

STORMWATER DRAIN IMPROVEMENTS

to serve

Berkeley Square First Addition

Lot 4, Block 1

Private Project Drainage: 0261 PPD (607861)

CITY OF WICHITA, KANSAS

Gary Janzen, P.E. - City Engineer

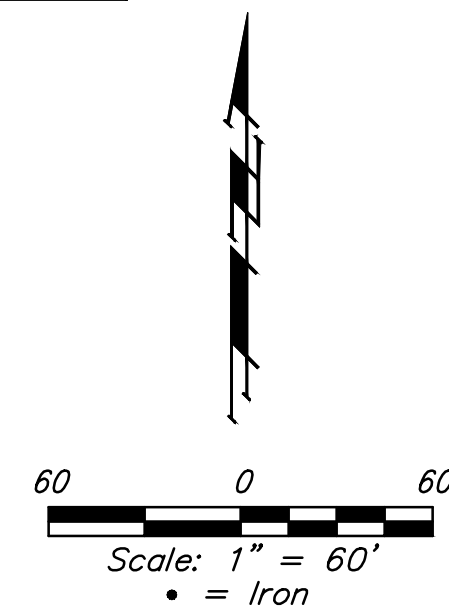
September 2014

GENERAL NOTES:

- Contractor will be required to provide notice to utility companies a minimum of forty-eight (48) hours prior to any excavation, as follows:

Kansas One-Call	687-2470
Cox Communications	262-4270
Kansas Gas Service	1-888-482-4950
Westar Energy	383-8650
Black Hills Energy (Gas)	1-800-303-0357
ATT	268-2245
City of Wichita Water Dept.	268-4563
City of Wichita Sewer Maint.	268-4024
City of Wichita Storm Sewer Maint.	268-4090
City of Wichita Traffic Maint.	268-4034

The Contractor must notify the following in case of an emergency:
- Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- All disturbed R/W areas not intended for pavement or sidewalk construction shall be seeded with Kansas Premium Fescue Blend at a rate of 8 lb./1000 Sq. Ft., fertilized with a 16-20-6 ratio at a rate of 4 lb./1000 Sq. Ft., and mulched with Prairie Hay at a rate of 92 lb./1000 Sq. Ft. Mulch shall be "patted" with forks or punched into soil to reduce loss due to wind.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- Contractor shall furnish the inspector with a copy of the manufacturer's certification for any pipe used on this project after completion of pipe installation. The engineer will not certify the project to the city until pipe certification has been received.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- All sewer lines and appurtenances shall be installed in accordance with the most recent edition of City of Wichita, Kansas Standard Specifications for the Construction of City Projects.
- Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Contractor shall not start on the project until all necessary bonds and permits have been obtained. Bonds may include but are not limited to Statutory, Performance & Maintenance. Any work done without inspection will be required to be uncovered for inspection.
- The Baseline for this project is the West R/W Line of Greenwich Rd with the SE Corner of Lot 1, Block 1, Berkeley Square First Addition = Station 10+00.
- The proposed improvements are to be privately owned and maintained.



BENCHMARK

Benchmark #1 - Square cut in west edge of catch basin.
Elevation = 1381.56 (NAVD 88)

Benchmark #2 - "V" notch in west edge of sidewalk.
Elevation = 1375.60 (NAVD 88)

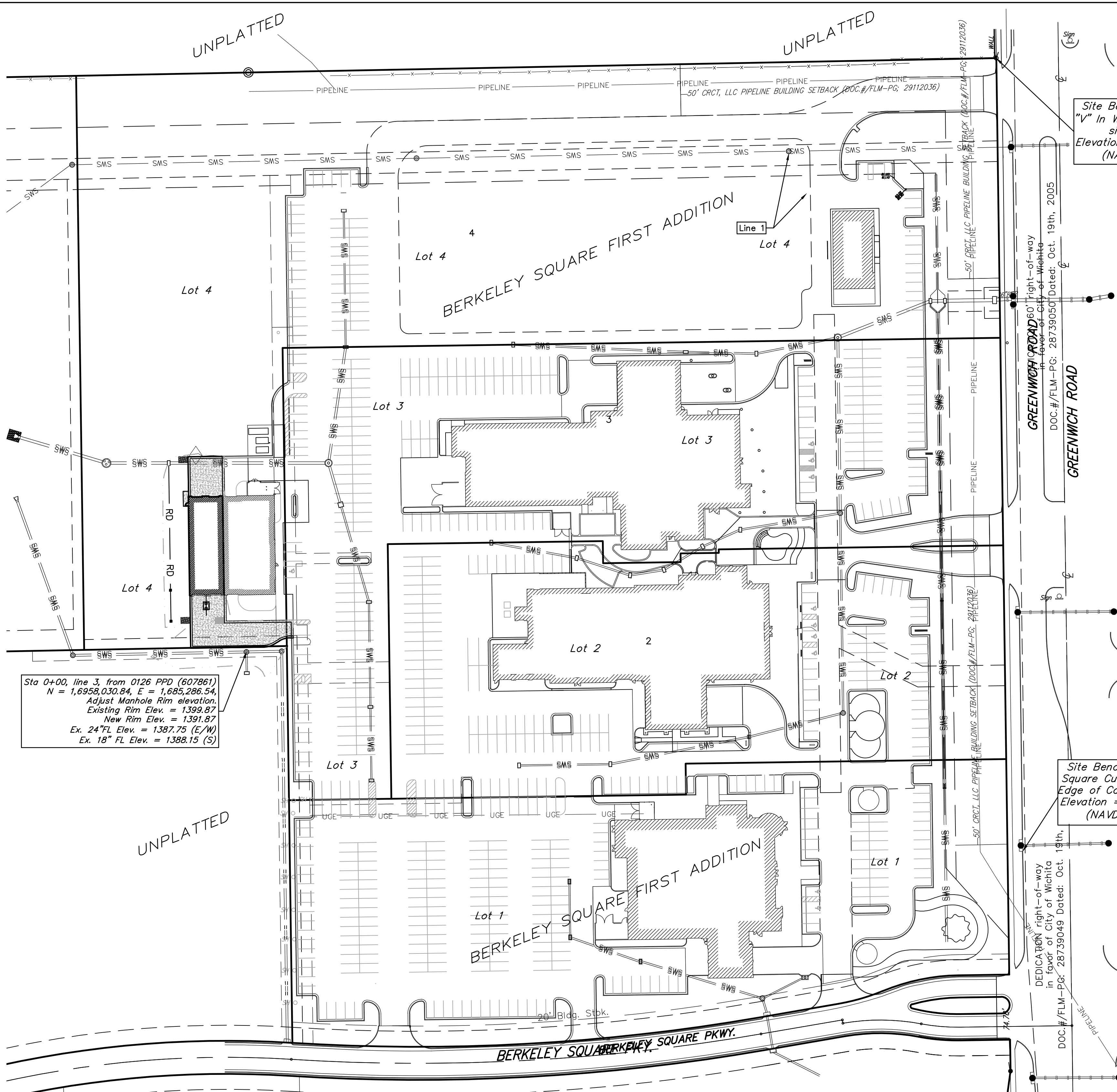
SHEET INDEX:

Title Sheet 1
Grading/BMP&ERU Plan (Ref) 2
Copy of Plat 3

AS BUILTS

Contractor:
Ewertz
Excavation
12/1/2014

Project Inspector:
Larry Gann
KEMILLER
117 E. Lehigh, Wichita, KS 67202 (316)284-0042



Sta 0+00, line 3, from 0126 PPD (607861)
N = 1,6955,030.84, E = 1,685,286.54
Adjust Manhole Rim elevation
Existing Rim Elev. = 1399.87
New Rim Elev. = 1391.87
Ex. 24" FL Elev. = 1387.75 (E/W)
Ex. 18" FL Elev. = 1388.15 (S)

Site Benchmark 1
Square Cut in West Edge of Catch Basin.
Elevation = 1381.56 (NAVD 88)

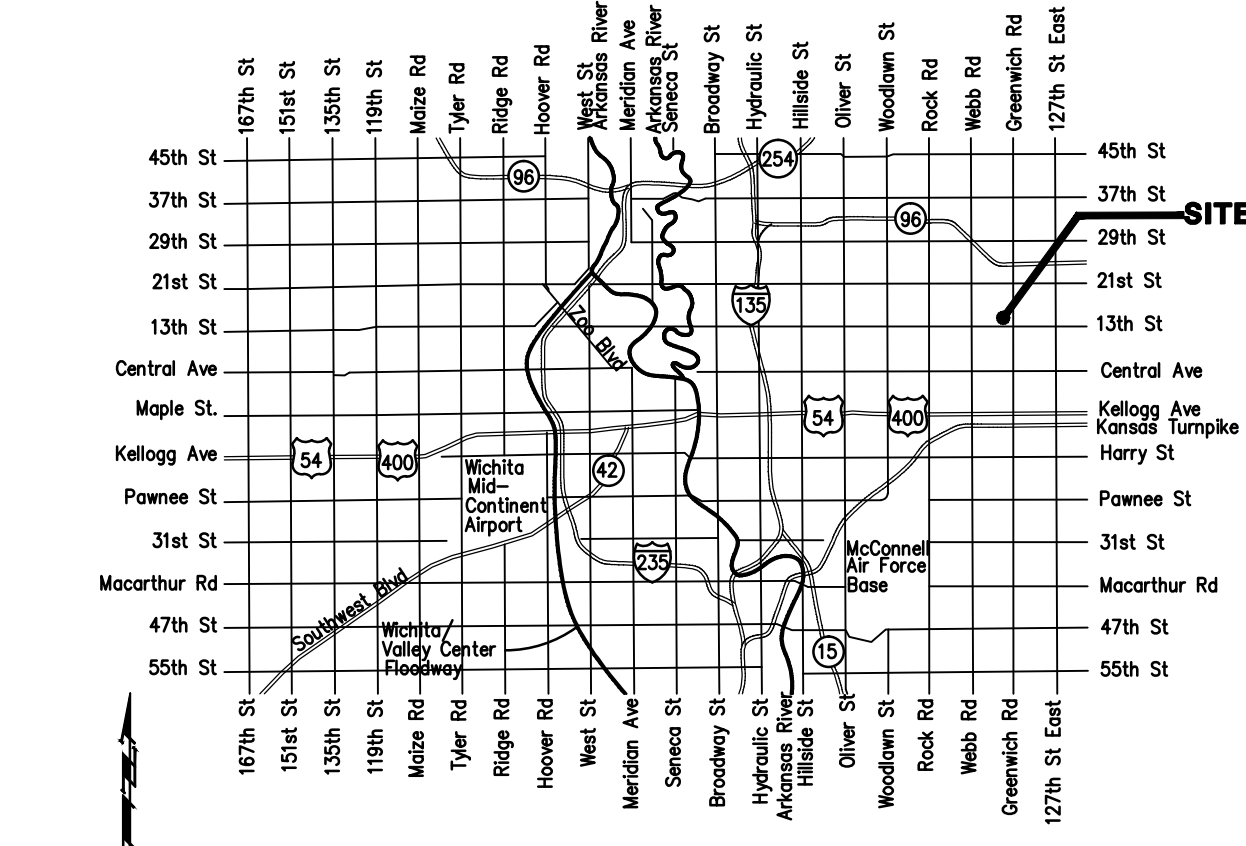
Site Benchmark 2
"V" In West Edge of sidewalk.
Elevation = 1375.60 (NAVD 88)

APPROVED AS NOTED
BY CITY ENGINEER OF WICHITA

Engineering *Rebecca Guil* 9/2/2014
Stormwater *Jim Hurd* 9/2/14

NOTE TO CONTRACTORS

Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).



SITE ERU INFO.

Total Lot Area:	295,444 sq. ft. (±6.78 acres)
Disturbed Area:	32,652 sq. ft. (±0.75 acres)
Existing Imperv. Area:	70,985 sq. ft. (±1.63 acres)
Added Imperv. Area:	7,649 sq. ft. (±0.18 acres)
(Incl. building)	
Net Impervious Area:	78,634 sq. ft. (±1.81 acres)
Pervious Area:	±216,810 sq. ft.

Stormwater Certification:

These improvements were prepared in accordance with the current Storm Water management Regulations as set forth in the City of Wichita's Storm Water Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Storm Water Manual.

Downstream Channel Protection Per the Berkeley Square First Addition Drainage Plan, a portion of this site is to drain into an Extended Detention Basin located in Reserve B, with a portion of site draining into an existing Bioswale and storm sewer system. See 0011PPD & 0126PPD for existing stormsewer system systems.

Water Quality Requirements The proposed East Site will drain into the existing Infiltration Swale per the 0011PPD design standards. The proposed West Site will drain into the existing extended Detention Basin. The existing stormsewer system, 0126PPD, has been designed to treat the proposed runoff in addition to the existing impervious area developed.



Baughman

Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

STORMWATER DRAIN IMPROVEMENTS

to serve

Berkeley Square First Addition

Lot 4, Block 1

Private Project Drainage: 0261 PPD (607861)

CITY OF WICHITA, KANSAS

Gary Janzen, P.E. - City Engineer

October 2014

GENERAL NOTES:

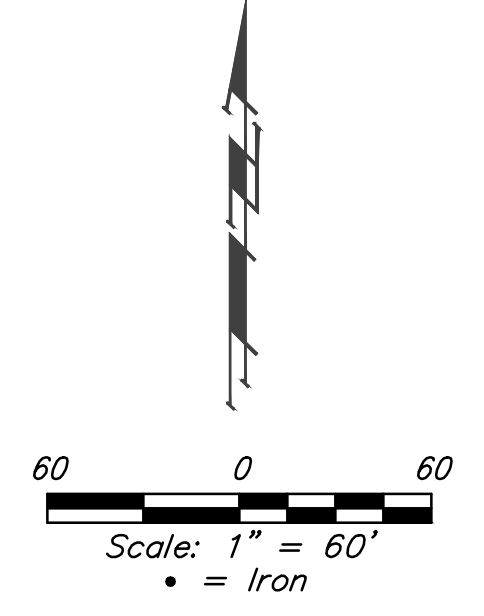
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Site Benchmark 2
"V" in West Edge of sidewalk.
Elevation = 1375.60
(NAVD 88)

Site Benchmark 1
Square Cut in West Edge of Catch Basin.
Elevation = 1381.56
(NAVD 88)



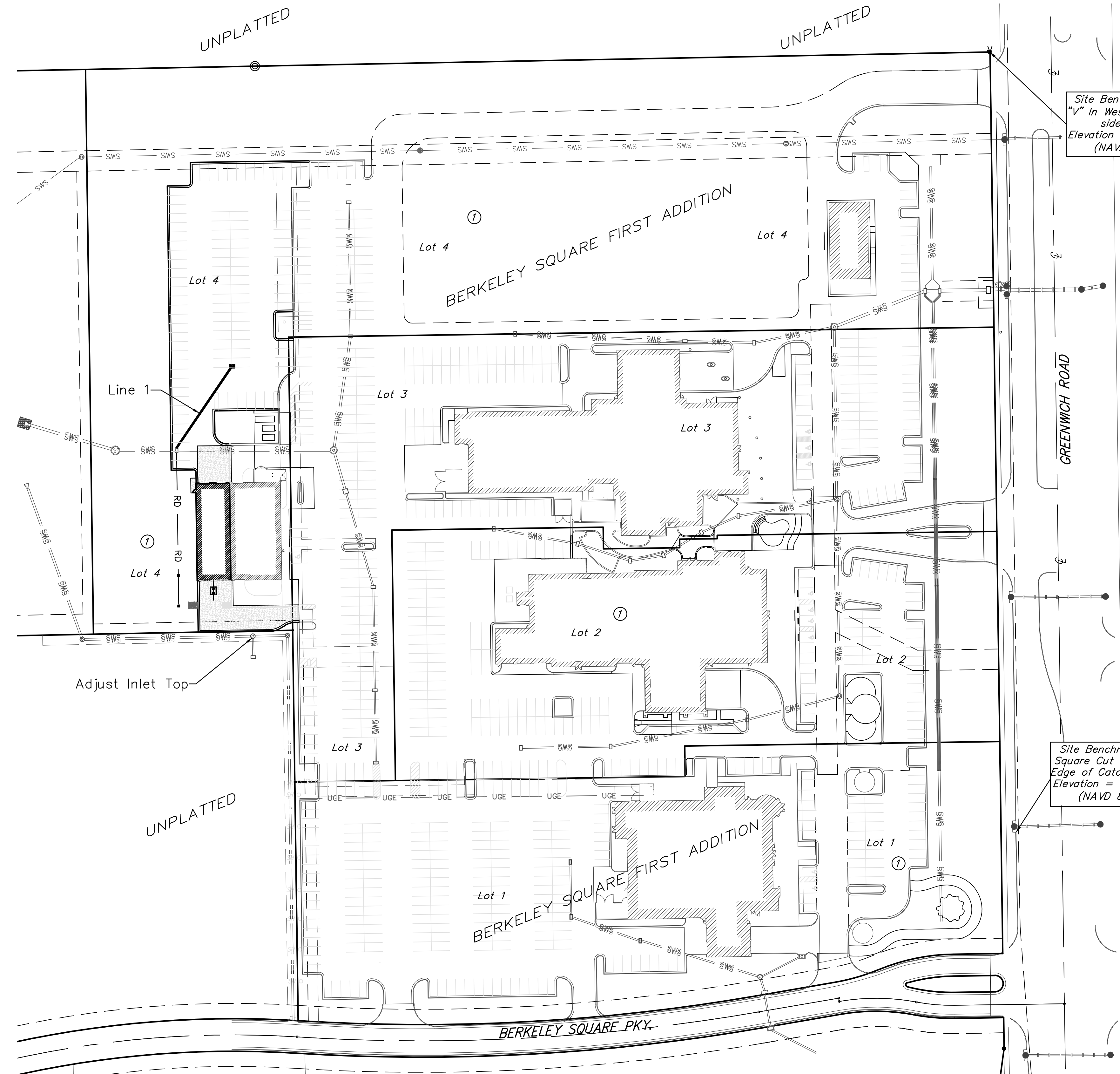
BENCHMARK

Benchmark #1 - Square cut in west edge of catch basin.
Elevation = 1381.56 (NAVD 88)

Benchmark #2 - "V" notch in west edge of sidewalk.
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SHEET INDEX:

Title Sheet	1
Plan/Profile Sheet	2
Grading/BMP&ERU Plan	3
Copy of Plat	4



SITE ERU INFO.

Total Lot Area:	295,444 sq. ft. (±6.78 acres)
Disturbed Area:	65,124 sq. ft. (±1.50 acres)
Existing Imperv. Area:	70,985 sq. ft. (±1.63 acres)
Added Imperv. Area:	
(Incl. building)	38,574 sq. ft. (±0.89 acres)
Net Impervious Area:	109,559 sq. ft. (±2.52 acres)
Pervious Area:	±185,885 sq. ft.

Stormwater Certification:

These improvements were prepared in accordance with the current Storm Water management Regulations as set forth in the City of Wichita's Storm Water Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Storm Water Manual.

Downstream Channel Protection Per the Berkeley Square First Addition Drainage Plan, a portion of this site is to drain into an Extended Detention Basin located in Reserve B, with a portion of site draining into an existing Bioswale and storm sewer system. See 0011PPD & 0126PPD for existing stormsewer system systems.

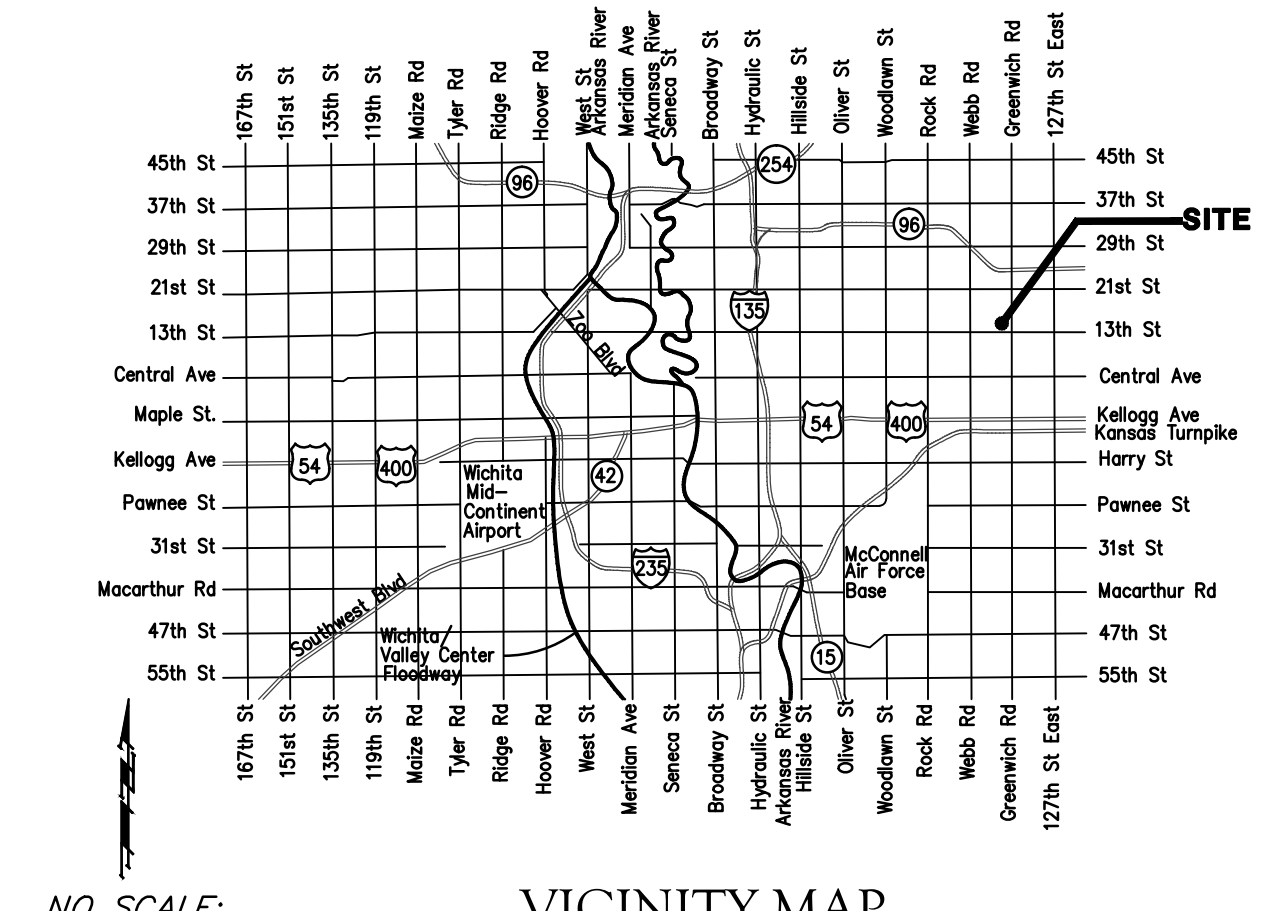
Water Quality Requirements The proposed East Site will drain into the existing Infiltration Swale per the 0011PPD design standards. The proposed West Site will drain into the existing extended Detention Basin. The existing stormsewer system, 0126PPD, has been designed to treat the proposed runoff in addition to the existing impervious area developed.

APPROVED AS NOTED
BY CITY ENGINEER OF WICHITA

Engineering APPROVED
Stormwater SIGNATURES ON OTHER COVER SHEET

NOTE TO CONTRACTORS

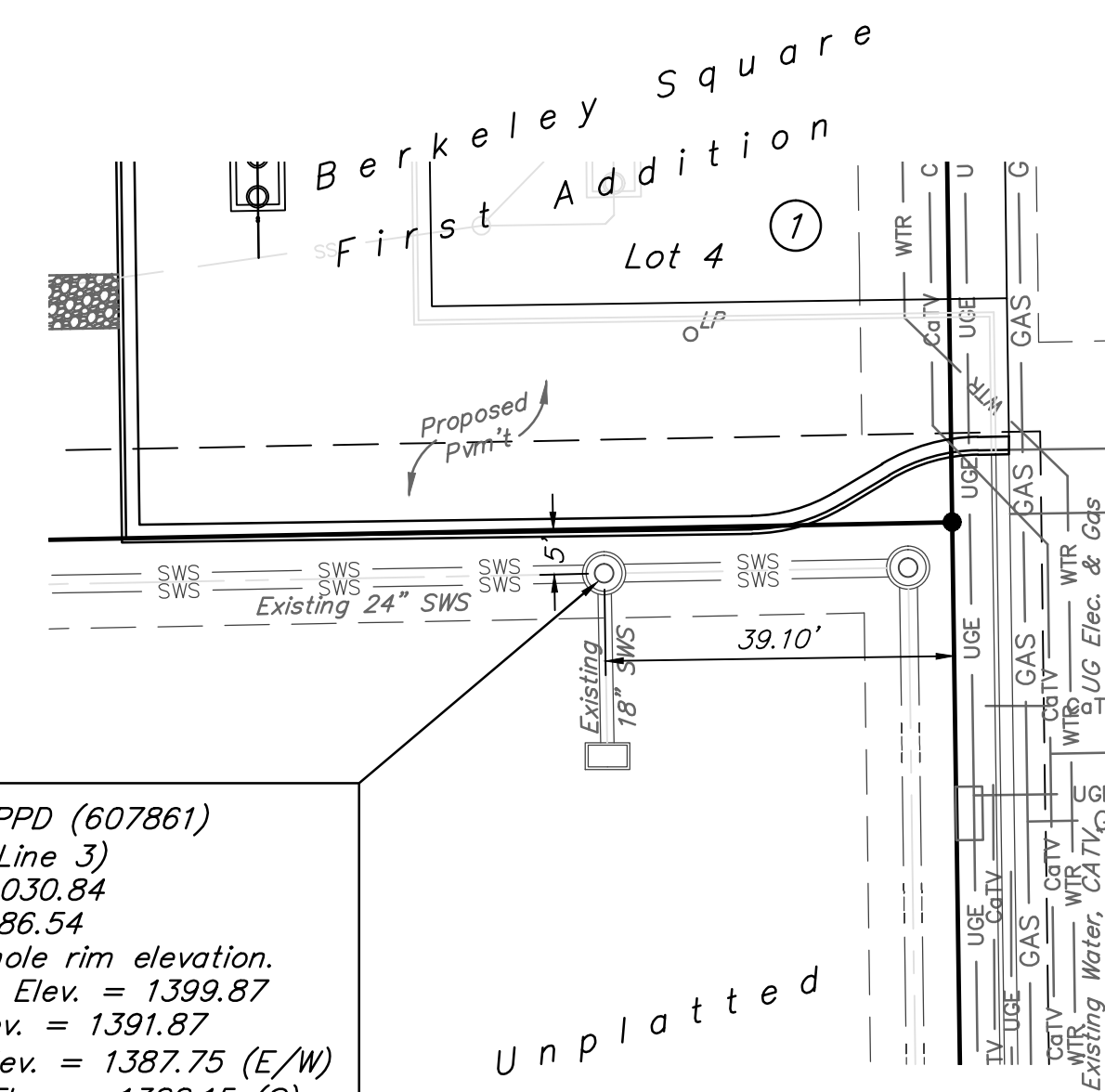
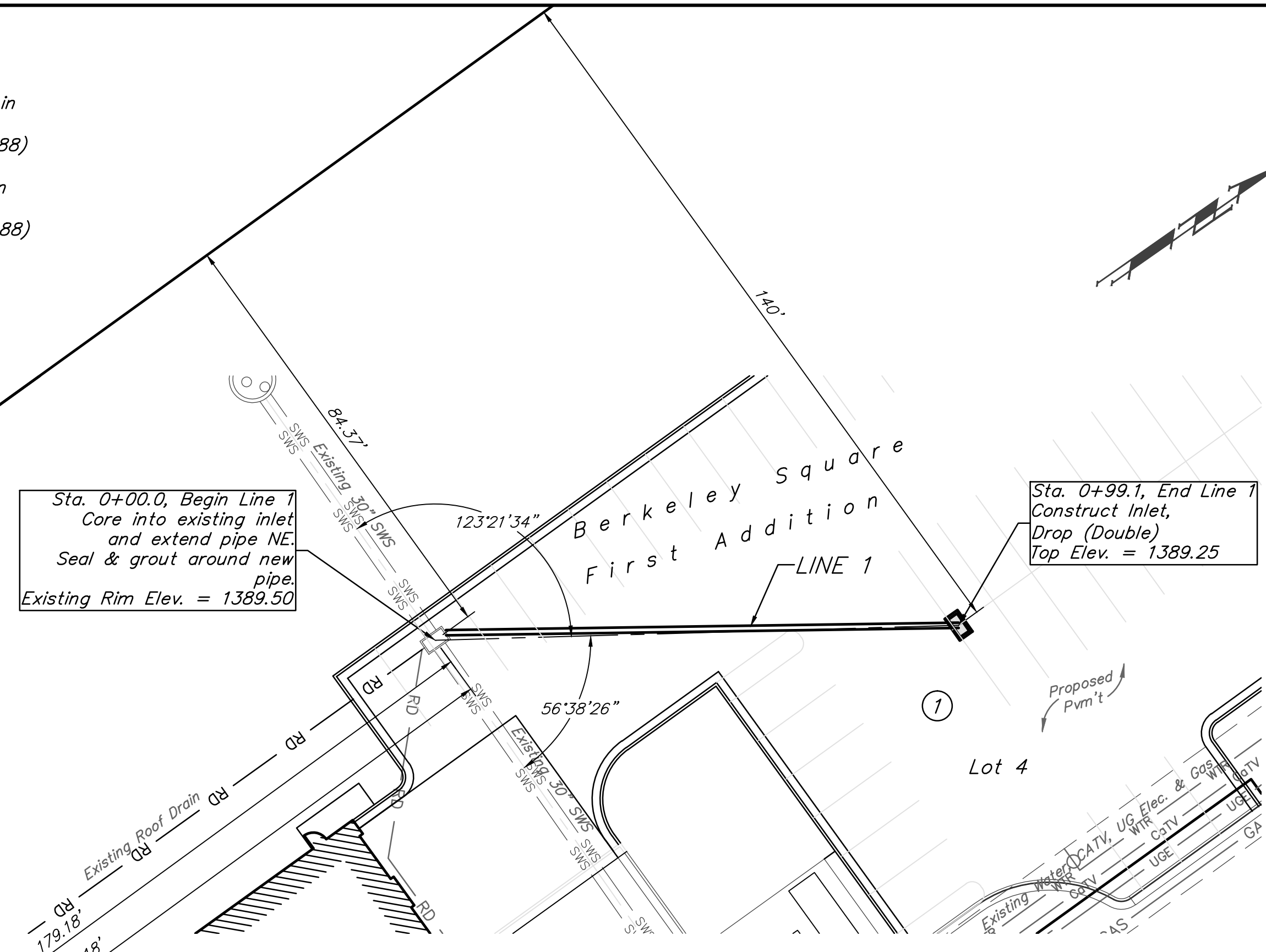
Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said Inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).



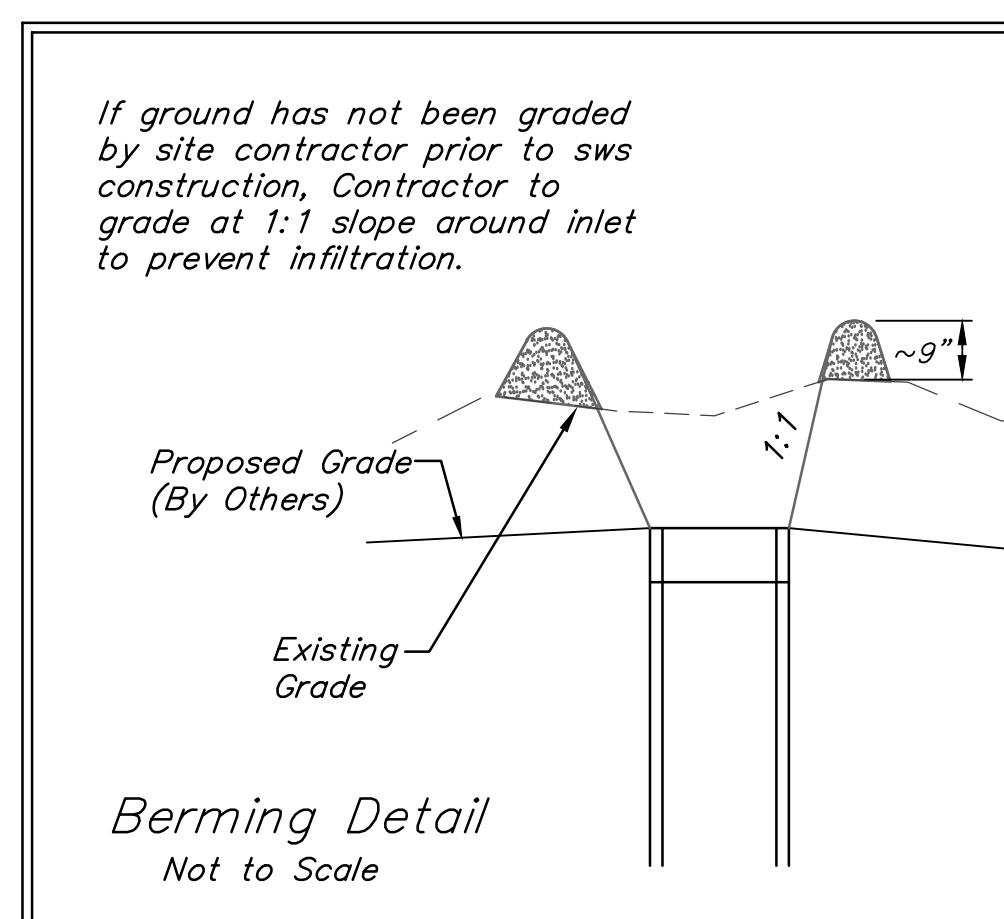
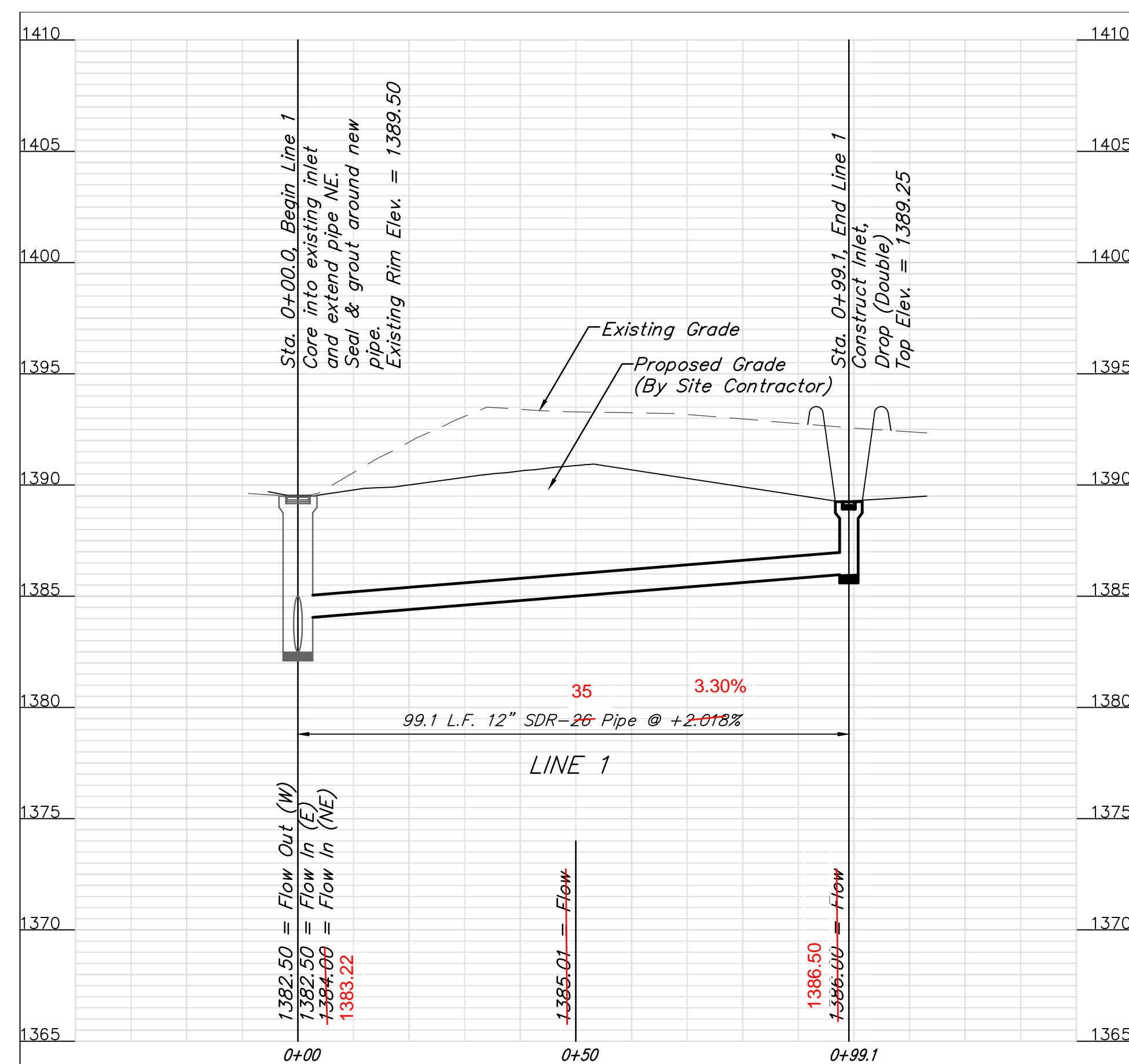
BENCHMARKS:
 Benchmark #1 - Square cut in west edge of catch basin.
 Elevation = 1381.56 (NAVD 88)
 Benchmark #2 - "V" notch in west edge of sidewalk.
 Elevation = 1375.60 (NAVD 88)

Sta. 0+00.0, Begin Line 1
 Core into existing inlet and extend pipe NE
 Seal & grout around new pipe.
 Existing Rim Elev. = 1389.50

Sta. 0+99.1, End Line 1
 Construct Inlet, Drop (Double)
 Top Elev. = 1389.25



From 0126 PPD (607861)
 (Sta 0+00, Line 3)
 N = 1,6958,030.84
 E = 1,685,286.54
 Adjust manhole rim elevation.
 Existing Rim Elev. = 1399.87
 New Rim Elev. = 1391.87
 Ex. 24" FL Elev. = 1387.75 (E/W)
 Ex. 18" FL Elev. = 1388.15 (S)

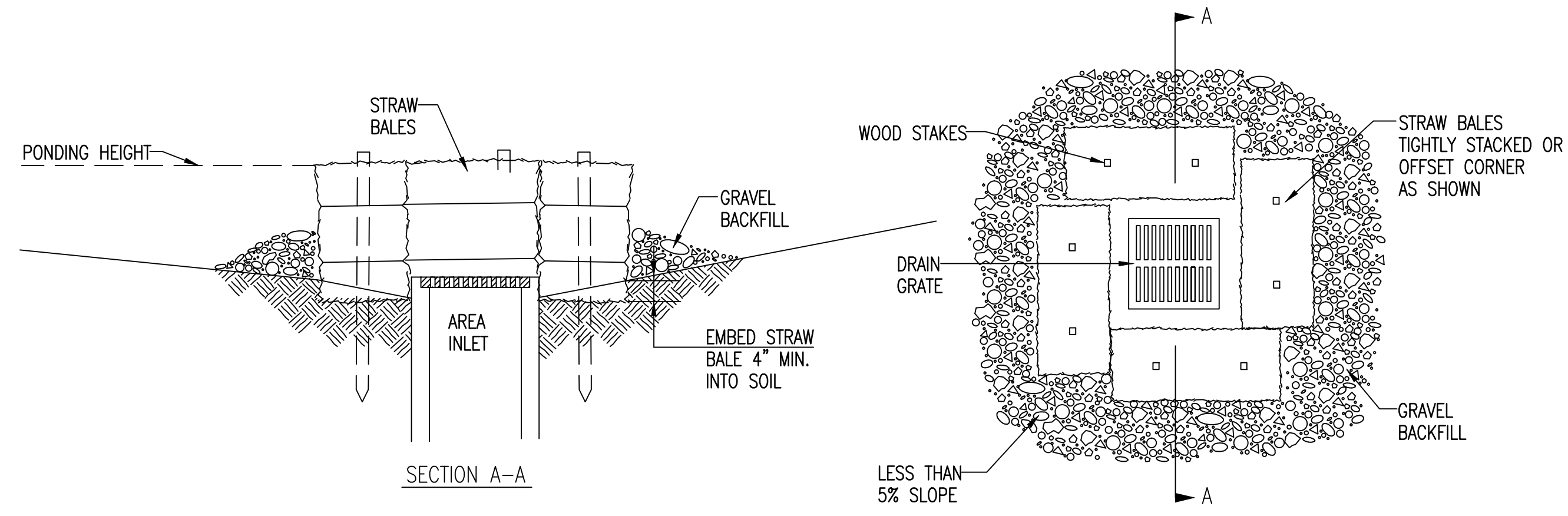


AS BUILTS

KEMILLER ENGINEERING PA

117 E. Lewis,
 Wichita, KS 67202 (316)264-0242

Baughman		Berkeley Square First Addition	
LINE		STORM WATER SEWER IMPROVEMENTS	
Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-263-7271 F 316-262-0149 ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE			
PROJECT NUMBER 0261 PPD (607861)	DESIGN TJW	DRAWN TMS	DATE 10/14
REVISIONS:	APPROVED	SCALE Noted	SHEET
			OF



SECTION A-A
STRAW BALE BARRIERS FOR AREA INLETS
(INLET PROTECTION)

Stormwater Compliance:

Downstream Channel Protection Per the Berkeley Square First Addition Drainage Plan, a portion of this site is to drain into an Extended Detention Basin located in Reserve B, with a portion of site draining into an existing Bioswale and storm sewer system. See 0011PPD & 0126PPD for existing storm sewer system systems.

Water Quality Requirements The proposed East Site will drain into the existing infiltration Swale per the 0011PPD design standards. The proposed West Site will drain into the existing extended Detention Basin. The existing storm sewer system, 0126PPD, has been designed to treat the proposed runoff in addition to the existing impervious area developed.

These improvements has been developed to satisfy Section 16.32 of the City Code.

EROSION CONTROL NOTES:

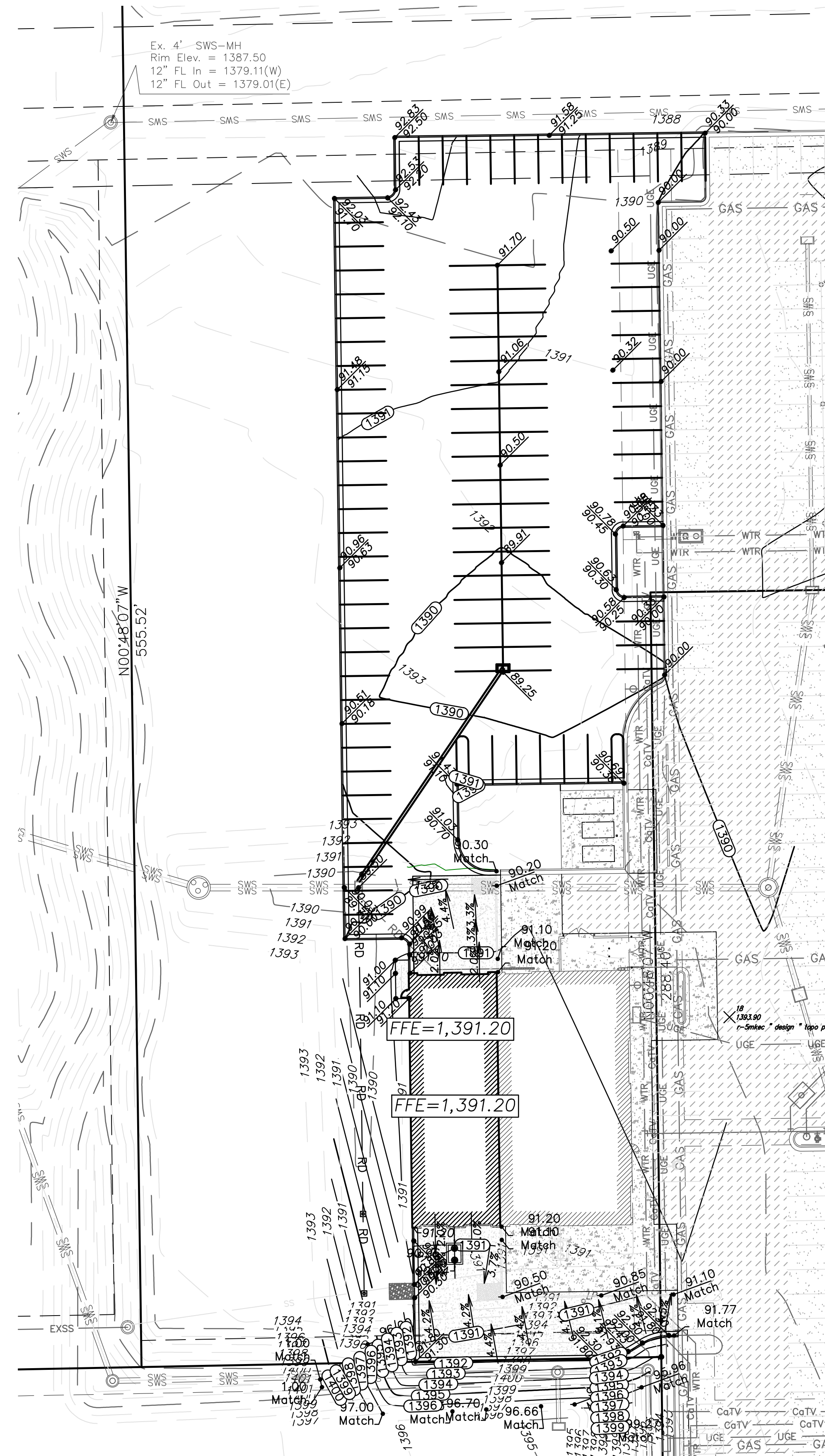
- No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #11).
- All exposed areas shall be seeded as specified within 21 days of final GRADING.
- Should construction stop for longer than 14 days, the site shall be seeded as specified.
- Maintain erosion control measures after each rain and at least once a week.
- This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
- Contractor shall comply with all state and local ordinances that apply.
- Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
- Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
- If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
- See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
- This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
- ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
- An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.

EROSION CONTROL LEGEND

 = Area Inlet Sediment Barrier

EROSION CONTROL & ERU PLAN

Scale 1"= 40'-0"



GRADING PLAN

Scale 1"= 30'-0"

Proposed Contours
Existing Contours

BENCHMARK

SITE BENCHMARK-1
"□" cut in west edge of catch basin.
Elevation=1381.56 (NAVD 88)

SITE BENCHMARK-2
"V" notch in west edge of sidewalk.
Elevation=1375.60 (NAVD 88)

LEGAL DESCRIPTION

Lots 3 & 4, Block 1, Berkeley Square First Addition, Wichita, Kansas

GRADING NOTES

- Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
- The Contractor must notify the following in case of an emergency:

Kansas Gas Service (Gas).....	1-888-482-4950
Aquila Energy (Gas).....	1-800-303-0357
Westar Energy (Electric).....	383-8650
Cox Communications (Cablevision).....	262-4270
AT&T (Phone).....	268-2759
City of Wichita Water Dept. (Water).....	268-4563
City of Wichita Sewer Maint.(San. Sewer).....	268-4908
City of Wichita Storm Sewer Maint.(Storm Sewer).....	268-4024
City of Wich Traffic Maint.(Traf. Control).....	268-6000
City of Wich Traffic Maint.(Traf. Control).....	268-4034
Conoco Pipeline Co. (Petroleum).....	268-4203
Williams Pipeline Co. (Petroleum).....	1-800-231-2551
Phillips Pipeline Co. (Petroleum).....	529-6600
Phillips Pipeline Co. (Petroleum).....	1-800-324-9696
Phillips Pipeline Co. (Petroleum).....	1-800-766-8230
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Refer to Erosion Control Plan & PPD for Treatment of All Disturbed Areas.
- Signing and striping shall be installed in accordance with Local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
- Paved Lot to be constructed with Paving as shown. Subgrade to be compacted to 98% Standard Proctor Density and treated with 4 to 6 percent lime or 14 to 16 percent class "C" fly ash. Refer to pavement details to verify depths and Paving type. See Site specific Geotechnical Report for Pavement and subgrade requirements and options.
- Proposed storm water sewer shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Project Drainage". The storm sewer system and corresponding drainage systems shall be designed separately, and undergo Local City review and approval. The installation of the storm sewer is required to be done by a bonded contractor, inspected and certified. Refer to Separate Private Drainage Plan Set. The Contractor shall construct the sewer only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- The Contractor shall notify adjacent landowners prior to proceeding with any construction work on landowner's property.
- Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%). Notify Landscape Architect of any discrepancies prior to forming of walks.
- 6" Curb & Gutter are to be constructed typically. 4" Curb & Gutter is to be constructed at the front of all parking stalls with adjacent curbing as noted on the Grading plan.
- Proposed Grades are to be rough graded with Mercedes of Wichita Contractor. Contractor were noted to rough grade area within 6" of grades shown and topped with 4" of topsoil. Rough graded areas were to be temporary seeded. Detail Shop Contractor required to final grade area shown within limits of construction and note any existing grading errors or revisions with the Engineer prior to construction of pavement.

SITE ERU INFO.

Total Lot Area:	295,444 sq. ft. (±6.78 acres)
Disturbed Area:	65,124 sq. ft. (±1.50 acres)
Existing Imperv. Area:	70,985 sq. ft. (±1.63 acres)
Added Imperv. Area:	(Incl. building) 38,574 sq. ft. (±0.89 acres)
Net Impervious Area:	109,559 sq. ft. (±2.52 acres)
Pervious Area:	±185,885 sq. ft.



CERTIFICATE OF SURVEY

I, Gregory J. Allison, a registered land surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and platting of "BERKELEY SQUARE FIRST ADDITION", an addition to Wichita, Sedgwick County, Kansas, into Lots, a Block, Reserves, and a Street, the same being accurately set forth in the accompanying plat and described herein:

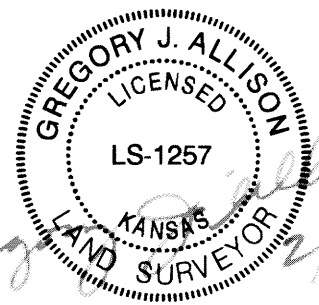
A tract of land lying within the Southeast Quarter of the Southeast Quarter, of Section 9, Township 27 South, Range 2 East, Wichita, Sedgwick County, Kansas, said tract being more particularly described as follows:

COMMENCING at the southeast corner of said Southeast Quarter, thence along the east line of on a Kansas coordinate system on N00°48'07"W, 296.08 feet; thence S89°11'53"W, 68.09 feet to the northeast corner of Lot 1, Block 1, Home Bank & Trust Addition, an addition to Wichita, Sedgwick County, Kansas, being the POINT OF BEGINNING, thence along the north line of said Lot 1, S88°53'46"W, 222.39 feet to the northwest corner of said Lot 1; thence N06°27'22"W, 78.97 feet to a point on a non-tangent curve to the right, thence along the said non-tangent curve 459.61 feet to a curve to the left, said curve to the right having a central angle of 13°23'16", a radius of 1967.00 feet, and a long chord distance of 458.57 feet, bearing S86°54'17"W; thence along the said curve to the left 367.21 feet to a curve to the left, said curve having a central angle of 21°22'54", a radius of 984.00 feet, and a long chord distance of 365.08 feet, bearing S82°54'28"W; thence along the said curve to the left 97.58 feet to a non-tangent curve to the left, said curve to the left having a central angle of 48°22'16", a radius of 90.00 feet, and a long chord distance of 73.74 feet, bearing S48°01'53"W; thence along the said right-of-way line and said non-tangent curve to the left, 97.58 feet to a non-tangent curve to the left, said curve to the left having a central angle of 86°40'51", a radius of 64.50 feet, and a long chord distance of 88.54 feet, bearing N19°29'41"W; thence along the said non-tangent curve 71.12 feet to a point on a curve to the right, said non-tangent curve to the left having a central angle of 45°16'35", a radius of 90.00 feet, and a long chord distance of 69.28 feet, bearing S85°28'23"E; thence along the said curve to the right 384.97 feet, said curve having a central angle of 21°42'36", a radius of 1016.00 feet, and a long chord distance of 382.67 feet, bearing N82°44'37"E; thence parallel with and 754.00 feet west of the east line of said Southeast Quarter, N00°48'07"W, 383.98 feet; thence parallel with and 775.00 feet north of the south line of said Southeast Quarter, S88°53'46"W, 479.32 feet; thence S00°54'24"E, 70.00 feet to the northeast corner of Greenwich Office Park Second Addition, an addition to Wichita, Sedgwick County, Kansas; thence along the north line of said Greenwich Office Park Second Addition, S88°53'46"W, 75.00 feet to the southeast corner of The Waterfront Residential Addition, an addition to Wichita, Sedgwick County, Kansas; thence along the east line of said The Waterfront Residential Addition, N00°54'24"W, 625.59 feet to the north line of said Southeast Quarter of said Southeast Quarter; thence along said north line, N88°54'31"E, 1249.35 feet to the west line right-of-way line of Greenwich Road as recorded DOC.#/FLM-PG: 28739050 and 28739049; thence along said west right-of-way line, S00°48'07"E, 980.01 feet; thence continuing along said west right-of-way line, S07°43'43"W, 54.53 feet to the POINT OF BEGINNING. CONTAINING: 1,016,658 square feet or 23.34 acres of land, more or less.

All reserves, streets, easements, rights-of-ways, building setbacks, and access controls, a Utility Easement recorded on DOC.#/FLM-PG:28756001, together with all other public dedications within the above described property, are hereby vacated and replatted by virtue of K.S.A. 12-512(b).

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 14th day of February, 2011.

Gregory J. Allison, PE, LS #1257
MKEC Engineering Consultants, Inc.
411 North Webb Road
Wichita, Kansas 67206



OWNER'S CERTIFICATE

Know all men by these presents that the undersigned property owner of the land above set forth in the Registered Land Surveyor's Certificate, has caused the same to be surveyed and platted into Lots, a Block, Reserves, and a Street the same to be known as "BERKELEY SQUARE FIRST ADDITION," an addition to Wichita, Sedgwick County, Kansas.

Easements for the construction and maintenance of public utilities and drainage, as indicated on the accompanying plat are hereby granted to the public.

The streets are hereby dedicated to and for the use of the public.

All abutters rights of access to or from Greenwich Road over and across the east line of "BERKELEY SQUARE FIRST ADDITION," are hereby granted to the appropriate governing body, as indicated hereon.

Reserves "A", "B", and "C" are platted for landscaping, irrigation, berming, monuments, signs, and utilities confined by easement(s) or rights-of-way. Reserve "C" is also platted for drainage. The Reserves shall be owned and maintained by the owner(s) of Lots 1, 2, 3 and 4, Block 1, and/or their successors, assigns, and/or a Lot Owner's Association.

A drainage plan has been developed for this plat. All drainage easements, right-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of storm water.

Greenwich 13, L.L.C., a Kansas limited liability company

George E. Laham, II, manager
Laham Development Company, L.L.C., a Kansas limited liability company,
manager of Greenwich 13, L.L.C.

STATE OF KANSAS, SEDGWICK COUNTY) ss:

This instrument was acknowledged before me on 14th day of February, 2011, by George E. Laham, II, manager of Laham Development Company, L.L.C., a Kansas limited liability company, which is the manager of Greenwich 13, L.L.C., a Kansas limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.



MORTGAGE CERTIFICATE

INTRUST Bank, N.A. holder of a mortgage on a portion of the above described property, does hereby consent to the plat of "BERKELEY SQUARE FIRST ADDITION."

INTRUST Bank, N.A.

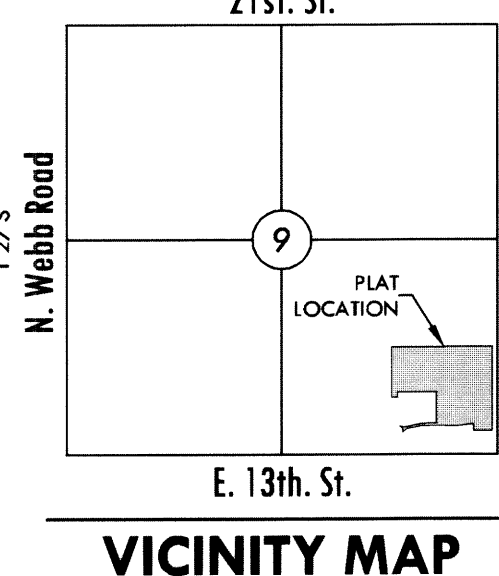
Gary D. Schmitt, Executive Vice President
Gary D. Schmitt, Executive Vice President

This instrument was acknowledged before me on this 4th day of February, 2011, by Gary D. Schmitt, Executive Vice President, INTRUST Bank, N.A.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

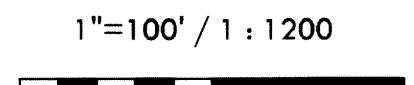


Susan K. Cook, Notary Public
My Term Expires: 11/3/12



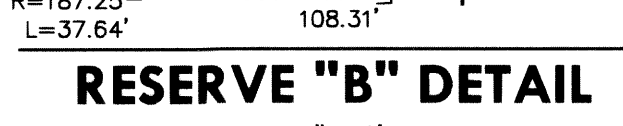
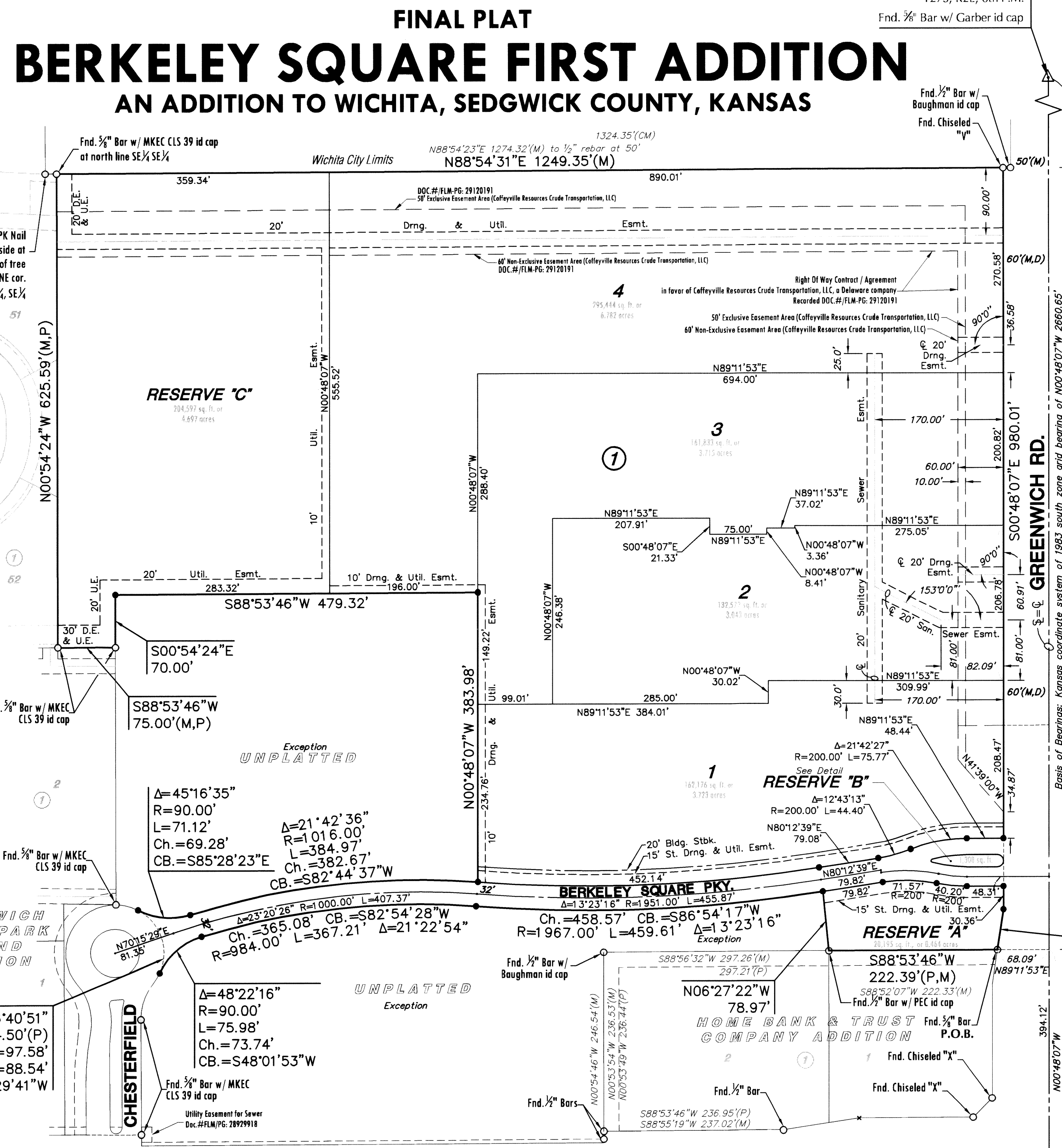
ACCESS CONTROLS NOTE

Greenwich Road - Access points for the Lots shall be placed accordingly: The minimum distance between full turning movement drives shall be 400'. The minimum distance between a right-in/right-out drive and either another right-in/right-out drive or a full movement drive shall be 200'.



Basis of Bearing: Kansas coordinate system of 1983 south zone grid bearing of N00°48'07"W along the E. line of the SE 1/4, Sec. 9, T27S, R2E, 6th P.M.

This plat is surveyed and platted on NAD83 using Kansas state plane south zone coordinates, modified to the surface, having a combined adjustment scale factor of 1.000120014401728



LEGEND

- Delta symbol = Section corner monument found
Circle with dot = Found 3/8" rebar w/ MKEC CLS 39 id. cap unless otherwise annotated
Circle with dot and line = Set 3/8" rebar w/ MKEC CLS 39 id. cap
(M) = Measured
(CM) = Calculated from measured
(P) = Platted
(D) = Described
U.E. = Utility Easement
D.E. = Drainage Easement

FINAL PLAT BERKELEY SQUARE FIRST ADDITION AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

PLANNING COMMISSION CERTIFICATE

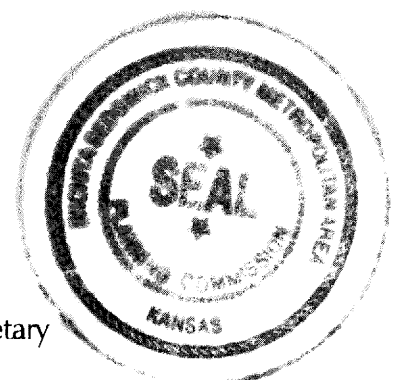
This plat of "BERKELEY SQUARE FIRST ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 6th day of January, 2011

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

Debra Miller Stevens, Chair

John L. Schlegel, Secretary



GOVERNING BODY CERTIFICATE

The dedications shown on this plat are hereby accepted and this plat is hereby approved by the governing body of the City of Wichita, Kansas.

Dated this 8th day of March, 2011

At the direction of the City Council.

Carl Brewer, Mayor
Karen Sublett, City Clerk

TRANSFER RECORD

STATE OF KANSAS, SEDGWICK COUNTY) ss: Entered on transfer record this 20 day of June, 2011

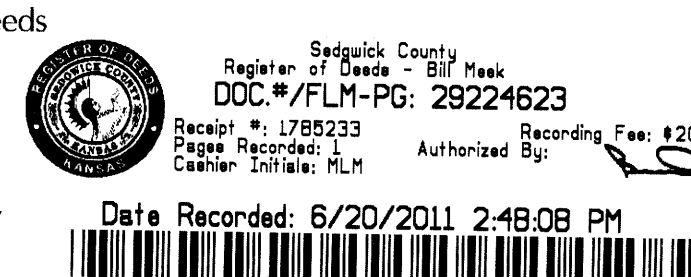
Kelly B. Arnold, County Clerk



REGISTER OF DEEDS CERTIFICATE

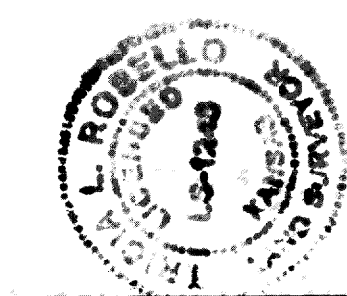
STATE OF KANSAS, SEDGWICK COUNTY) ss: This is to certify that this instrument was filed for record in the Register of Deeds office this 20th day of June, 2011, at 2:48:01 o'clock P.M. and is duly recorded.

Bill Meek, Register of Deeds
Tonya E. Buckingham, Deputy



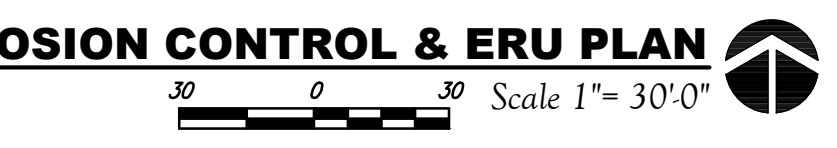
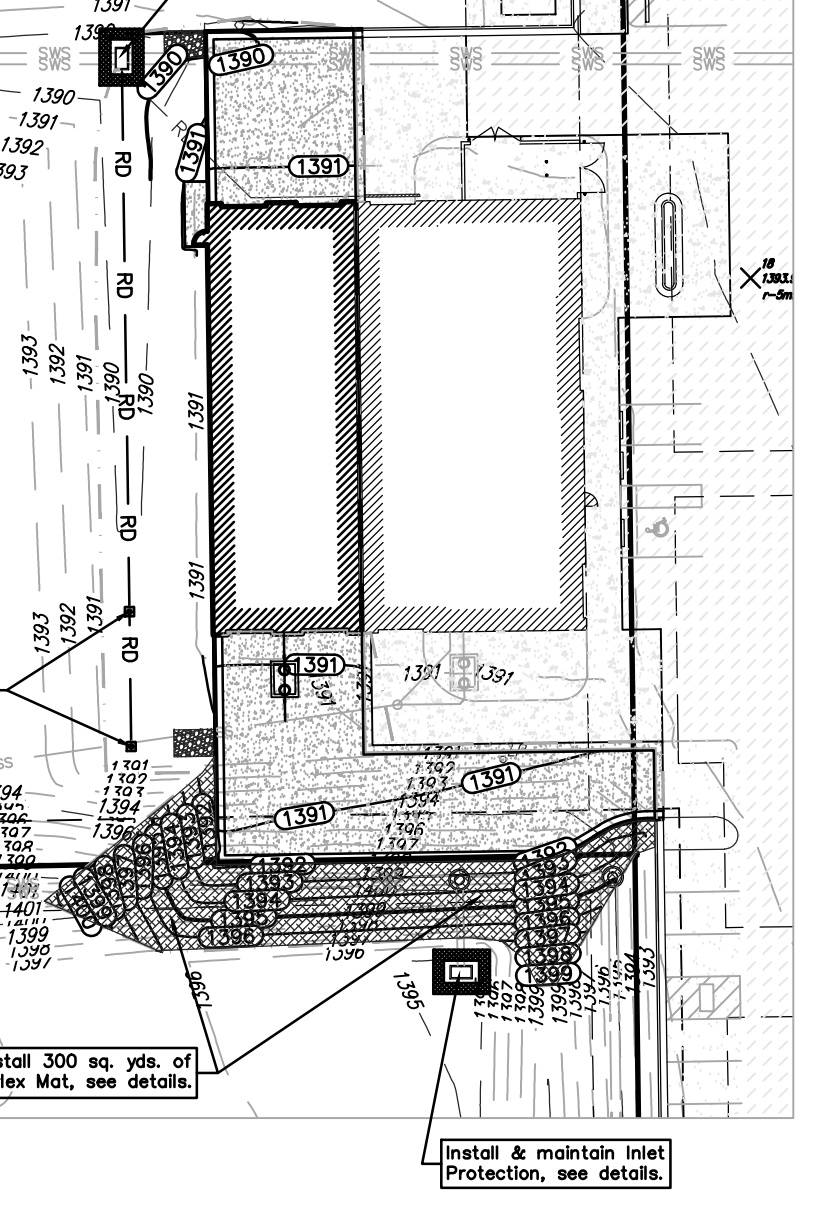
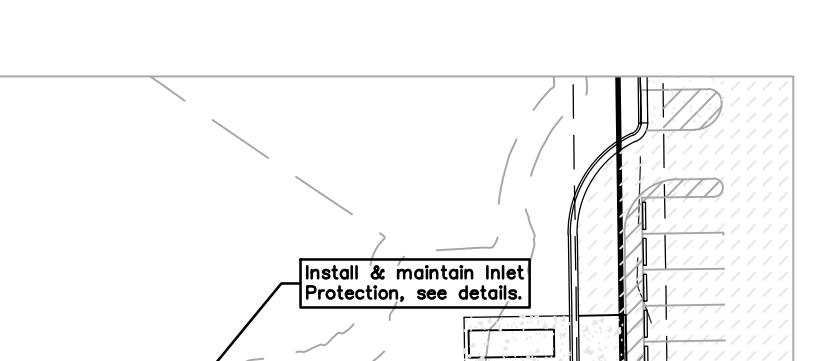
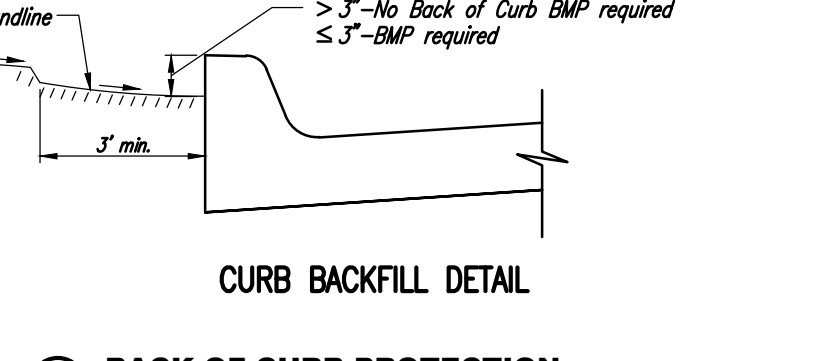
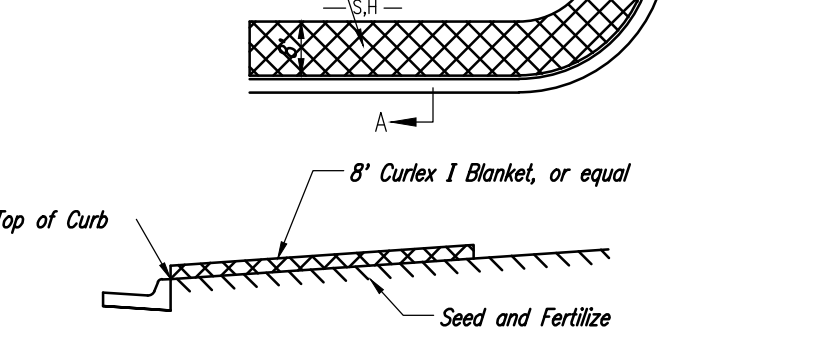
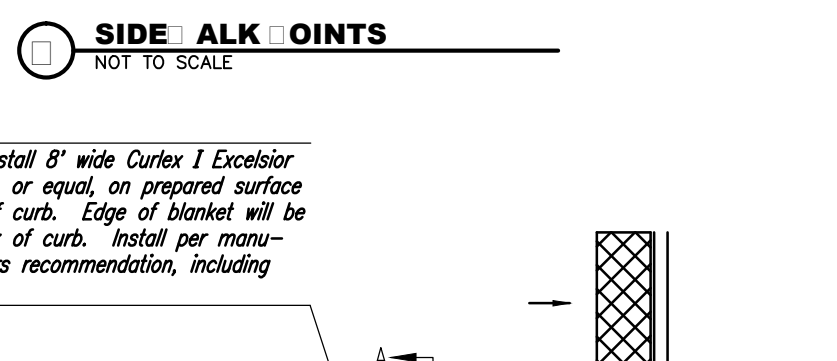
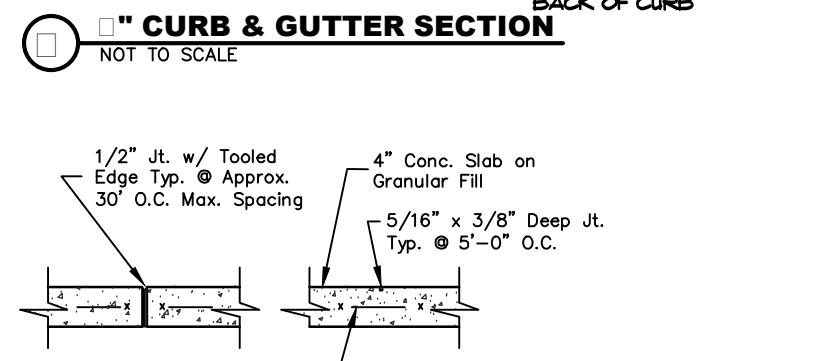
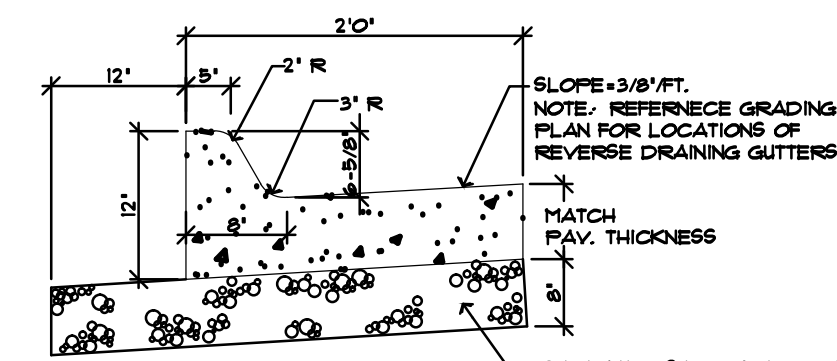
COUNTY SURVEYOR

STATE OF KANSAS, SEDGWICK COUNTY) ss: Reviewed in accordance with K.S.A. 58-2005 on this ___ day of ___, 2011.



Tricia L. Robello, Deputy County Surveyor

04 of 04 MKEC ENGINEERING CONSULTANTS, INC. 411 N. WEBB ROAD WICHITA, KS. 67206 316-684-9600



SITE ERU INFO.

Total Lot Area: 295,444 sq. ft. (±6.78 acres)

Disturbed Area: 32,652 sq. ft. (±0.75 acres)

Existing Imperv. Area: 70,985 sq. ft. (±1.63 acres)

Added Imperv. Area: 7,649 sq. ft. (±0.18 acres)

Net Impervious Area: 78,634 sq. ft. (±1.81 acres)

Pervious Area: ±216,810 sq. ft.

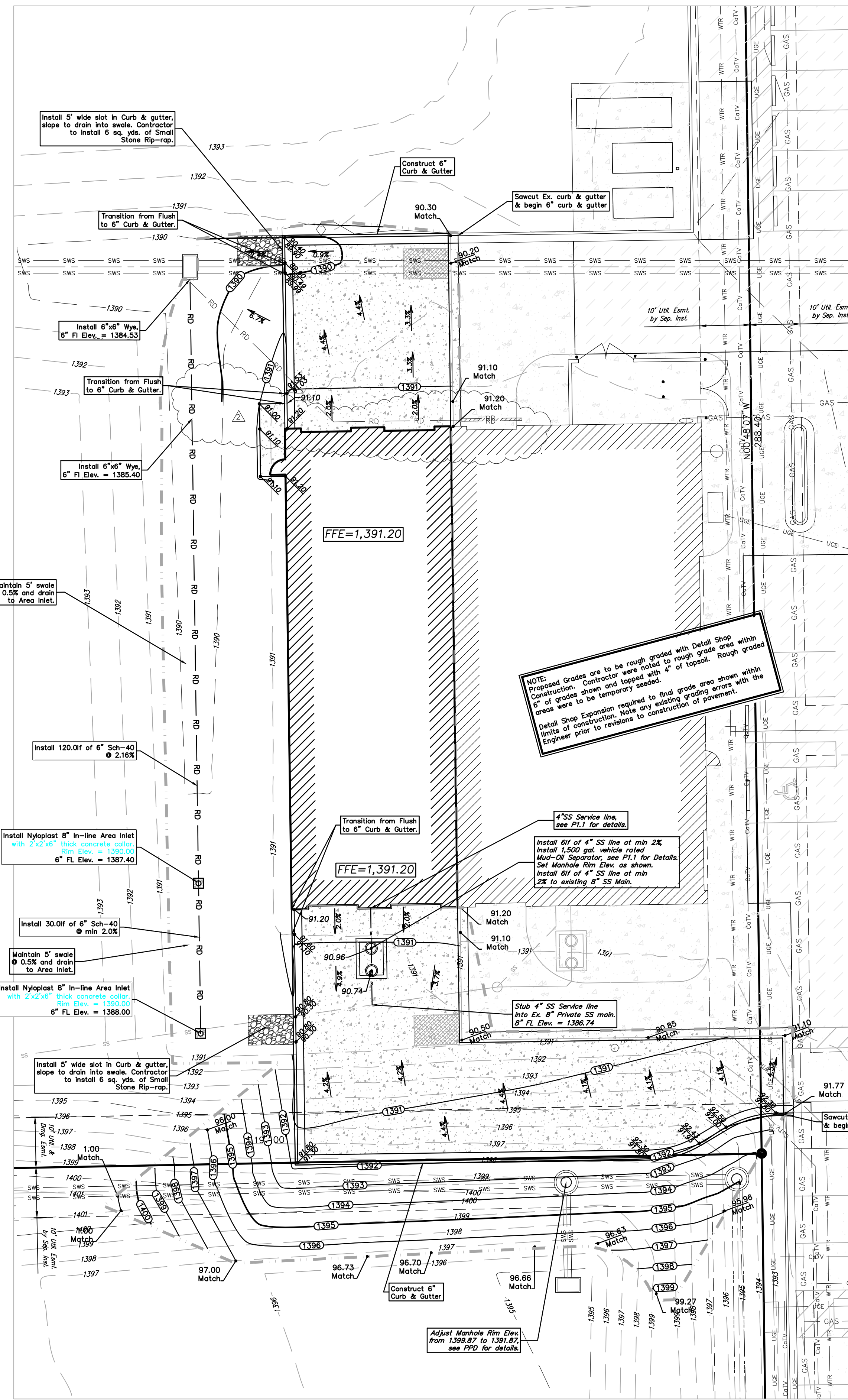
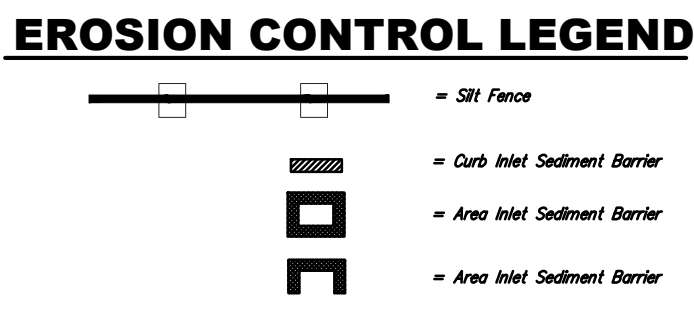
Stormwater Compliance:

Downstream Channel Protection Per the Berkeley Square First Addition Drainage Plan, a portion of this site is to drain into an Extended Detention Basin located in Reserve B, with a portion of site draining into an existing Bioswale and storm sewer system. See 0011PPD & 0126PPD for existing stormwater systems.

Water Quality Requirements The proposed East Site will drain into the existing Infiltration Swale per the 0011PPD design standards. The proposed West Site will drain into the existing extended Detention Basin. The existing stormwater system, 0126PPD, has been designed to treat the proposed runoff in addition to the existing impervious area developed.

These improvements have been developed to satisfy Section 16.32 of the City Code.

- EROSION CONTROL NOTES:**
- No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction per this plan and City specs (See #11).
 - All exposed areas shall be seeded as specified within 21 days of final GRADING.
 - Should construction stop for longer than 14 days, the site shall be seeded as specified.
 - Maintain erosion control measures after each rain and at least once a week.
 - This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
 - Contractor shall comply with all state and local ordinances that apply.
 - Additional erosion and sediment control measures will be installed if deemed necessary by an site inspection.
 - Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
 - If installation of storm drainage system shall be interrupted by weather or nighttime, the pipe ends shall be covered with filter fabric.
 - See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
 - This SWP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded by governing authorities. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
 - ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
 - An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.



BENCHMARK

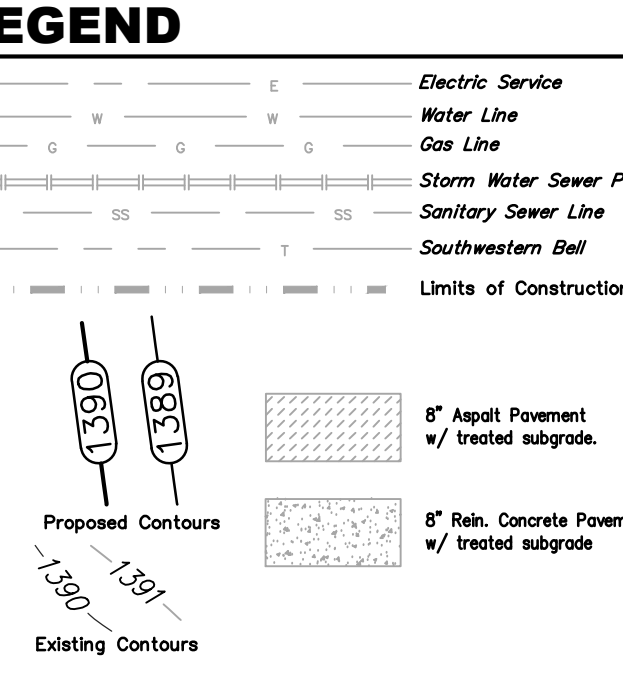
SITE BENCHMARK-1
"C" out in west edge of catch basin.
Elevation=1391.56 (NAVD 88)

SITE BENCHMARK-2
"C" out in west edge of sidewalk.
Elevation=1375.60 (NAVD 88)

LEGAL DESCRIPTION

Proposed Plan not recorded at this time.
Lots 3 & 4, Block 1, Berkeley Square First Addition, Wichita, Kansas

- GRADING NOTES**
- Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
 - The Contractor must notify the following in case of an emergency:
Kansas Gas Service (Gas).....1-888-482-4950
Aquila Energy (Gas).....1-800-303-0357
Western Energy (Electric).....383-8650
Cox Communications (Cablevision).....282-4270
AT&T (Phone).....288-2759
City of Wichita Water Dept. (Water).....288-4563
City of Wichita Sewer Maint.(San. Sewer) or 288-4808 or 288-6224
City of Wichita Storm Sewer Maint. (Storm Sewer).....288-6000
City of Wich Traffic Maint.(Tranf. Control).....288-4034
Conoco Pipeline Co. (Petroleum).....1-800-231-2551
Williams Pipeline Co. (Petroleum).....529-6600 or 1-800-324-9696
Phillips Pipeline Co. (Petroleum).....1-800-768-8230
 - Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
 - Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
 - The Contractor shall verify all utility locations prior to construction of this project.
 - Refer to Erosion Control Plan & PPD for Treatment of All Disturbed Areas.
 - Signaling and striping shall be installed in accordance with Local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
 - Paved Lot to be constructed with Paving as shown. Subgrade to be compacted to 98% Standard Proctor Density and treated with 4 to 8 percent lime or 14 to 16 percent class "C" fly ash. Refer to pavement details to verify depths and Paving types. See site specific Geotechnical Report for Pavement and subgrade requirements and options.
 - Proposed storm water sewer shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Project Drainage". The storm sewer system and corresponding drainage systems shall be designed separately, and undergo Local City review and approval. The installation of the storm sewer is required to be done by a bonded contractor, inspected and certified. Refer to Separate Private Drainage Plan Set. The Contractor shall construct the sewer only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
 - The Contractor shall notify adjacent landowners prior to proceeding with any construction work on landowner's property.
 - Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%). Notify Landscape Architect of any discrepancies prior to forming of walks.
 - 6" Curb & Gutter are to be constructed typically 4" Curb & Gutter is to be constructed at the front of all parking stalls with adjacent curbing as noted on the Grading plan.
 - Proposed Grades are to be rough graded with Mercedes of Wichita Contractor. Contractor were noted to rough grade area within 6" of grades shown and topped with 4" of topsoil. Rough graded areas are to be temporary seeded. Detail Shop Contractor required to find grade area shown within limits of construction and note any existing grading errors or revisions with the Engineer prior to construction of pavement.



DATE DRAWN
03/14/14

REVISIONS

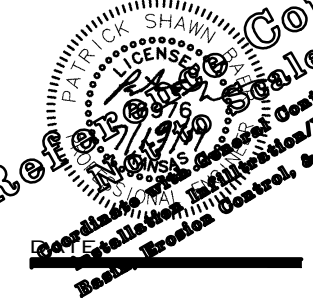


Baughman Company, P.A.
311 E. 11th, Wichita, KS 67211
714.211.2111 F: 714.262.0149
E: info@baughman.com
1400 W. 11th St., Suite 100
Wichita, KS 67203
P: 316.267.8566
F: 316.267.8566

PROJ. NO. 1401-001
PRINTS ISSUED
FOR PERMIT 7-11-14
MABCD Comments 8-28-14



1300 E. 14th
Wichita, KS 67211
316.267.8233
316.267.8566 fax
krehbielarchitecture.com



Baughman Company, P.A.
311 E. 11th St., Wichita, KS 67211 P: 316.267.8237 F: 316.262.0149
www.baughman.com
Approved Job: 1401-001-001
Date: 03/14/14
File: E:\Projects\1401-001-001\1401-001-001.dwg

**EXPANSION TO:
CAR WASH / DETAIL SHOP**
1551 N. GREENWICH ROAD
WICHITA, KANSAS

PROJECT NO.
14016

SHEET TITLE
**GRADING
BMP & ERU PLAN**

SHEET NO.
C-1

Copyright 2012 Krehbiel Architecture

Lot 4, Block 1, Berkeley Square First Addition
R. J. Ruppel
BMP & ERU PLAN
Storm Water Drain Improvements

REVISIONS
SHEET

CERTIFICATE OF SURVEY

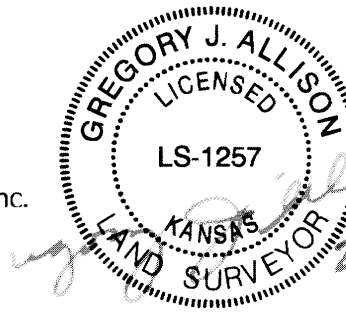
I, Gregory J. Allison, a registered land surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and platting of "BERKELEY SQUARE FIRST ADDITION", an addition to Wichita, Sedgwick County, Kansas, into Lots, a Block, Reserves, and a Street, the same being accurately set forth in the accompanying plat and described herein:

A tract of land lying within the Southeast Quarter of the Southeast Quarter, of Section 9, Township 27 South, Range 2 East, Wichita, Sedgwick County, Kansas, said tract being more particularly described as follows: COMMENCING at the southeast corner of said Southeast Quarter, thence along the east line of on a Kansas coordinate system on N00°48'07"W, 296.08 feet; thence S89°11'53"W, 68.09 feet to the northeast corner of Lot 1, Block 1, Home Bank & Trust Addition, an addition to Wichita, Sedgwick County, Kansas, being the POINT OF BEGINNING, thence along the north line of said Lot 1, S88°53'46"W, 222.39 feet to the northwest corner of said Lot 1; thence N06°27'22"W, 78.97 feet to a point on a non-tangent curve to the right; thence along the said non-tangent curve 459.61 feet to a curve to the left, said curve to the right having a central angle of 13°23'16", a radius of 1967.00 feet, and a long chord distance of 458.57 feet, bearing S86°54'17"W; thence along the said curve to the left 367.21 feet to a curve to the left, said curve having a central angle of 21°22'54", a radius of 984.00 feet, and a long chord distance of 365.08 feet, bearing S82°54'28"W; thence along the said curve to the left 75.98 feet to the east right-of-way line of Chesterfield, being a point on a non-tangent curve to the left, said curve having a central angle of 48°22'16", a radius of 90.00 feet, and a long chord distance of 73.74 feet, bearing S48°01'53"W; thence along the said right-of-way line and said non-tangent curve to the left, 97.58 feet to a non-tangent curve to the left, said curve to the left having a central angle of 86°40'51", a radius of 64.50 feet, and a long chord distance of 88.54 feet, bearing N19°29'41"W; thence along the said non-tangent curve to the left having a central angle of 45°16'35", a radius of 90.00 feet, and a long chord distance of 71.12 feet to a point on a curve to the right, said non-tangent curve to the left having a central angle of 21°22'54", a radius of 984.00 feet, and a long chord distance of 365.08 feet, bearing S82°54'28"W; thence parallel with and 754.00 feet west of the east line of said Southeast Quarter, N00°48'07"W, 383.98 feet; thence parallel with and 775.00 feet north of the south line of said Southeast Quarter, S88°53'46"W, 479.32 feet; thence S00°54'24"E, 70.00 feet to the northeast corner of Greenwich Office Park Second Addition, an addition to Wichita, Sedgwick County, Kansas; thence along the north line of said Greenwich Office Park Second Addition, S88°53'46"W, 75.00 feet to the southeast corner of The Waterfront Residential Addition, an addition to Wichita, Sedgwick County, Kansas; thence along the east line of said The Waterfront Residential Addition, N00°54'24"W, 625.59 feet to the north line of said Southeast Quarter of said Southeast Quarter; thence along said north line, N88°54'31"E, 1249.35 feet to the west line right-of-way line of Greenwich Road as recorded DOC.#/FLM-PG: 28739050 and 28739049; thence along said west right-of-way line, S00°48'07"E, 980.01 feet; thence continuing along said west right-of-way line, S07°43'43"W, 54.53 feet to the POINT OF BEGINNING. CONTAINING: 1,016,658 square feet or 23.34 acres of land, more or less.

All reserves, streets, easements, rights-of-ways, building setbacks, and access controls, a Utility Easement recorded on DOC.#FLM/PG:28756001, together with all other public dedications within the above described property, are hereby vacated and replatted by virtue of K.S.A. 12-512(b).

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 4th day of February, 2011.

Gregory J. Allison, PE, LS #1257
MKEC Engineering Consultants, Inc.
411 North Webb Road
Wichita, Kansas 67206



OWNER'S CERTIFICATE

Know all men by these presents that the undersigned property owner of the land above set forth in the Registered Land Surveyor's Certificate, has caused the same to be surveyed and platted into Lots, a Block, Reserves, and a Street the same to be known as "BERKELEY SQUARE FIRST ADDITION," an addition to Wichita, Sedgwick County, Kansas.

Easements for the construction and maintenance of public utilities and drainage, as indicated on the accompanying plat are hereby granted to the public.

The streets are hereby dedicated to and for the use of the public.

All abutters rights of access to or from Greenwich Road over and across the east line of "BERKELEY SQUARE FIRST ADDITION," are hereby granted to the appropriate governing body, as indicated hereon.

Reserves "A", "B", and "C" are platted for landscaping, irrigation, berming, monuments, signs, and utilities confined by easement(s) or rights-of-way. Reserve "C" is also platted for drainage. The Reserves shall be owned and maintained by the owner(s) of Lots 1, 2, 3 and 4, Block 1, and/or their successors, assigns, and/or a Lot Owner's Association.

A drainage plan has been developed for this plat. All drainage easements, right-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of storm water.

Greenwich 13, L.L.C., a Kansas limited liability company

George E. Laham, II, manager
Laham Development Company, L.L.C., a Kansas limited liability company,
manager of Greenwich 13, L.L.C.

STATE OF KANSAS, SEDGWICK COUNTY) ss:

This instrument was acknowledged before me on 7th day of February, 2011, by George E. Laham, II, manager of Laham Development Company, L.L.C., a Kansas limited liability company, which is the manager of Greenwich 13, L.L.C., a Kansas limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

Notary Public: My Term Expires: 1/2/12

MORTGAGE CERTIFICATE

INTRUST Bank, N.A. holder of a mortgage on a portion of the above described property, does hereby consent to the plat of "BERKELEY SQUARE FIRST ADDITION."

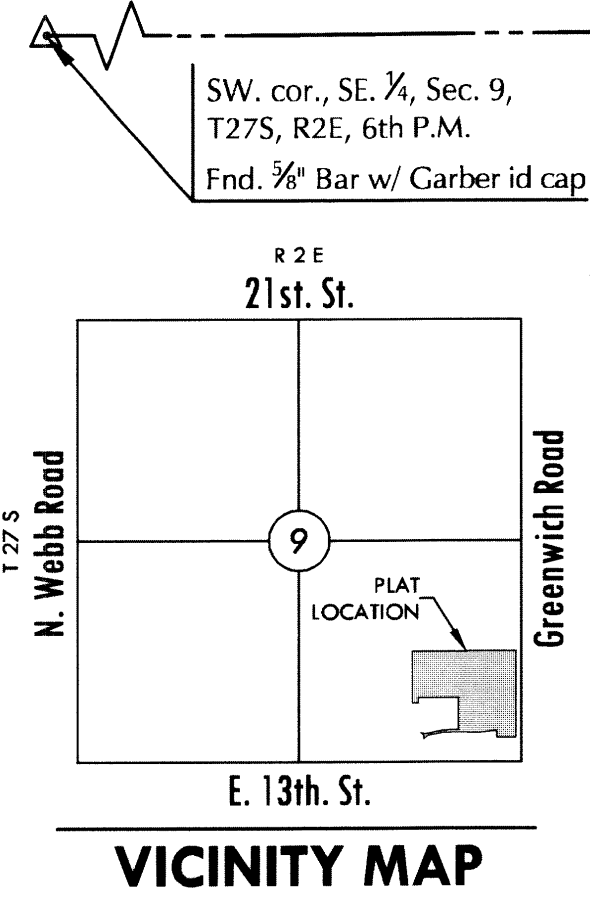
INTRUST Bank, N.A.
Gary D. Schmitt, Executive Vice President

This instrument was acknowledged before me on this 4th day of February, 2011, by Gary D. Schmitt, Executive Vice President, INTRUST Bank, N.A.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

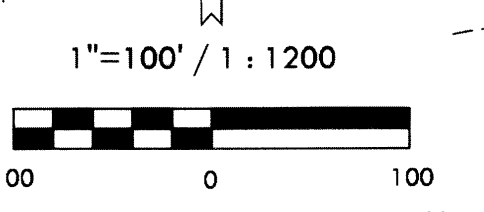
SUSAN K. COOK
Notary Public - State of Kansas
My Term Expires: 11/3/12

Notary Public: My Term Expires: 11/3/12



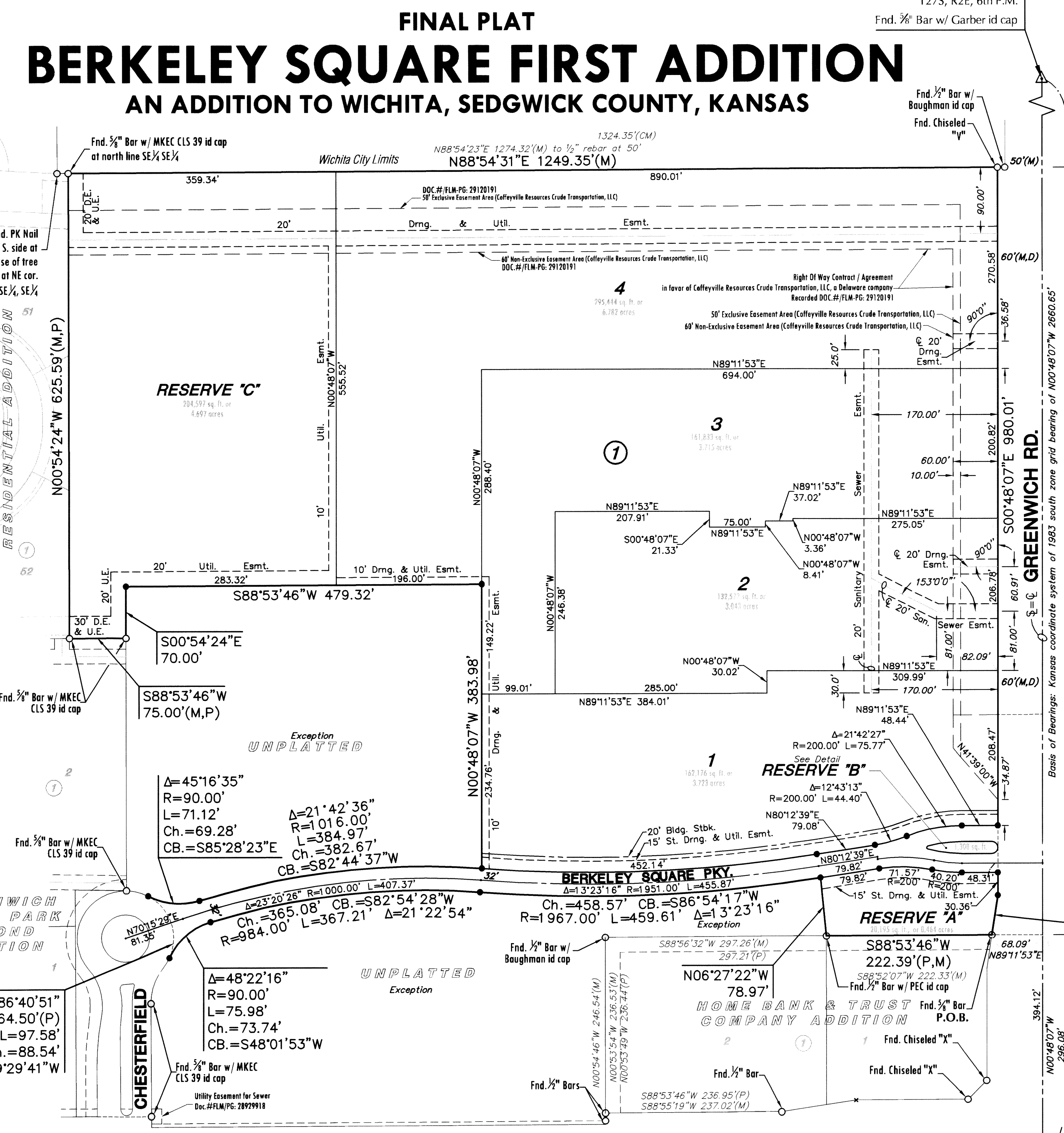
ACCESS CONTROLS NOTE

Greenwich Road - Access points for the Lots shall be placed accordingly: The minimum distance between full turning movement drives shall be 400'. The minimum distance between a right-in/right-out drive and either another right-in/right-out drive or a full movement drive shall be 200'.



Basis of Bearing: Kansas coordinate system of 1983 south zone grid bearing of N00°48'07"W along the E. line of the SE 1/4, Sec. 9, T27S, R2E, 6th P.M.

This plat is surveyed and platted on NAD88 using Kansas state plane south zone coordinates, modified to the surface, having a combined adjustment scale factor of 1.000120014401728



FINAL PLAT

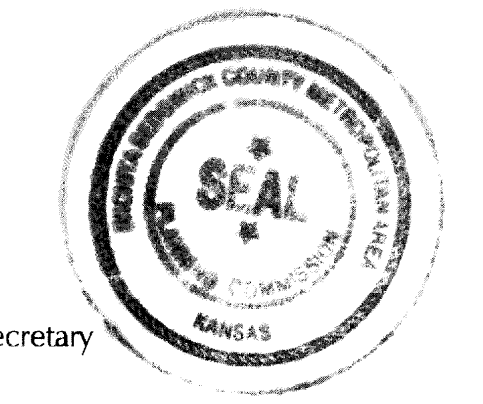
BERKELEY SQUARE FIRST ADDITION
AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

PLANNING COMMISSION CERTIFICATE

This plat of "BERKELEY SQUARE FIRST ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 6th day of January, 2011
WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

Debra Miller Stevens, Chair
Debra Miller Stevens, Chair



Attest: John L. Schlegel, Secretary

GOVERNING BODY CERTIFICATE

The dedications shown on this plat are hereby accepted and this plat is hereby approved by the governing body of the City of Wichita, Kansas.

Dated this 8th day of March, 2011

At the direction of the City Council.

Carl Brewer, Mayor

Karen Sublett, City Clerk

TRANSFER RECORD

STATE OF KANSAS, SEDGWICK COUNTY) ss:

Entered on transfer record this 20 day of June, 2011

Kelly B. Arnold, County Clerk



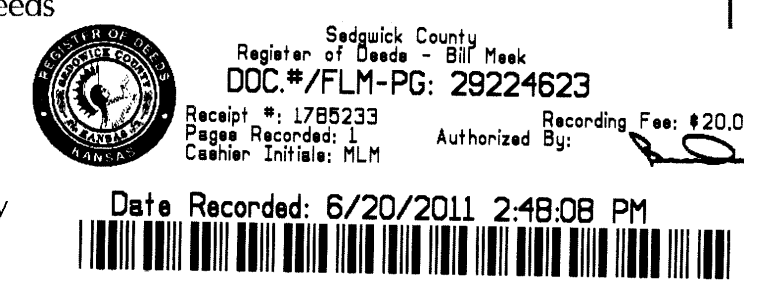
REGISTER OF DEEDS CERTIFICATE

STATE OF KANSAS, SEDGWICK COUNTY) ss:

This is to certify that this instrument was filed for record in the Register of Deeds office this 20th day of June, 2011, at 2:48:01 o'clock PM; and is duly recorded.

Bill Meek, Register of Deeds

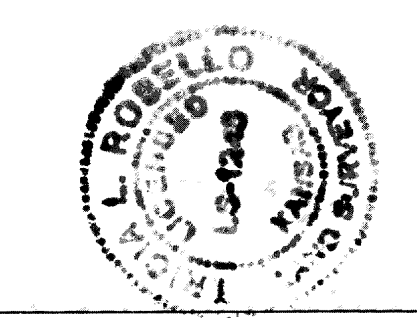
Tonya E. Buckingham, Deputy



COUNTY SURVEYOR

STATE OF KANSAS, SEDGWICK COUNTY) ss:

Reviewed in accordance with K.S.A. 58-2005 on this ___ day of ___, 2011.



Tricia L. Robello, LS #1246
Deputy County Surveyor
Sedgwick County, Kansas

LEGEND

- Delta = Section corner monument found
O = Found 3/8" rebar w/ MKEC CLS 39 id. cap unless otherwise annotated
• = Set 3/8" rebar w/ MKEC CLS 39 id. cap
(M) = Measured
(CM) = Calculated from measured
(P) = Platted
(D) = Described
U.E. = Utility Easement
D.E. = Drainage Easement