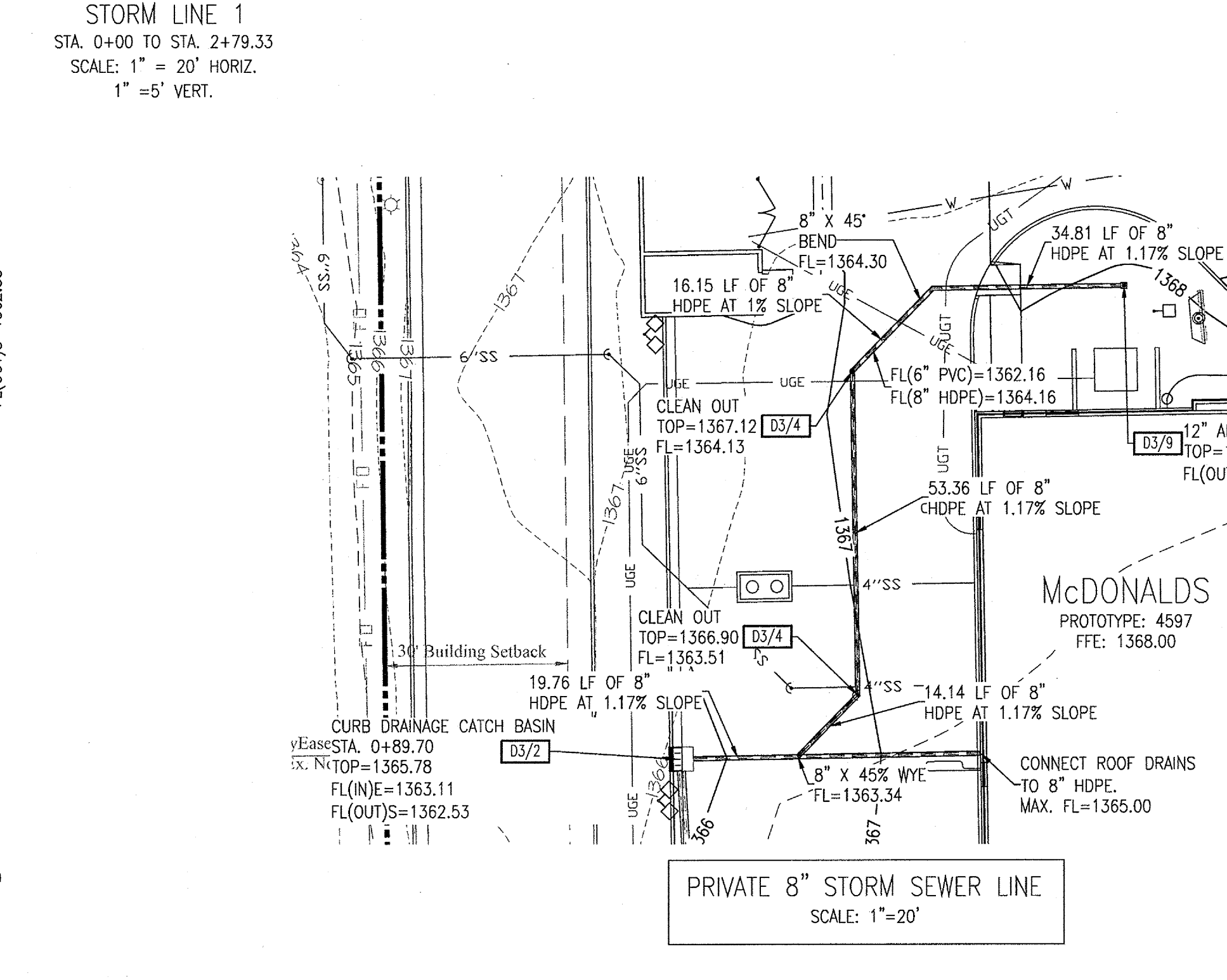
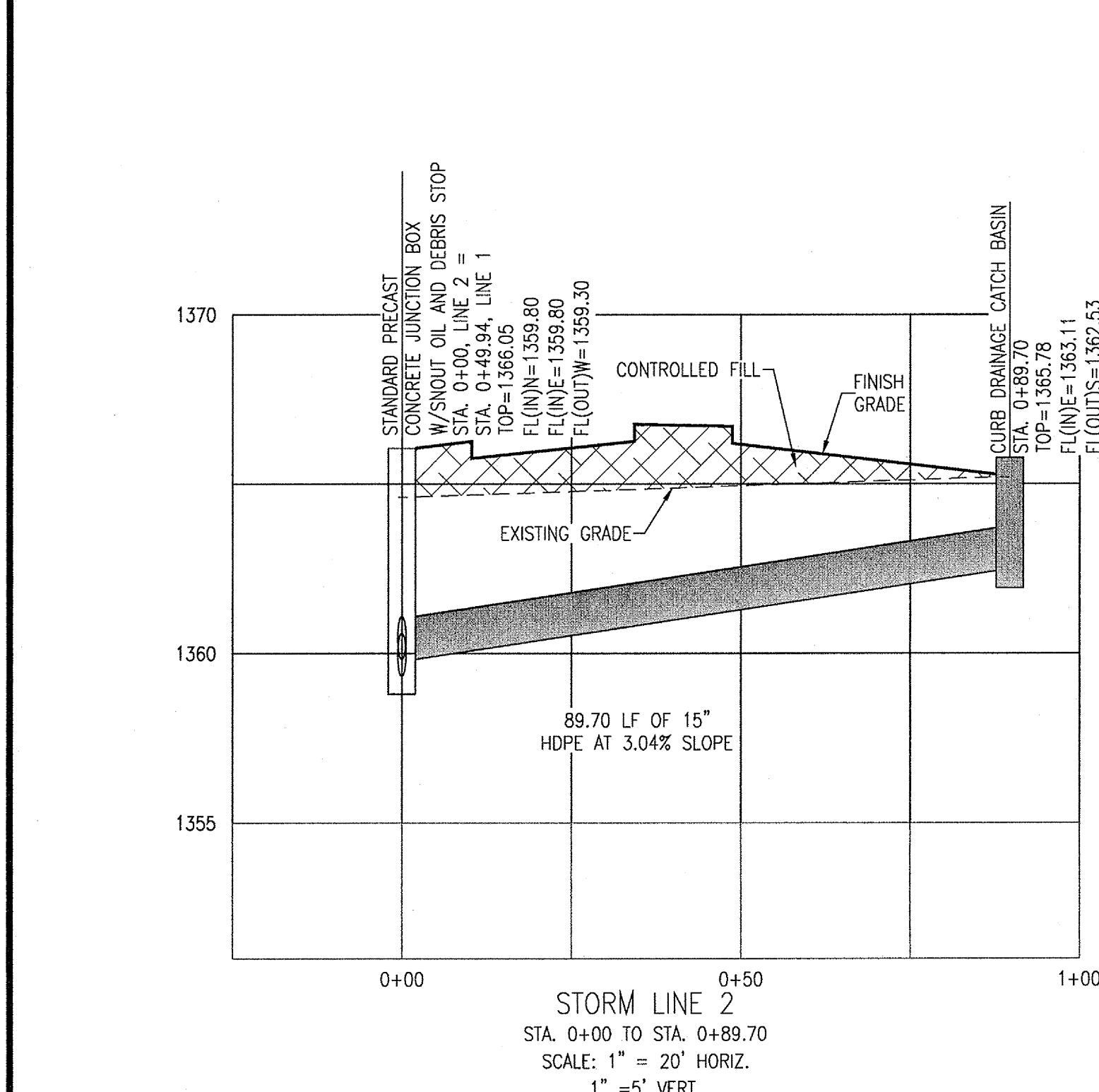
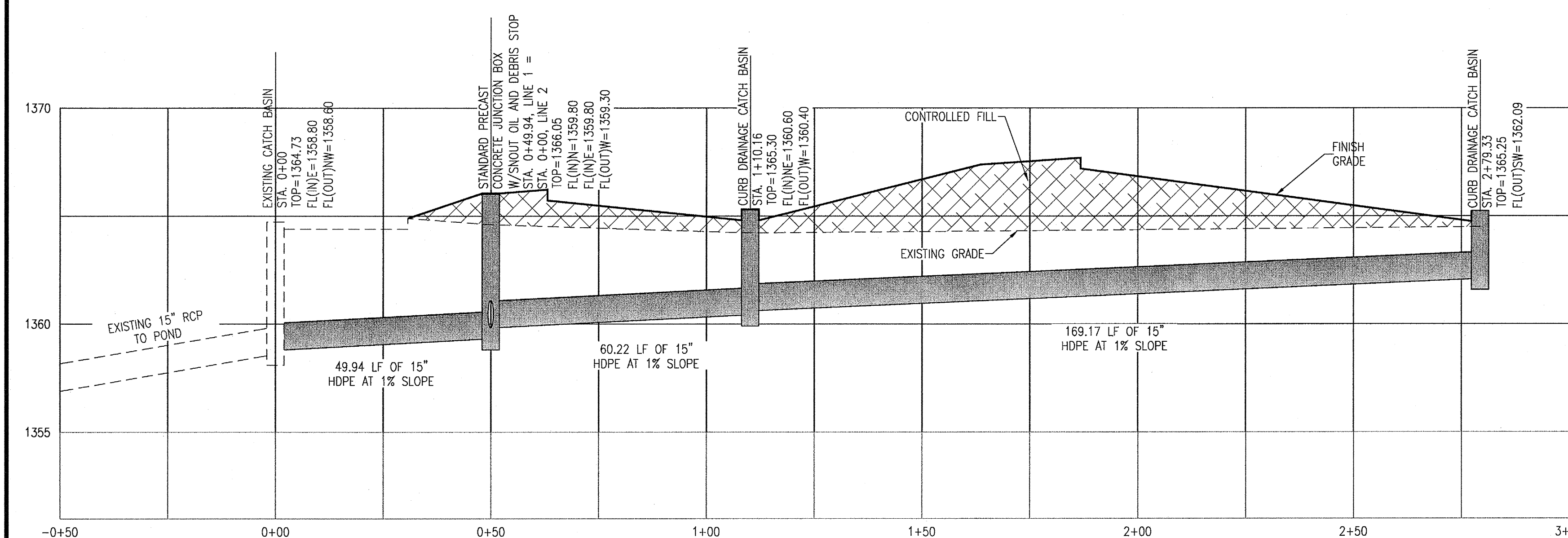
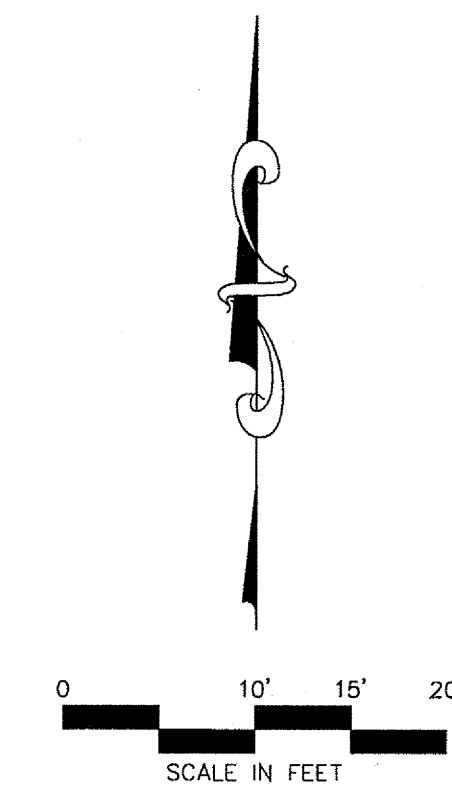
C-3.1	STREET ADDRESS 11130 E 21ST ST N	
	CITY WICHITA	STATE KS
	COUNTY SEDGWICK	REGIONAL DWG. NO 15-0373
	GRADING PLAN	



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**811**  
 Know what's below.  
 Call before you dig.



**AS BUILT**

**KEMILLER**  
 ENGINEERING PA

117 E. Lewis,  
 Wichita, KS 67202 (316)264-0242

**DXX/XX GRADING NOTES & DETAILS**  
 (SHEET #/DETAIL #)

D3/2	CURB DRAINAGE CATCH BASIN
D3/4	CLEAN OUT DETAIL
D3/5	SNOUT OIL AND DEBRIS STOP
D3/7	STREET CUT REPLACEMENT
D3/8	STANDARD PRECAST CONCRETE JUNCTION BOX
D3/9	12" AREA INLET
MEG	MATCH EXISTING GRADE

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HEARTLAND REGION  
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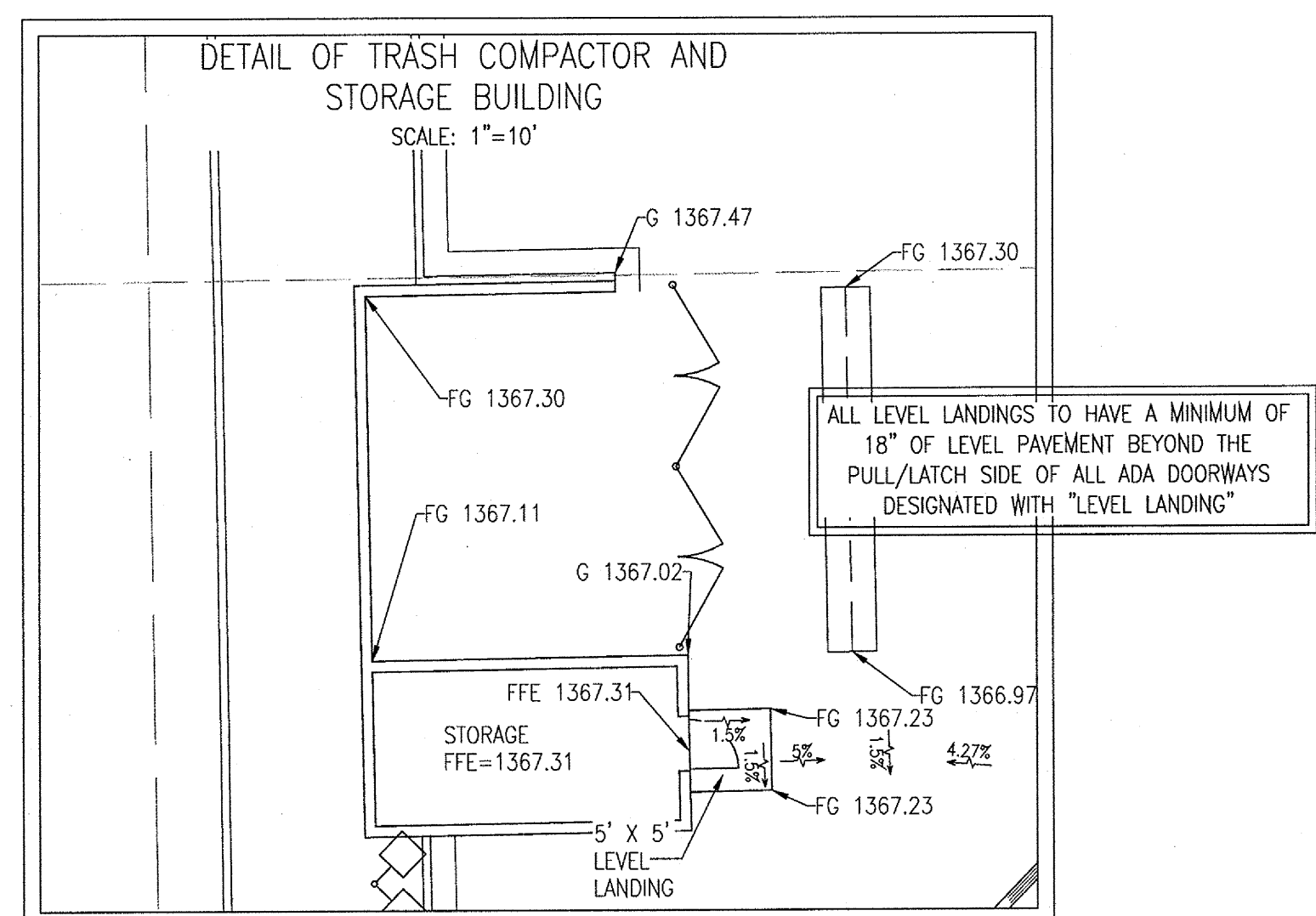
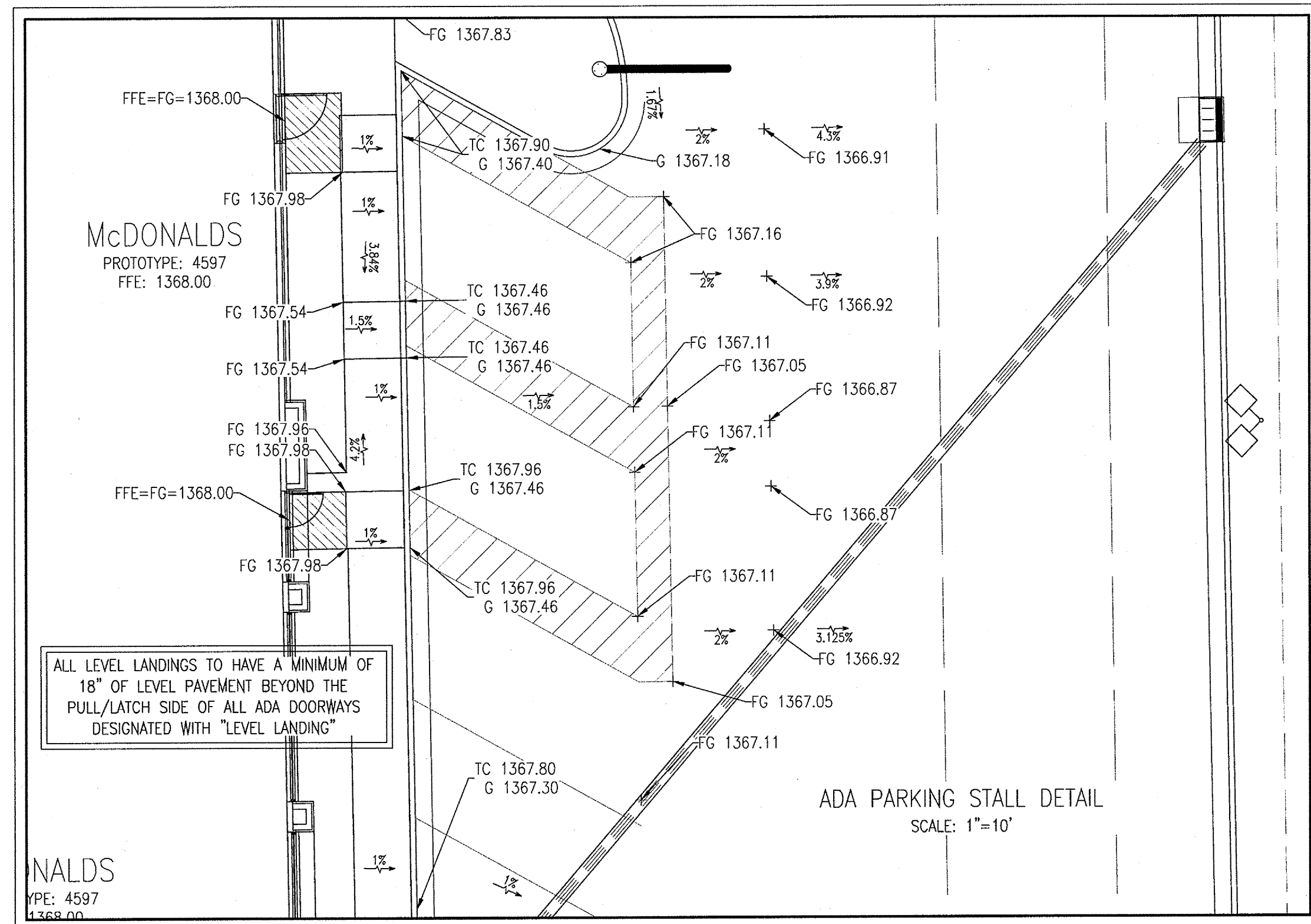
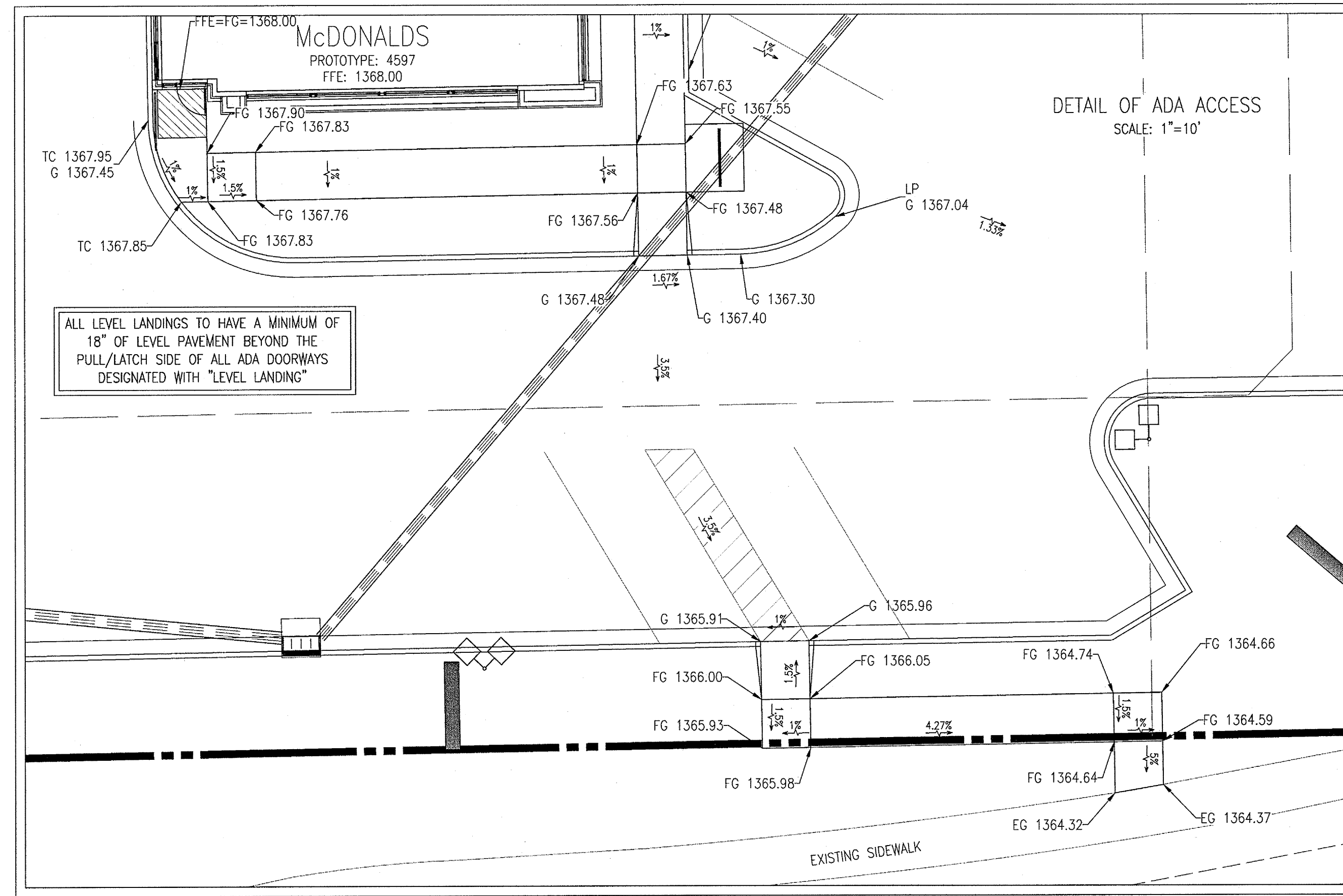
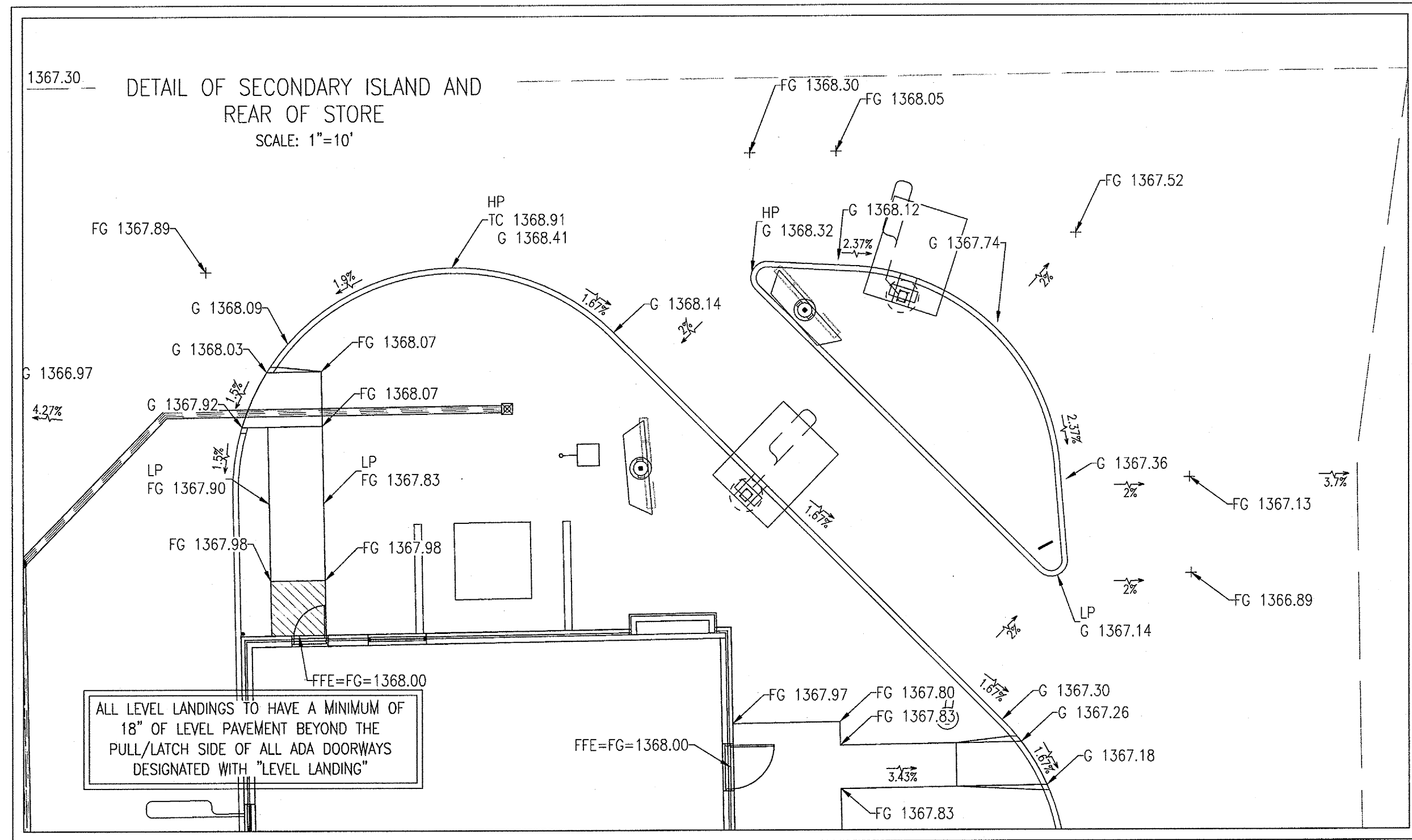
OFFICE ADDRESS

REGISTERED PROFESSIONAL ENGINEER  
 KANSAS  
 12562  
 7/31/14

**BLACKSTONE ENVIRONMENTAL**

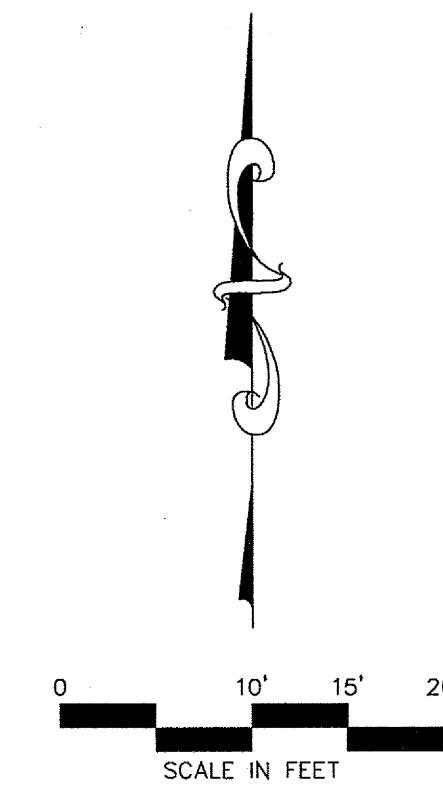
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STREET ADDRESS	
11130 E 21ST ST N	
CITY	STATE
WICHITA	KS
COUNTY	REGIONAL DWG. NO
SEDGWICK	15-0373
PLAN AND PROFILE	
STORM LINE 1 AND 2	



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THE TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING BUT NOT LIMITED TO PROPERTY LINES, LEGAL DESCRIPTIONS, EXISTING UTILITIES, SITE TOPOGRAPHY INCLUDING SPOT ELEVATIONS, EXISTING STRUCTURAL LOCATIONS AND OUTSTANDING PHYSICAL FEATURES HAS BEEN PROVIDED BY OZARK CIVIL ENGINEERING. CONTACT RICK DAYTON AT 479-464-8850 FOR SURVEY RELATED INFORMATION.



**GRADING AND DRAINAGE NOTES:**

INFORMATION PERTAINING TO UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE. BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS IN ADVANCE OF MAKING TRENCHES. IF CLEARANCES ARE LESS THAN SPECIFIED ON THESE PLANS OR 18", WHICH EVER IS LESS, CONTACT THE ENGINEER AND THE OWNER/DEVELOPER PRIOR TO PROCEEDING WITH CONSTRUCTION.

ALL STRUCTURES LOCATED WITHIN RIGHT OF WAY OR OTHERWISE NOTED ON THESE PLANS SHALL BE CONSTRUCTED FOR THE HIGHWAY DEPARTMENT STANDARDS. IF STRUCTURES ARE NOT PROTOTYPICAL OR CONSTRUCTION CANNOT BE ACHIEVED CONTRACTOR SHALL SUBMIT SHOP DRAWING TO CIVIL ENGINEER FOR REVIEW AND APPROVAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR REMOVAL OF EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES ON ADJUSTING EXISTING UTILITY LINE AS REQUIRED BY CUT AND FILL AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PLUS/IN ADDITION TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS.

ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND END OF PIPE AT FLARED END SECTIONS.

ALL DISTURBED AREAS AND SLOPES SHALL BE GRADED SMOOTH AND (6") OF TOP SOIL APPLIED. THE AREA SHALL BE SOODED AND WATERED UNTIL HARDY GRASS GROWTH HAS BEEN ESTABLISHED.

SEE EROSION CONTROL PLAN FOR RIP RAP PAD SIZES.

CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND CONSTRUCTION SCHEDULE. IF AREA DISTURBED EXCEEDS ONE ACRE IN SIZE, CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR IMPLEMENTING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP).

REMOVE GOOD TOPSOIL FROM AREAS TO BE GRADED AND FILLED, AND PRESERVE IT FOR USE IN FINISHING THE GRADING OF ALL CONTROL AREAS.

SCARIFY AREAS TO RECEIVE TOPSOIL TO A MINIMUM DEPTH OF 3 INCHES BEFORE PLACING TOPSOIL FOR OWNER/DEVELOPER, CITY AND/OR HIGHWAY DEPARTMENT STANDARDS AND SPECIFICATIONS.

CLEAR AND GRUB AREAS TO BE FILLED, REMOVE TREES, VEGETATION, ROOTS, OR OTHER DEBRIS, AND OTHER MATERIALS THAT WOULD AFFECT THE STABILITY OF THE FILL.

ENSURE THAT FILL MATERIAL IS FREE OF BRUSH, RUBBER, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER MATERIALS INAPPROPRIATE FOR CONSTRUCTING STABLE FILLS.

DO NOT INCORPORATE FROZEN MATERIAL OR SOFT, MUCK, OR HIGHLY COMPRESSIBLE MATERIALS INTO FILL SLOPES.

KEEP DIVERSIONS AND OTHER WATER CONVEYANCE MEASURES FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.

PERMANENTLY STABILIZE ALL GRADED AREAS AFTER FINAL GRADING IS COMPLETED ON EACH AREA OF THE GRADING PLAN. APPLY TEMPORARY STABILIZATION MEASURES ON ALL GRADED AREAS WHEN WORK IS TO BE INTERRUPTED OR DELAYED.

CONTRACTOR SHALL MATCH TOP OF PROPOSED DRAINAGE STRUCTURES WITH PROPOSED GRADES. IF A DISCREPANCY OCCURS BETWEEN PROPOSED GRADES AND PROPOSED STRUCTURE TOPS, THE GRADING SHALL GOVERN. IF THE DISCREPANCY IS MORE THAN TWO INCHES THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.

ALL UTILITIES, INCLUDING STORM SEWER, SHOWN WITHIN PUBLIC EASEMENTS OR RIGHT OF WAYS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE CONSTRUCTED TO THE CLIENTS OR THE GOVERNING AGENCY'S SPECIFICATIONS, WHICHEVER IS MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.

ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, ALL FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE, UNLESS OTHERWISE NOTED. NO BURNING IS ALLOWED ON SITE.

ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.

CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT OF WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY (STATE ONE CALL SYSTEM) AND LOCATE ALL UTILITIES PRIOR TO BEGINNING OF GRADING.

SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

AFTER PERMITS HAVE BEEN OBTAINED AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED, THE CONTRACTOR SHALL GRADE BUILDING PAD & APRONS TO 0" TO +/- 1/2" OF SUBGRADE.

IMMEDIATELY APPLY & COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2" PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.

GENERAL CONTRACTOR SHALL PROVIDE 2' X 2' X 6" THICK CONCRETE APRON AT ALL CLEANOUTS OUTSIDE OF BUILDING AND IN PAVED AREAS.

**AS BUILTS**

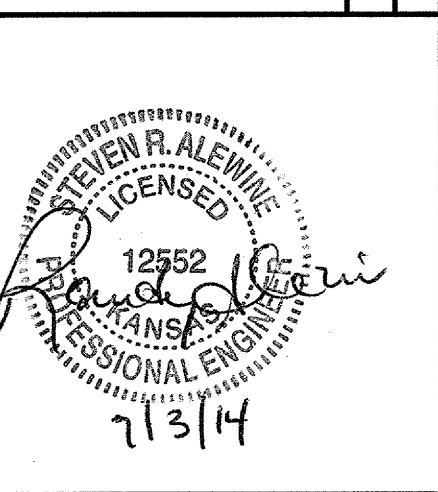
117 E. Lewis,  
 Wichita, KS 67202 (316)264-0242

C-3.3		STREET ADDRESS 11130 E 21ST ST N	
CITY WICHITA	COUNTY SEDGWICK	STATE KS	REGIONAL DWG. NO 15-0373
SPOT GRADE DETAIL AREAS			

**McDonald's**

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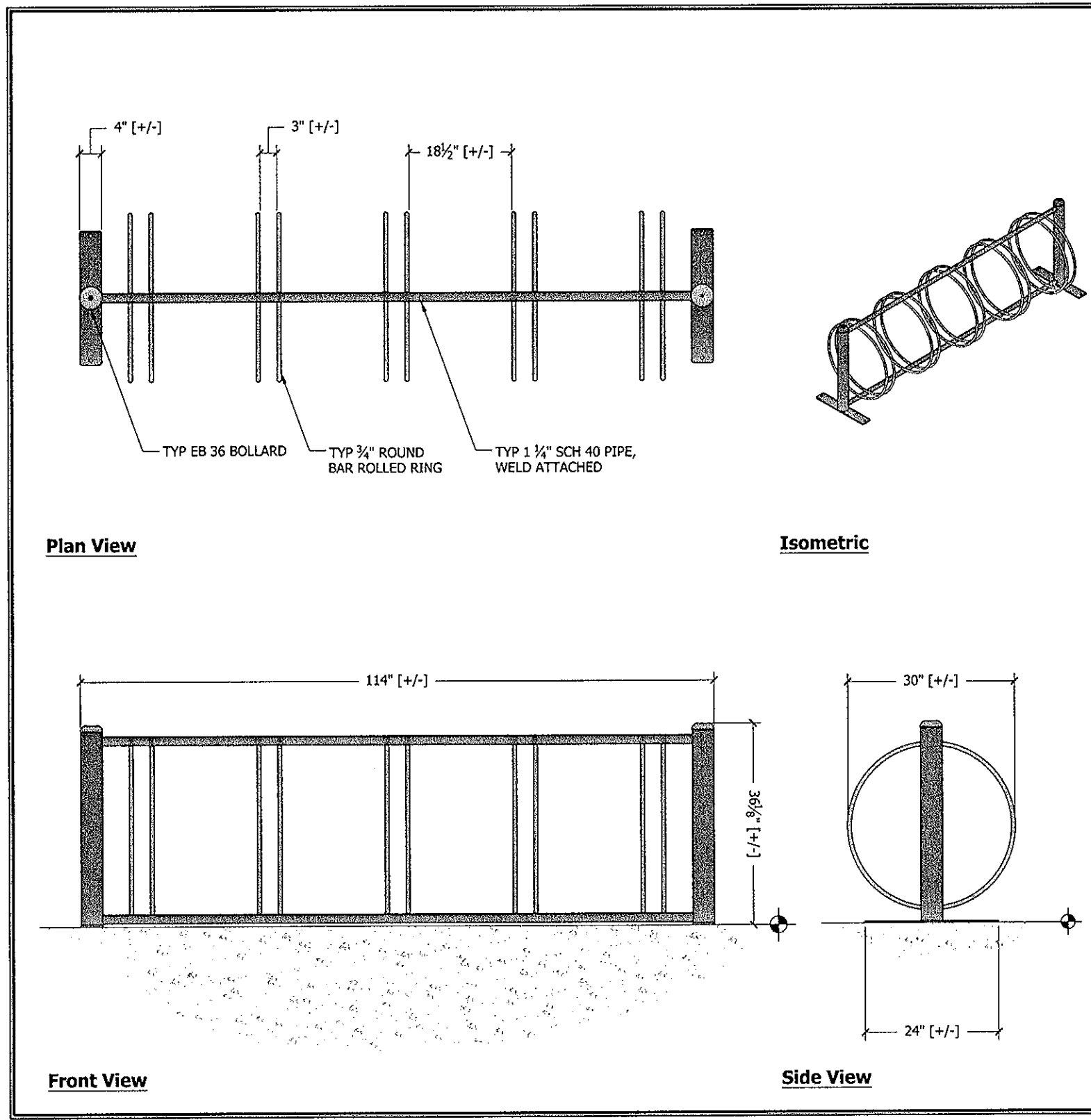
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 10801 W. 133RD STREET  
 OVERLAND PARK, KS 66210



**BLACKSTONE ENVIRONMENTAL**

9153 W. 133RD STREET  
 OVERLAND PARK, KS 66212

DATE 06/13/14		REVISION PER CITY COMMENT LETTER 06/12/14	
BY EJH			



**SPECIFICATIONS**

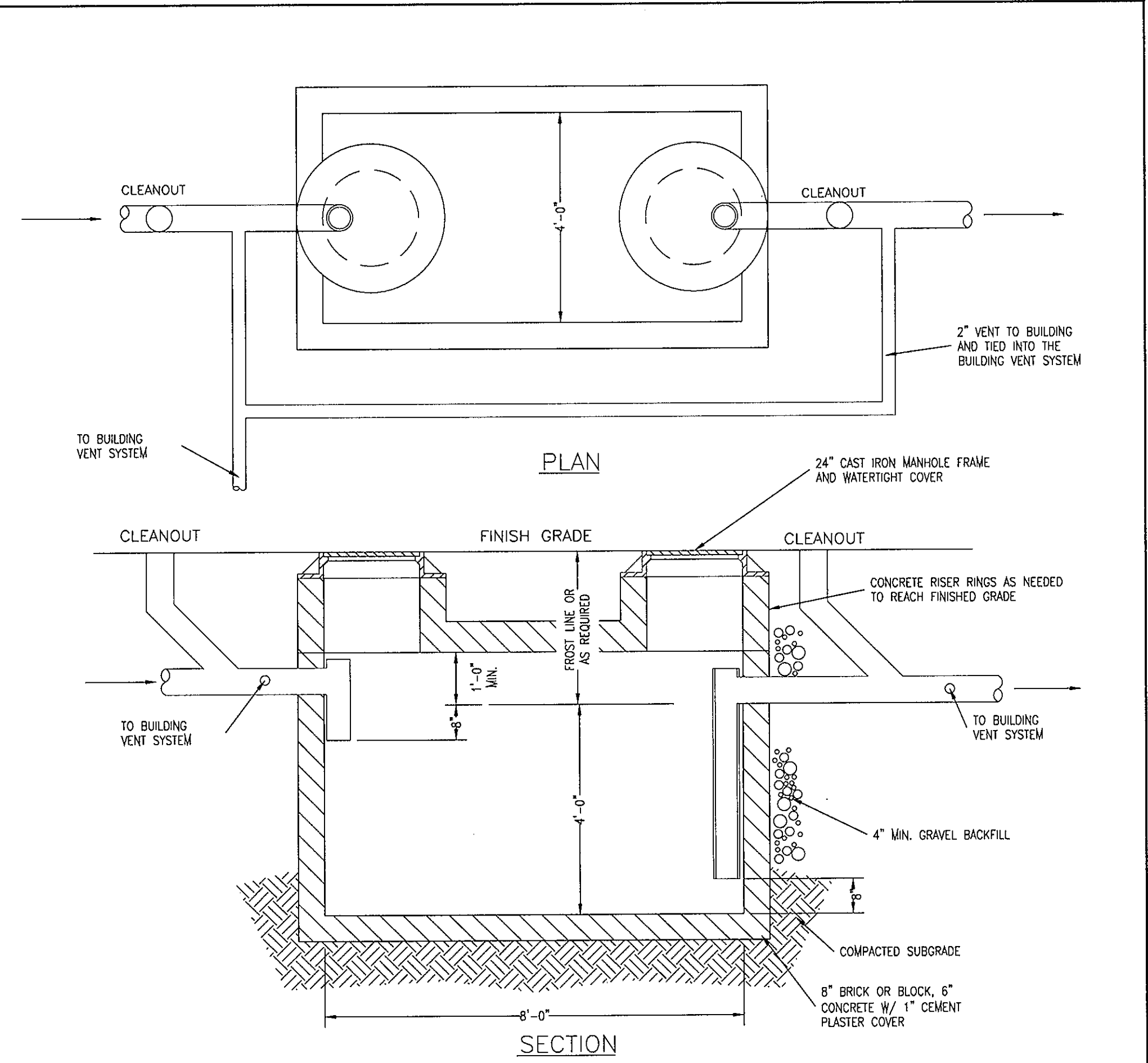
- Cast components will be of 100% recycled aluminum; ASTM B261.
- Castings will be squared and flat, free of burrs, slag, air pockets, blow holes, flashing, and grinding or welding on exposed surfaces. Excessive warping or shrinkage is not acceptable.
- Fabricated components will be mild carbon steel, ASTM A36.
- All visible welds to be ground smooth on outside edges.
- Fabrication will be true to square, or diameter and sized within 1/8".
- Finish to be powder coat, standard UA color and applied per UA specifications. If alternate color or finish is required, please provide all finish information for UA approval.
- Dimensions shown are nominal.
- For cases of "or equal" consideration, our finished, full size product should be compared with the alternative product for general quality, surface finish, precise pattern work, metal characteristics, and overall design aesthetics.

**Bike Rack**  
Model D - 5 Stall

Page: 1 of 1 Date: 8/13/13

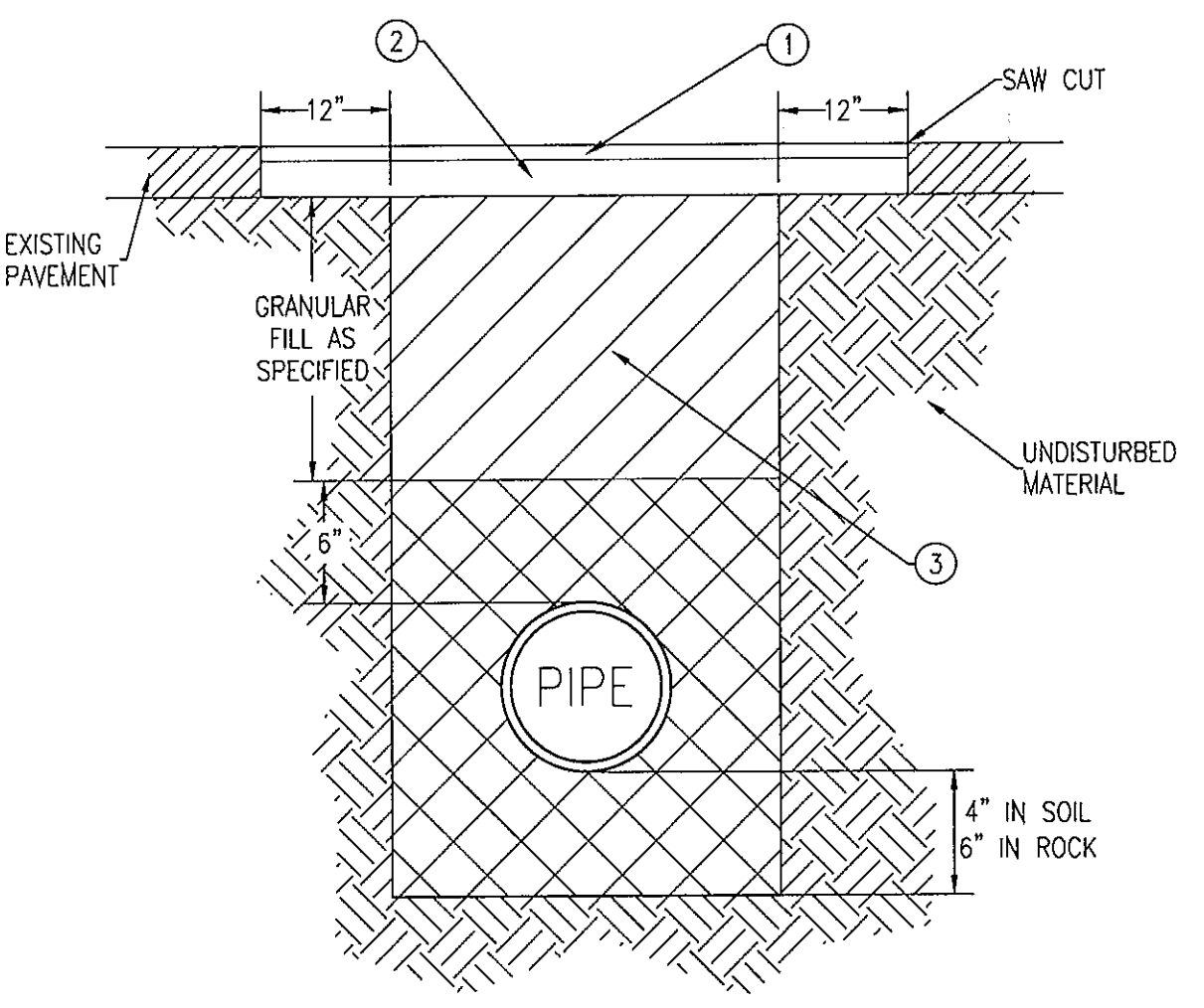
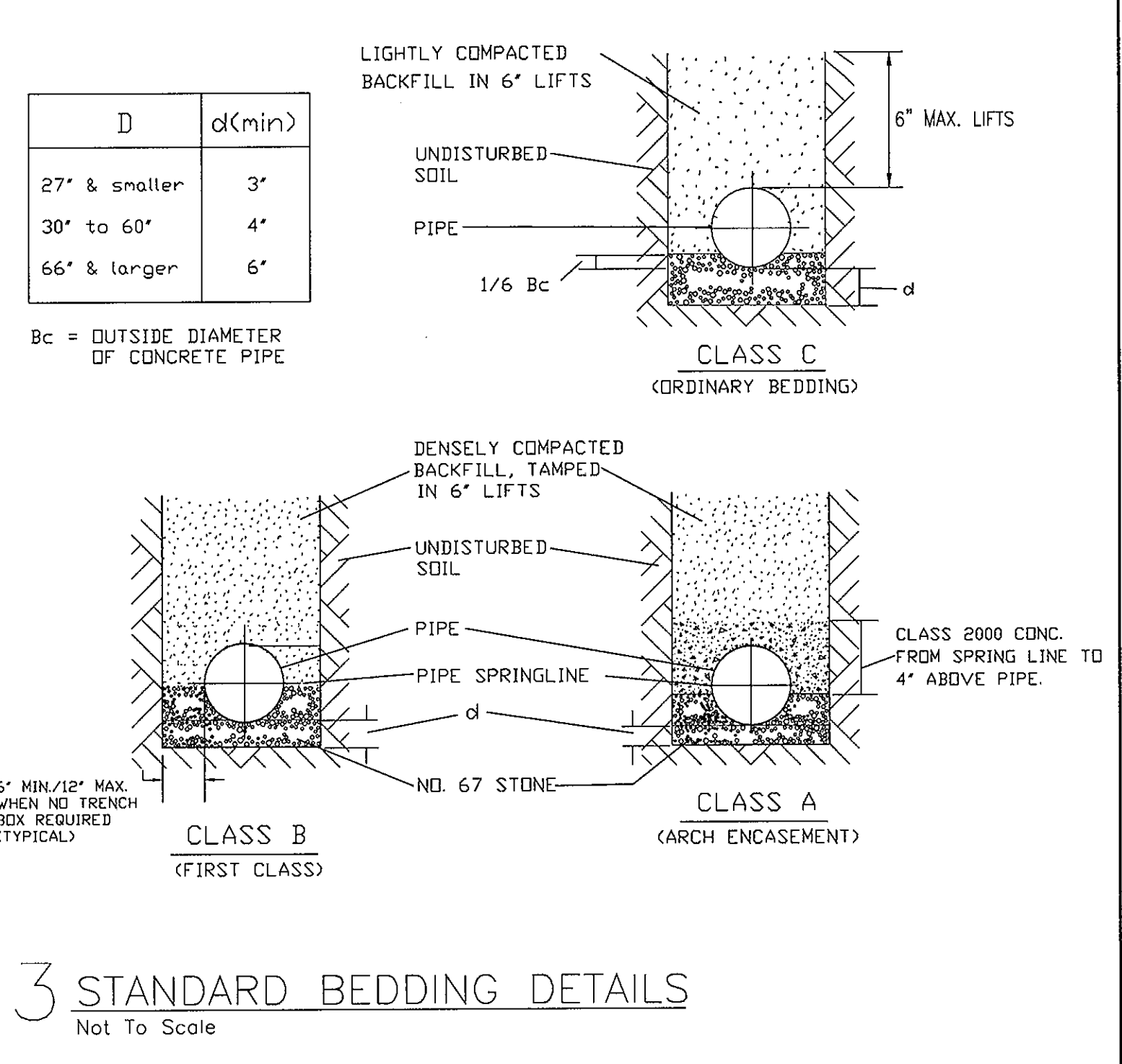
265 E. FIFTEENTH ST. sales@urbanaccessories.com  
TACOMA, WA 98421 www.urbanaccessories.com  
(877) 487-0488

**1 BIKE RACK**  
Not To Scale



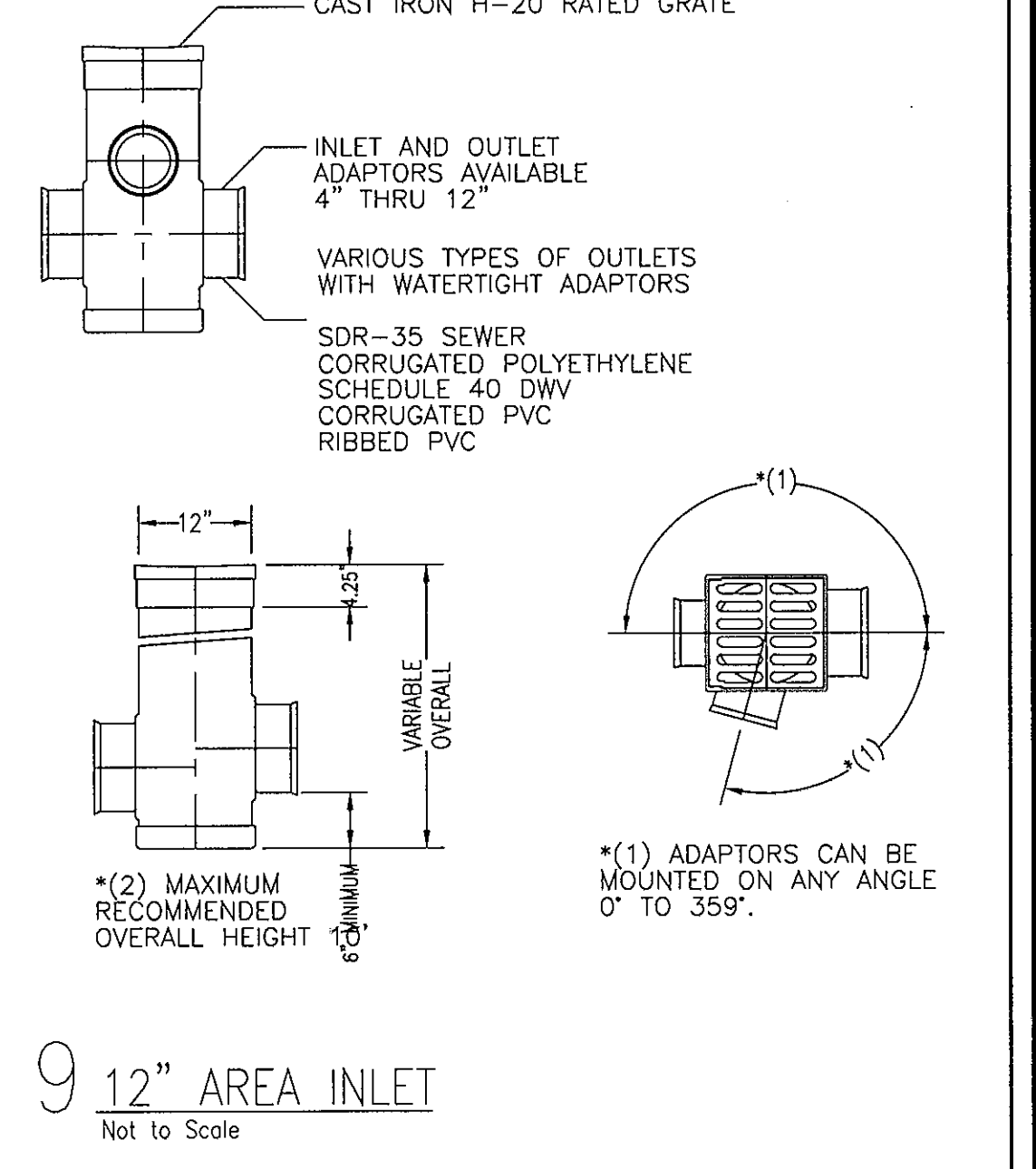
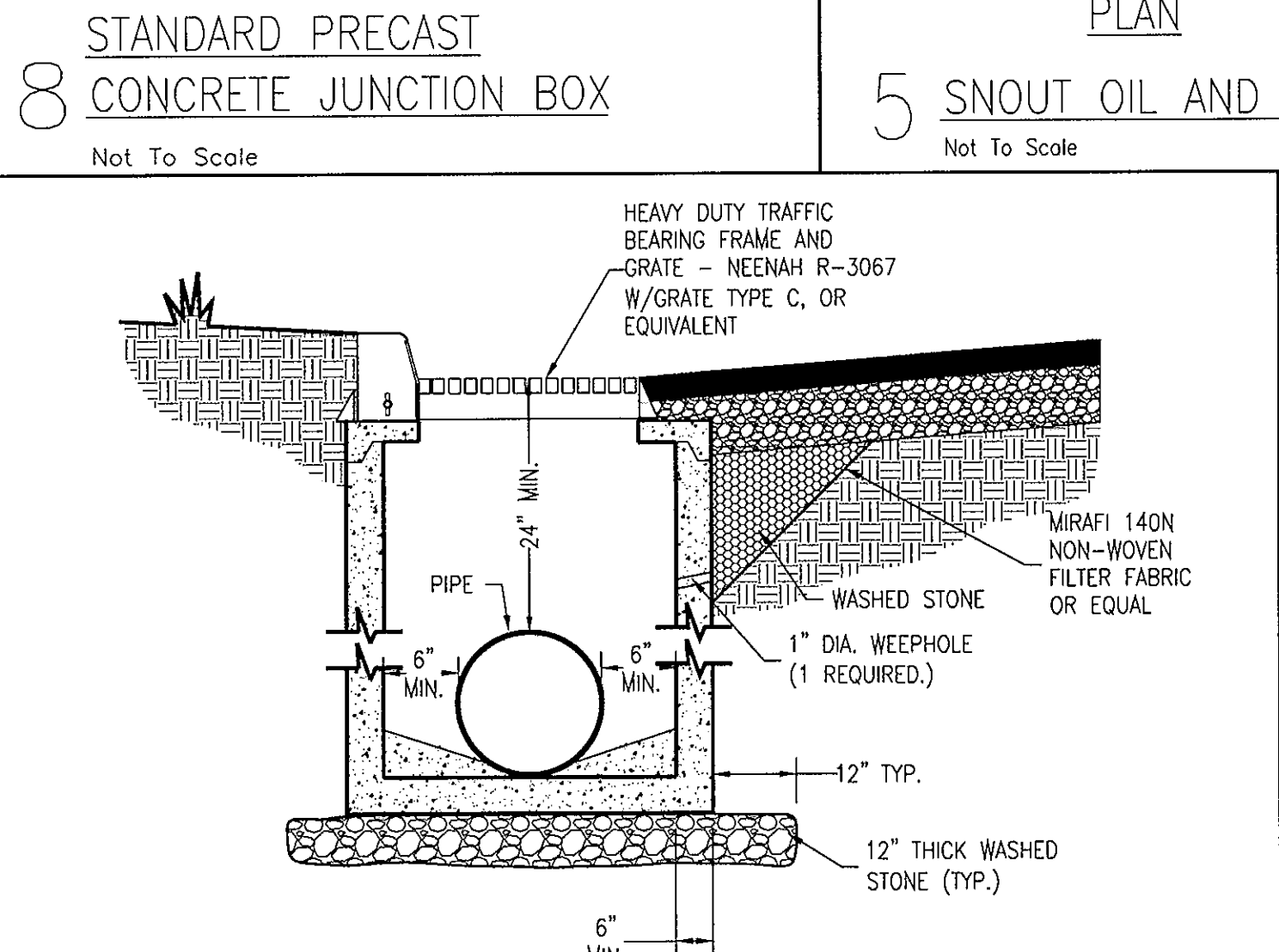
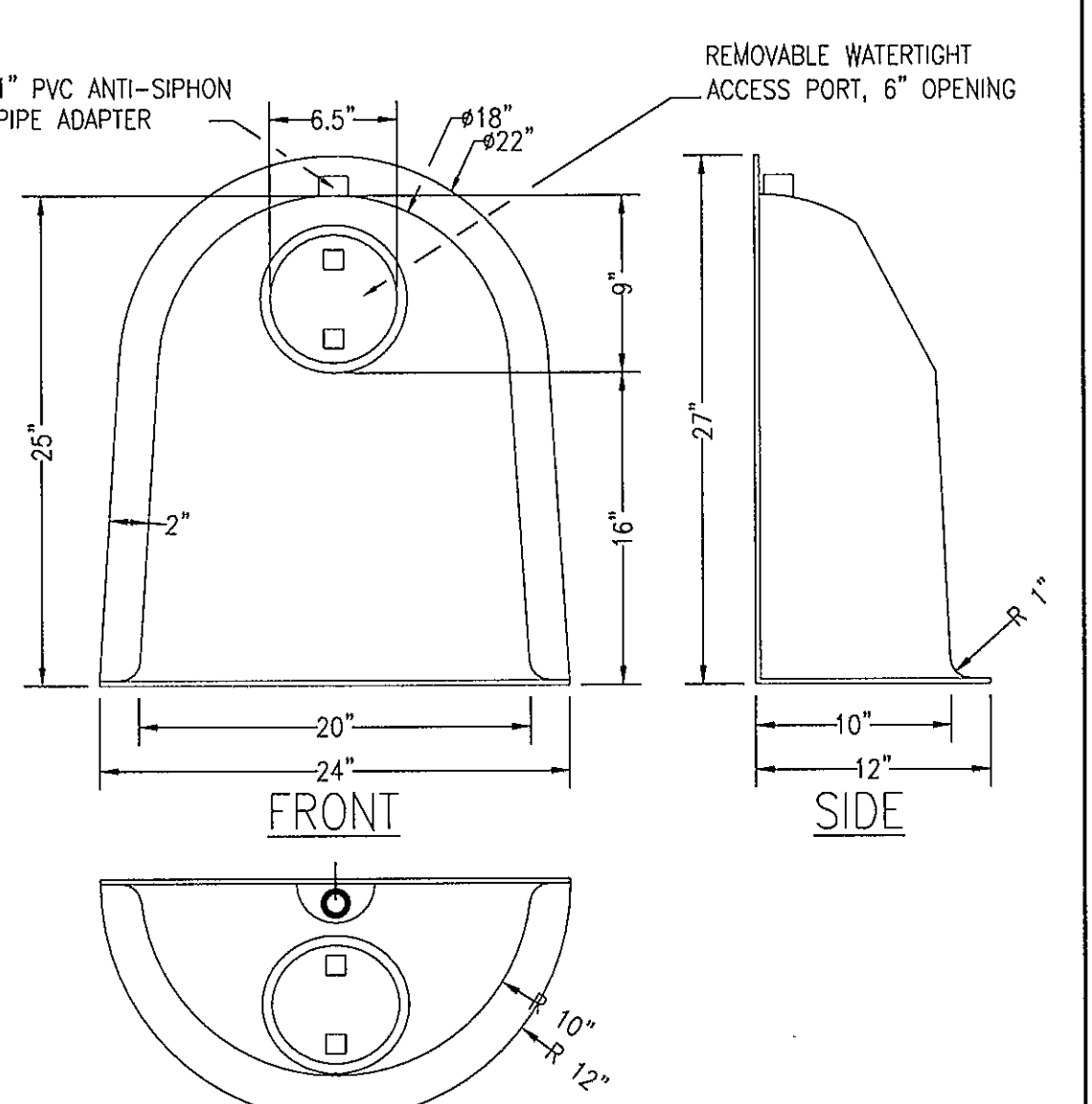
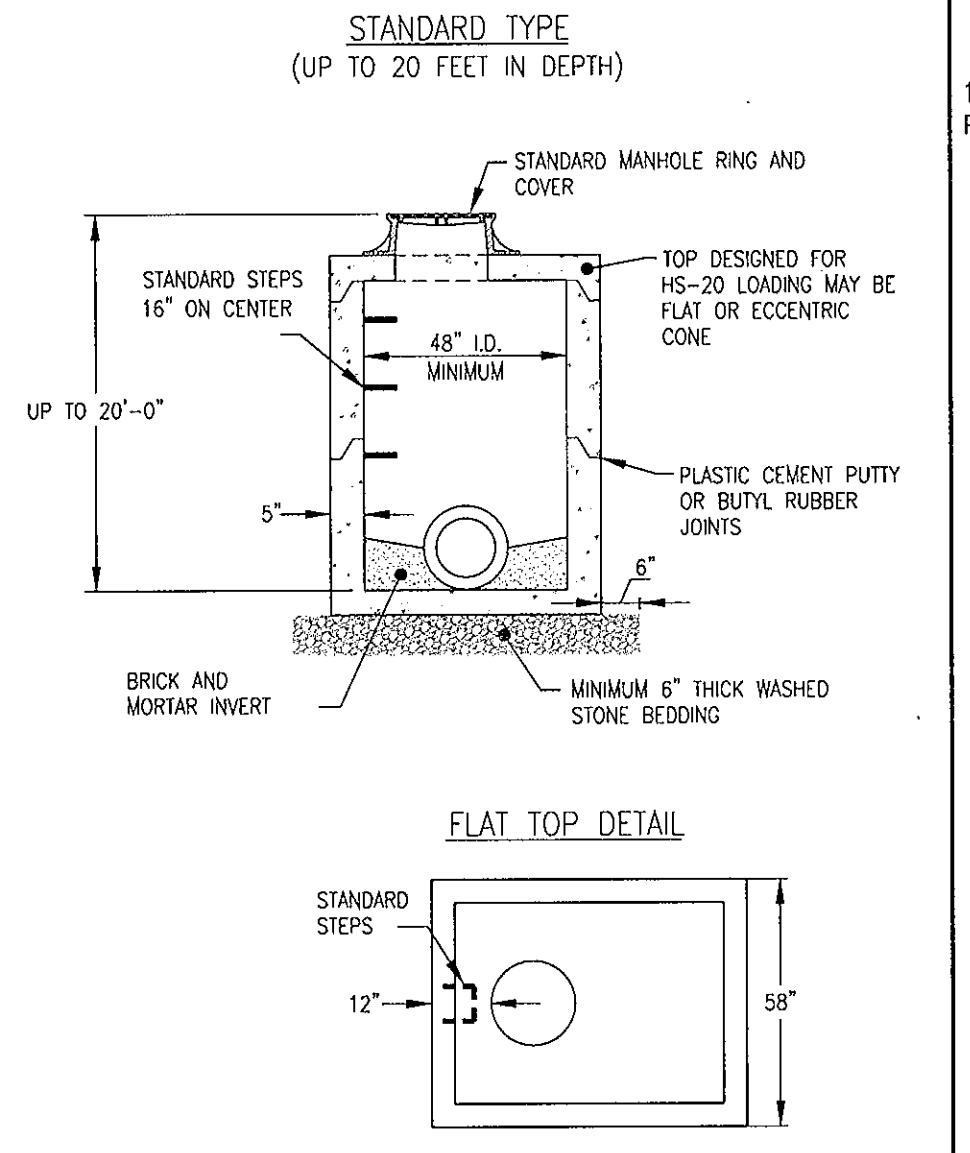
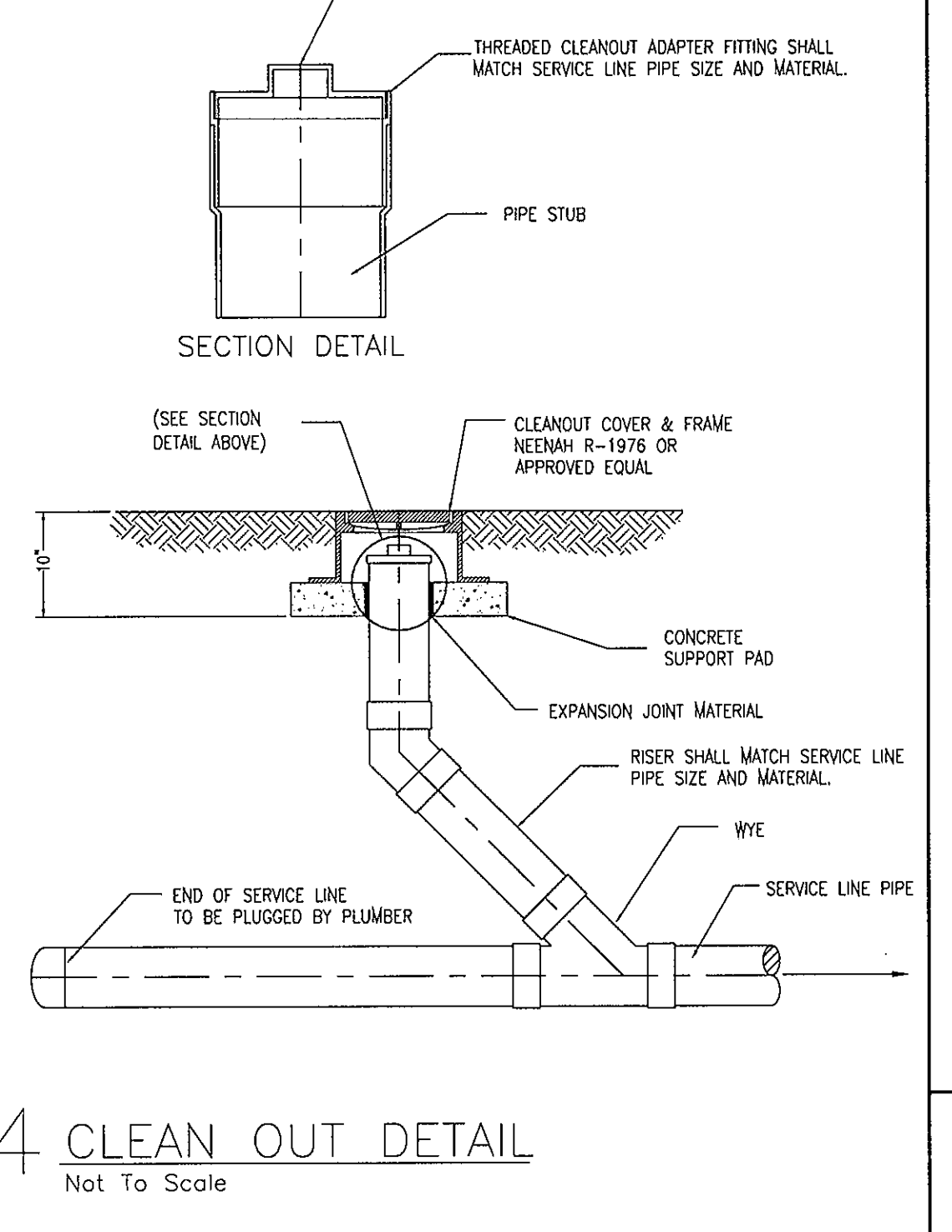
NOTE: SIZE AS PER LOCAL REQUIREMENTS CODE.  
1000 GAL. PRE-CAST CONCRETE  
FOR REFERENCE USE IN SIZING:  
1 GALLON = 0.134 CUBIC FEET VOLUME OF  
STD. 1000 GAL. TRAP = 134± C.F.

**6 TYPICAL EXTERIOR GREASE TRAP**  
Not To Scale



- TWO (2) INCH ASPHALTIC CONCRETE SURFACE
  - SIX (6) INCH MINIMUM ASPHALTIC CONCRETE BASE (FOR LARGE AREA PATCHING ONLY) IF APPROVED BY THE DIRECTOR OF PUBLIC WORKS; FOUR (4) INCH ASPHALTIC CONCRETE BASE WILL BE PERMITTED IN RESIDENTIAL ASPHALT DRIVEWAYS (OR EIGHT (8) INCH MINIMUM PORTLAND CEMENT CONCRETE BASE IN LIEU OF ASPHALT CONCRETE SURFACE)
  - BACKFILL MATERIAL SHALL MEET SPECIFICATIONS FOR APWA UNTREATED AGGREGATE BASE OR MODOT TYPE 1 BASE.
  - BEDDING MATERIAL SHALL MEET THE FOLLOWING GRADATION:  
100% PASSING 3/8" SIEVE  
30-40% PASSING #4 SIEVE  
0-4% PASSING #10 SIEVE
- NOTE: THE TWELVE (12) INCH OVERCUT WILL NOT BE REQUIRED FOR CUTS NOT EXCEEDING EIGHT (8) INCHES IN WIDTH.

**7 STREET CUT REPLACEMENT**  
Not To Scale

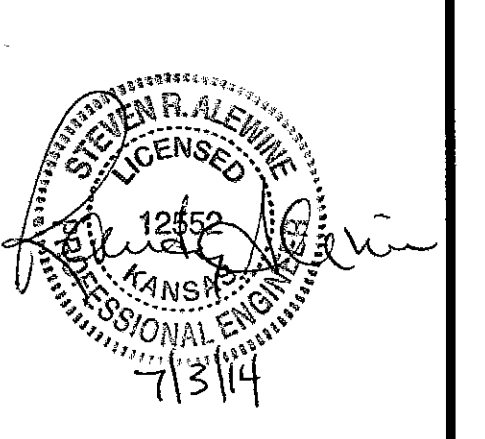


BY: EDH  
DESCRIPTION: MCDONALD'S STANDARD  
DATE: 06/13/14 REVISION PER CITY COMMENT LETTER 06/13/14

**McDonald's**

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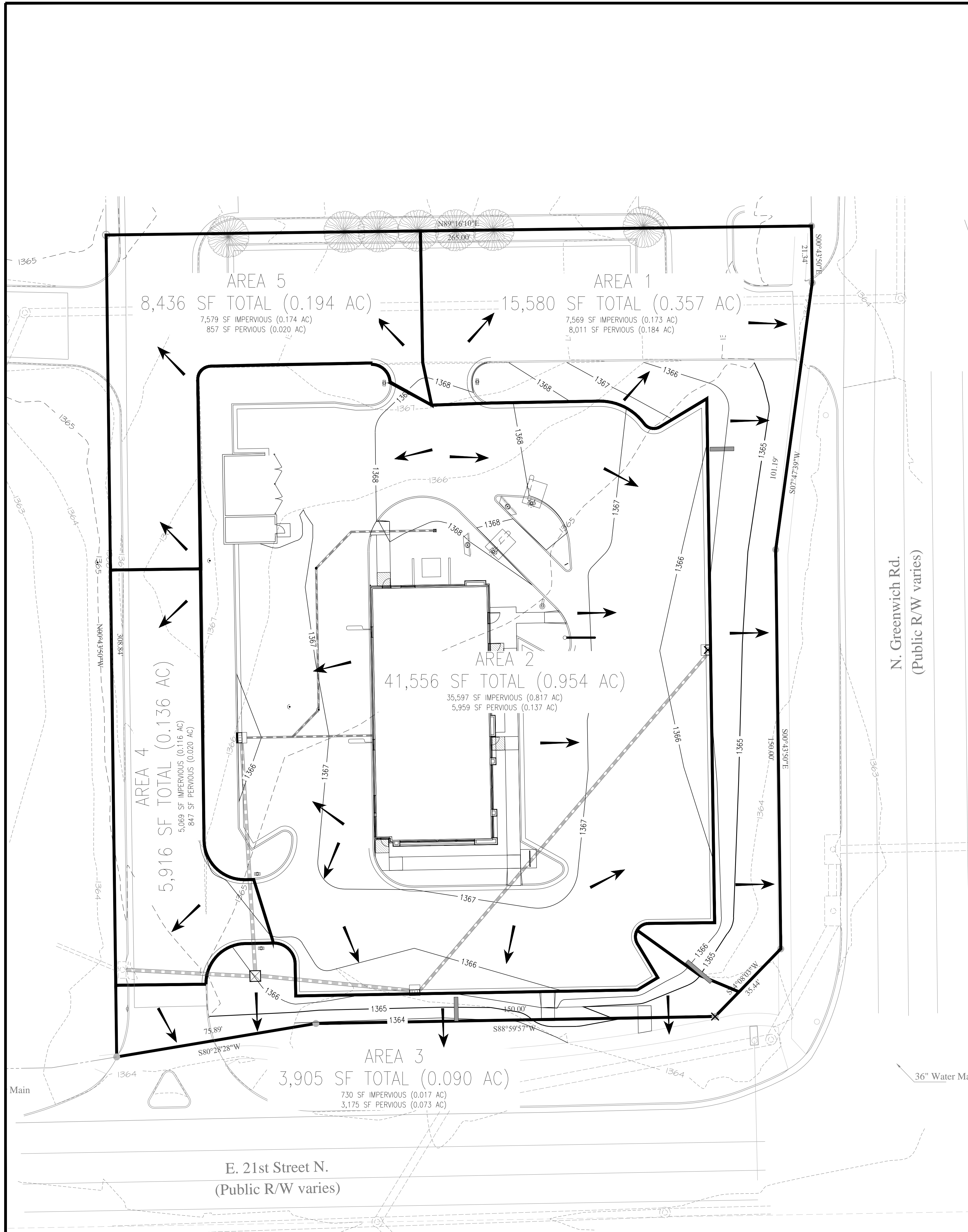


**BLACKSTONE ENVIRONMENTAL**

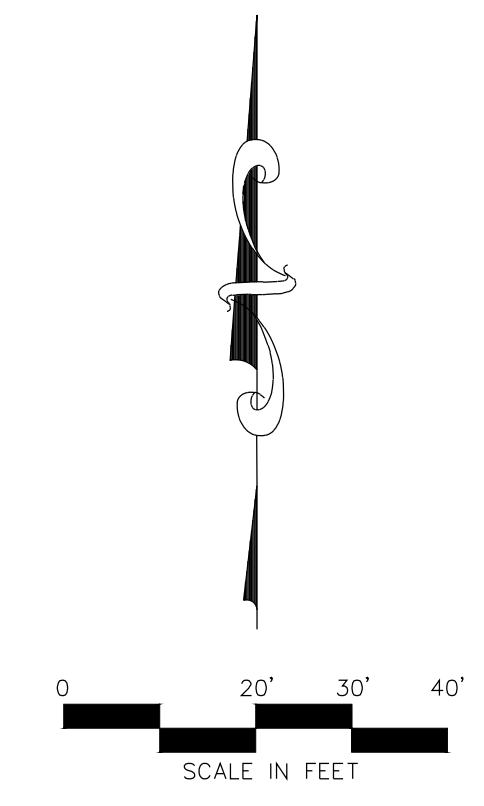
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OVERLAND PARK, KS 66212

STREET ADDRESS 11130 E 21ST ST N	
CITY WICHITA	STATE KS
COUNTY SEDGWICK	REGIONAL DWG. NO. 15-0373
McDONALD'S STANDARD DETAIL SHEET	

D-3



Know what's below.  
Call before you dig.



→ DRAINAGE FLOW DIRECTION

AREA 1	15,580 SF IMPERVIOUS AREA (0.357 AC)
AREA 2	41,556 SF IMPERVIOUS AREA (0.954 AC)
AREA 3	3,905 SF IMPERVIOUS AREA (0.090 AC)
AREA 4	5,916 SF IMPERVIOUS AREA (0.136 AC)
AREA 5	8,436 SF IMPERVIOUS AREA (0.194 AC)
<b>TOTAL</b>	<b>75,393 SF IMPERVIOUS AREA (1.73 AC)</b>

DATE	06/13/14
DESCRIPTION	REVISED PER CITY COMMENT LETTER 06/12/14
BY	EDT

**McDonald's**

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ADDRESS: 10801 MASTIN BLVD., STE. 400, OVERLAND PARK, KS 66210

**BLACKSTONE ENVIRONMENTAL**

9153 W. 133RD STREET  
OVERLAND PARK, KS 66212

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	CITY WICHITA	STATE KS
	COUNTY SEDGWICK	REGIONAL DWG. NO 15-0373
	EQUIVELANT RESIDENTIAL UNIT	