

SHEET INDEX:

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 - 4 Lines 3 & Basin 3
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 - 8 Reference Grading Plan/ERU Plan
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 - 10 Plat
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City of Wichita web site.

BENCHMARK

BENCH MARK #1: CHISELED SQUARE ON TOP OF MEDIAN AT THE ENTRANCE OF CASA BELLA ADDITION. ELEVATION = 1354.46 (NAVD88)

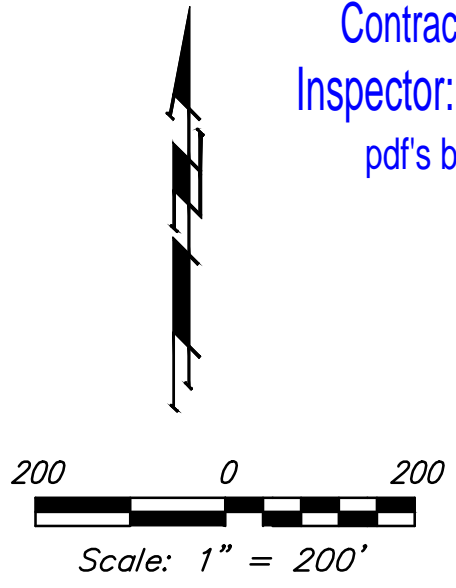
BENCH MARK #2: RAILROAD SPIKE IN WEST FACE OF POWER POLE LOCATED APPROXIMATELY 1185± SOUTH OF THE INTERSECTION OF PAWNEE AND 127TH STREET EAST AND APPROXIMATELY 26± EAST OF THE CENTERLINE OF 127TH STREET EAST. ELEVATION = 1362.34 (NAVD88)

Site ERU Information

Total Area:	±5,376,950 sq. ft. (123.44 acres)
Existing Impervious Area:	0 sq. ft. (±0.00 acres)
Improvements:	4,871,580 sq. ft. (±111.84 acres)
Impervious Area:	74,625 sq. ft. (±1.71 acres)
Building Area:	0 sq. ft. (±0.09 acres)
Pervious Area Disturbed:	4,796,955 sq. ft. (±110.12 acres)
Future Improvements:	
Onsite	
Impervious Area:	1,055,010 sq. ft. (±24.21 acres)
Pervious Area:	3,816,570 sq. ft. (±87.62 acres)
Offsite (Sierra Pointe Addition)	
Impervious Area:	736,990 sq. ft. (±16.92 acres)
Pervious Area:	315,860 sq. ft. (±7.25 acres)

AS BUILT PLANS

Contractor: Unruh Excavating
Inspector: Fred Smith, Baughman Co.
pdf's by: KEK, 2/3/2015



PRIVATE STORM DRAIN IMPROVEMENTS

to serve, Phase ONE of
Southeast High School

Lot 1, Block 1, USD 259 4th Addition
Private Project: 0267 PPD (607861)
CITY OF WICHITA, KANSAS

Gary Janzen, P.E. - City Engineer
September 2014

GENERAL NOTES:

- Contractor will be required to provide notice to utility companies a minimum of forty-eight (48) hours prior to any excavation, as follows:

Kansas One-Call 687-2470

The Contractor must notify the following in case of an emergency:

Cox Communications 262-4270
Kansas Gas Service 1-888-482-4950
Westar Energy 383-8650
Black Hills Energy (Gas) 1-800-303-0357
ATT 268-2245
City of Wichita Water Dept. 268-4563
City of Wichita Sewer Maint. 268-4024
City of Wichita Storm Sewer Maint. 268-4090
City of Wichita Traffic Maint. 268-4034
- Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- All disturbed R/W areas not intended for pavement or sidewalk construction shall be hydroseeded with a Bermuda / Perennial Rye Grass Seed Mix. See Mass Grading specification sheet for seed mixture rate requirements.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- Contractor shall furnish the inspector with a copy of the manufacturer's certification for any pipe used on this project after completion of pipe installation. The engineer will not certify the project to the city until pipe certification has been received.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- All storm sewer lines and appurtenances shall be installed in accordance with the most recent edition of City of Wichita, Kansas Standard Specifications for the Construction of City Projects and special provisions.
- Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Contractor shall not start on the project until all necessary bonds and permits have been obtained. Bonds may include but are not limited to Statutory, Performance & Maintenance. Any work done without inspection will be required to be uncovered for inspection.
- Existing property & control irons are noted on the title sheet are to be used to locate the proposed improvements. The Contractor are not to assume these locations are per the state plan coordinate system.
- Contractor to remove concrete sidewalk to the nearest construction joint if within 3' of joint. Saw cut if over 3' from joint. Removal and replacement of pavement shall not be paid for directly, but shall be considered incidental to other items in the project.
- The Contractor shall be responsible for replacing shown property irons that are damaged or removed during construction. The Contractor shall procure a licensed Land Surveyor to locate and re-install the property iron.
- All Erosion Control measures will comply with City Erosion Control Standards.
- Prior to Completion of Phase 2 of these stormwater project, contractor and/or owner is to preserve or restore basin embankments & Channels. If grading and reseeded is required, type 1 curlex is to be installed.
- The proposed improvements (Detention Basins and outfall structures) are to be privately owned and maintained. The city is not responsible to maintain any part of these improvements.

Stormwater Narrative & Certification

This improvements were prepared in accordance with the current Storm Water Management Regulations as set forth in the City of Wichita's Storm Water Management Ordinance 16.32 and the policies/ guidelines presented in the Wichita/Sedgwick County Storm Water Manual.

Site Area:	6,429,795 sq. ft. (±147.61 acres)
Area Disturbed:	5,376,950 sq. ft. (±123.44 acres)
Prop. Impervious Area:	1,052,845 sq. ft. (±24.17 acres)
Future Onsite Impervious Area:	4,871,580 sq. ft. (±111.84 acres)
Future Offsite Impervious Area*:	74,625 sq. ft. (±1.71 acres)
Future WQv =	261,153 ft ³
Downstream Channel Protection Volume =	602,380 ft ³

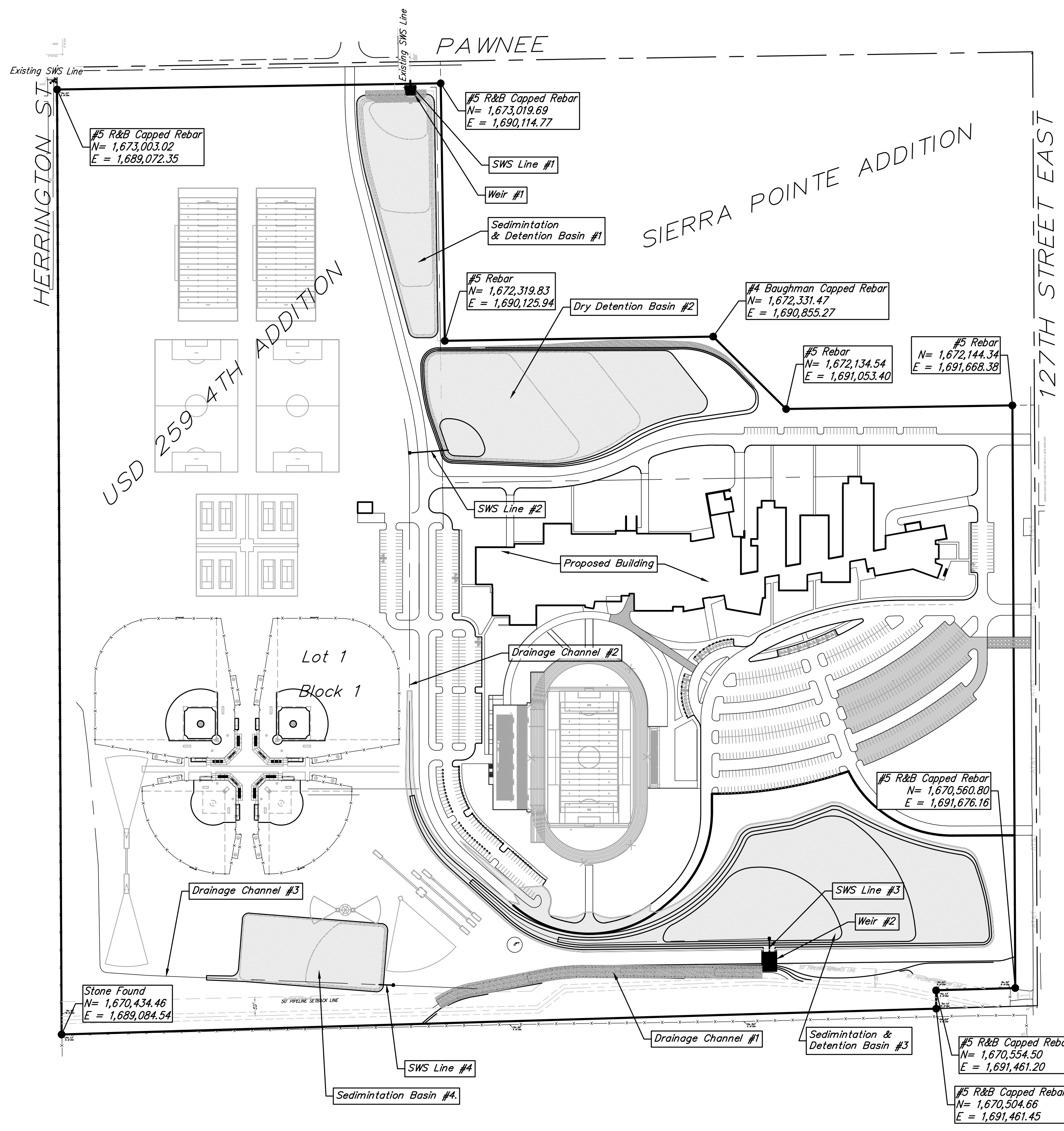
*Detention, Downstream Channel Protection & 60% of Water Quality Requirements for the adjacent 24.17 Acres of Seirra Pointe Addition are included with these improvements. This accounts for a future development including up to 70% impervious area within the disturbed 24.17 acres.

Offsite Conditions: 34.75 acres drain into the site from the West, 143.8 acres drain into the site from the South. These 2 areas and 19.88 acres at the SW corner shall be routed in a protect Channel and routed to the South at the existing outfall area. A portion of Sierra Pointe Addition will drain directly into this site's basins.

Site Detention Requirements: Extended Dry Detention Basins 1 & 3, along with Dry Detention Basin 2. will reduce peak runoff flow rates below existing calculated rates.

Water Quality Requirements: The proposed improvements will address Water quality with the use of Grass Swales and Extended Detention Basins. A supplemental PPD will address local water quality measures for phase 2.

Downstream Channel Protection: Downstream channel protection is to be addressed within Basins 1 & 3.
Basin 1: 113,080 ft³
Basin 3: 489,300 ft³



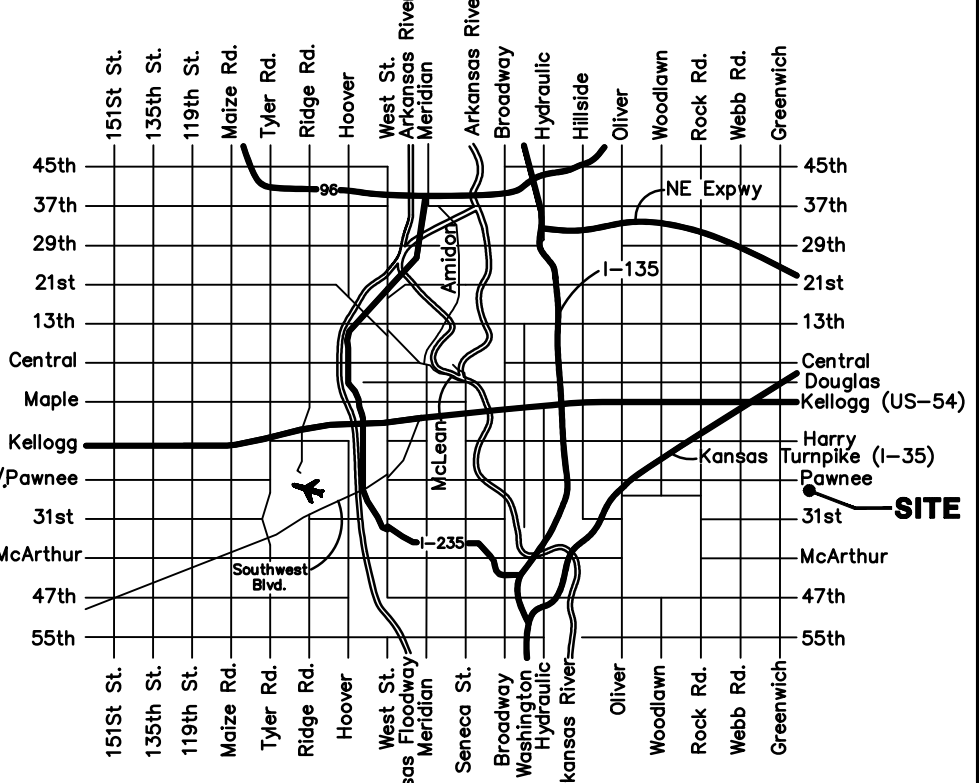
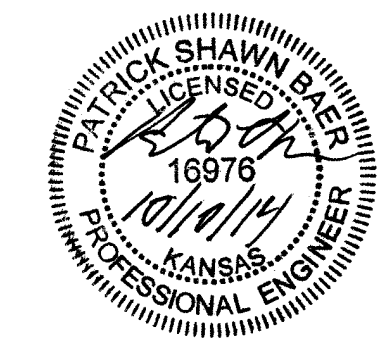
APPROVED AS NOTED
BY CITY ENGINEER OF WICHITA

Engineering *Rebecca Ziel* 10/10/14

Stormwater *SHC/DM* 10/10/14

NOTE TO CONTRACTORS

Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).



VICINITY MAP

Sta. 0+00 SWS Line 2
 N= 1,672,015.20, E= 1,690,033.50
 Begin Line 2 with
 1-12" SDR-35 End Section
 w/ 4'x4'x4" Conc Collar.
 Install 12 s.y. Light Stone
 Rip-Rap.
 12" FL Elev. = 1349.00

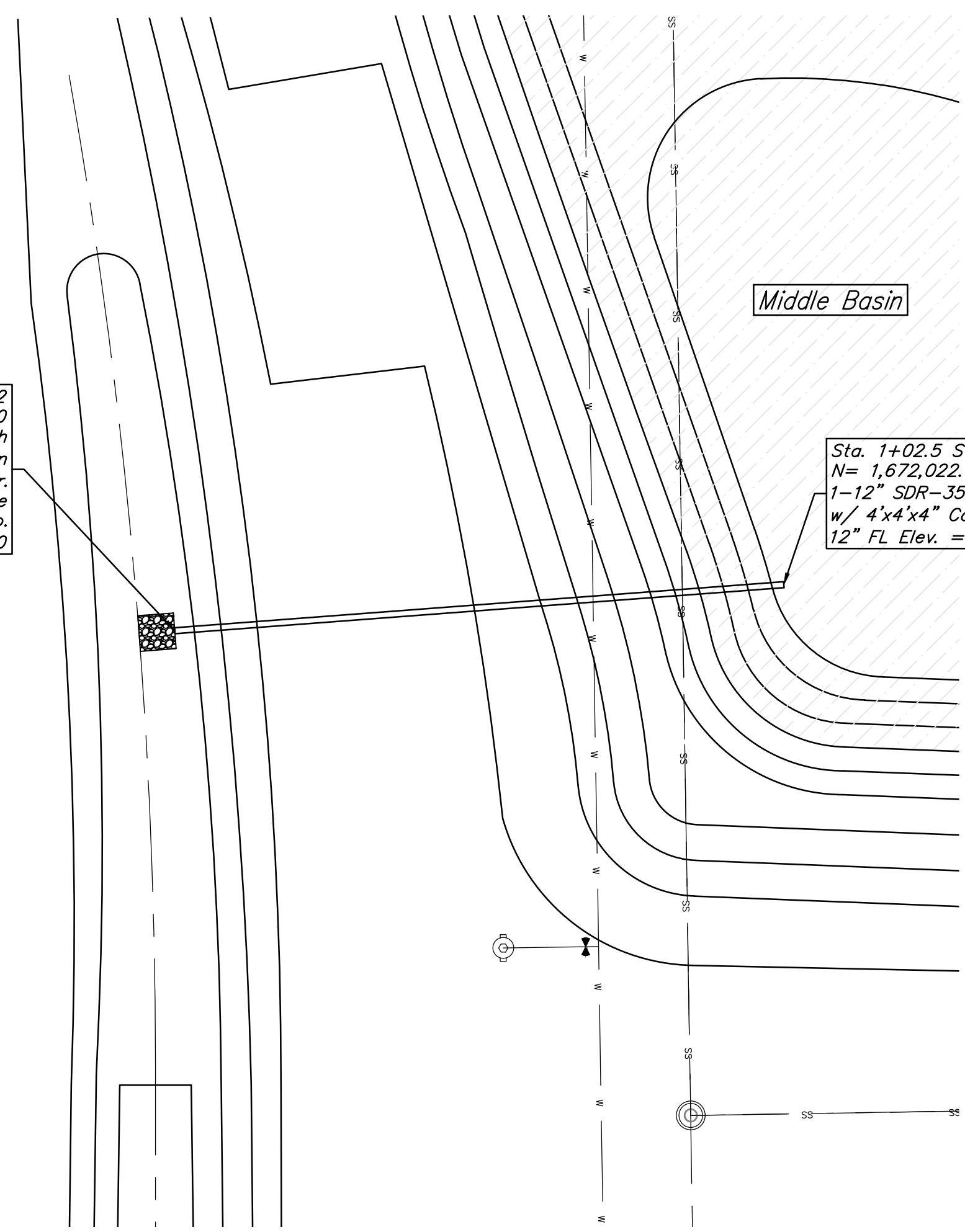
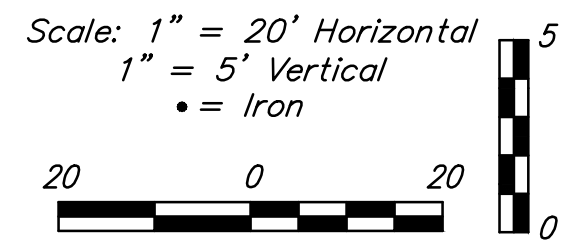
Sta. 1+02.5 SWS Line 2
 N= 1,672,022.94, E= 1,690,135.72
 1-12" SDR-35 End Section
 w/ 4'x4'x4" Concrete Collar
 12" FL Elev. = 1349.50

BENCHMARK

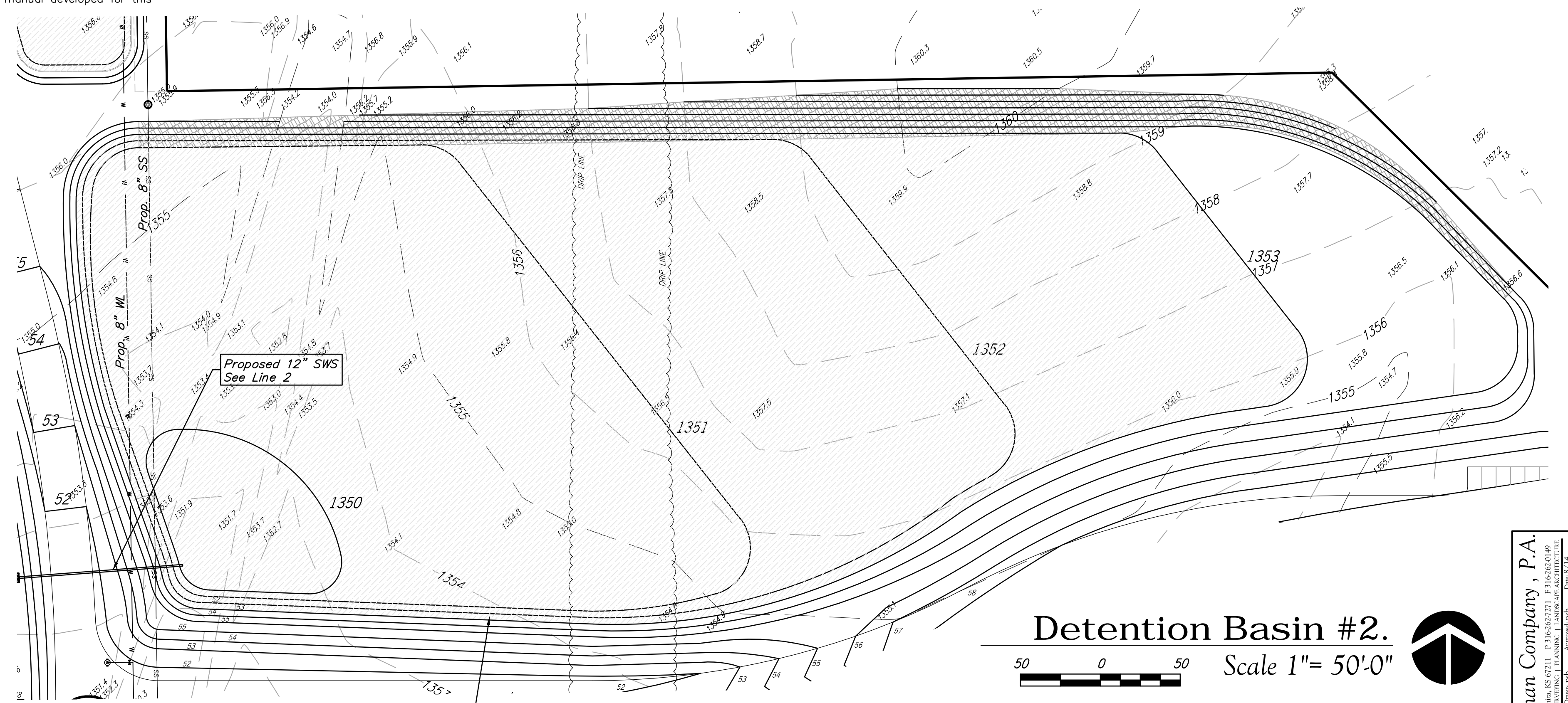
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Note: Stormsewer lines 1, 2, 3, & 4 will be
 a private system. Maintenance and
 inspection will be the owners responsibility,
 see the O&M manual developed for this
 system.

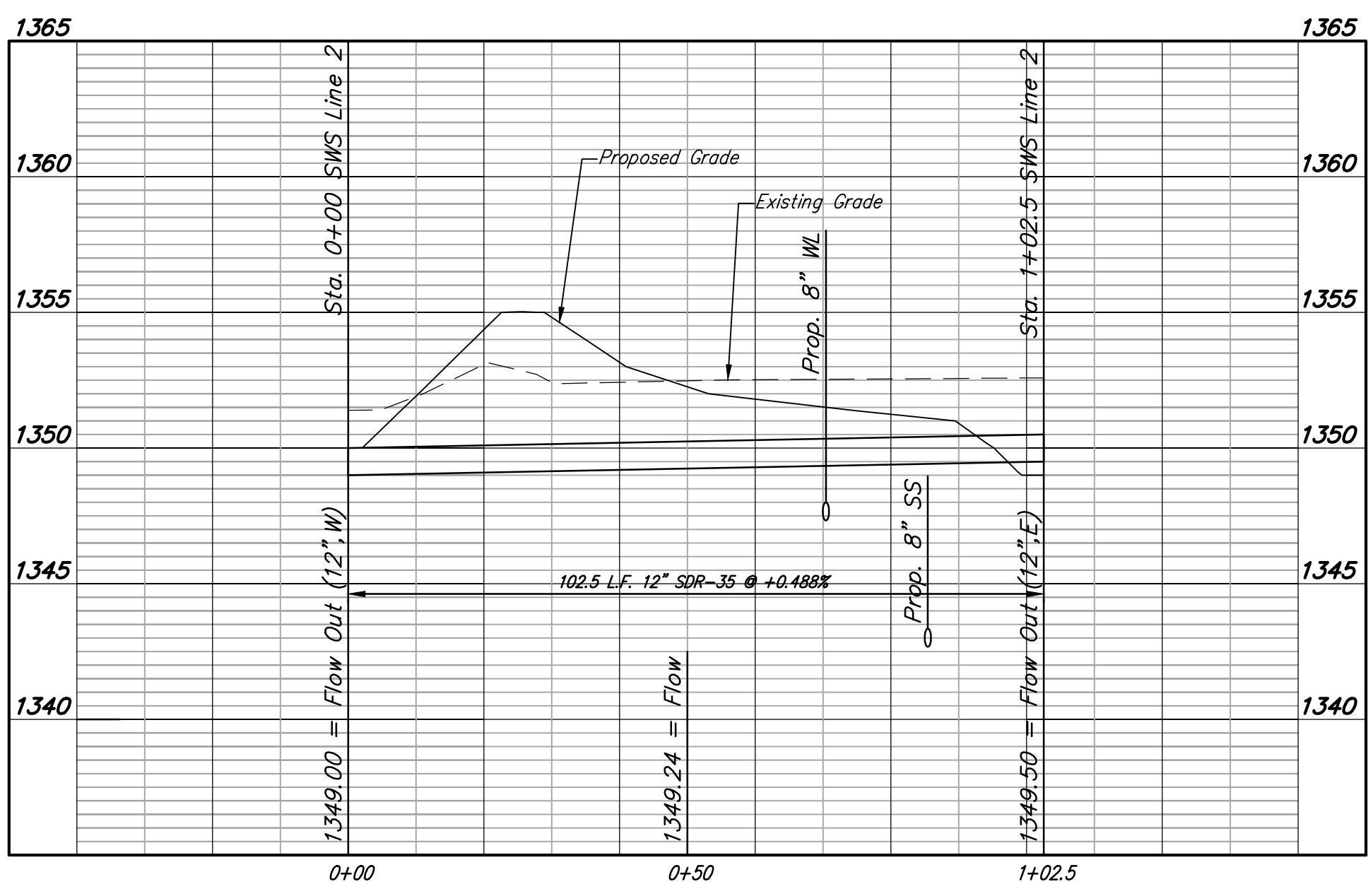


SWS Line 2



Detention Basin #2.
 Scale 1" = 50'-0"

Prior to Completion of Phase 2 PPD,
 contractor and/or owner is to preserve or restore
 basin embankment. If regrading and reseeding
 is required, type 1 curlex is to be installed.



Extended Detention Runoff:

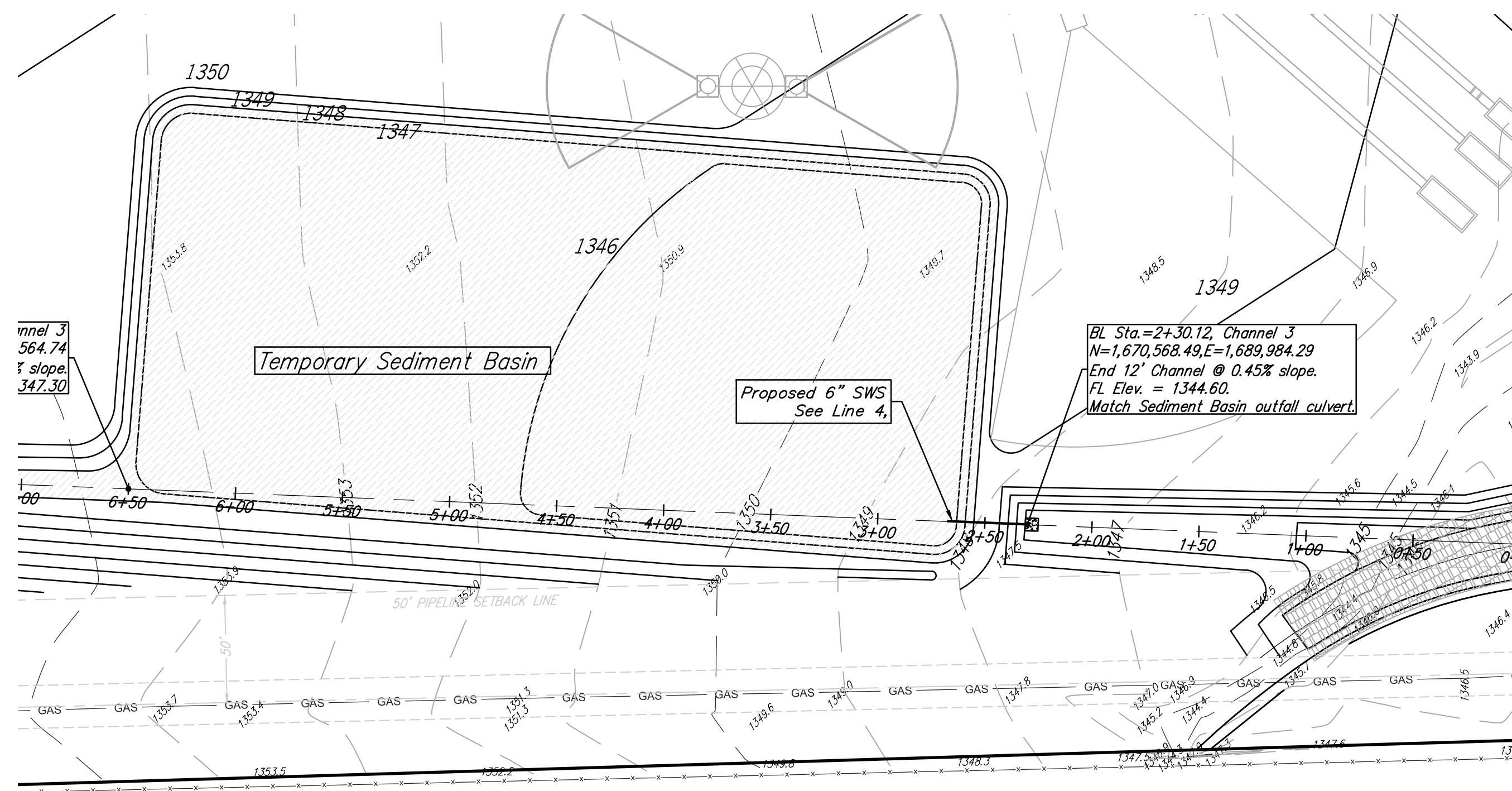
Cumulative runoff from Existing Parking lot & Gym Area

Post Onsite Drainage:	Post Offsite Drainage:
D.A. = 14.31 acres	D.A. = 14.14 acres
Tc = 15 min.	Tc = 15 min.
CN = 92.6	CN = 95
Q1 = 35.8 cfs	Q1 = 38.3 cfs
Q2 = 46.9 cfs	Q2 = 49.2 cfs
Q3 = 62.7 cfs	Q3 = 64.6 cfs
Q10 = 73.7 cfs	Q10 = 75.3 cfs
Q25 = 87.8 cfs	Q25 = 89.0 cfs
Q50 = 100.3 cfs	Q50 = 101.1 cfs
Q100 = 114.2 cfs	Q100 = 114.8 cfs

Elevation	Area	Volume
1349.5	0	0
1350.0	9,220	1,537
1351.0	85,720	42,550
1352.0	155,120	161,256
1353.0	205,520	340,968
1354.0	227,600	557,412
1355.0	240,550	791,434

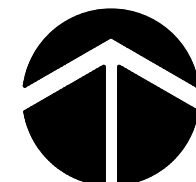
Extended Detention Basin

Event	Basin Event Results			
	Peak In	Peak Out	Peak Elev.	Peak Vol.
1-yr	74.0	8.5	1,351.5	97,120
2-yr	96.1	11.2	1,351.7	130,920
5-yr	127.3	14.5	1,352.1	179,310
10-yr	149.0	16.0	1,352.3	214,620
25-yr	176.8	17.7	1,352.6	260,730
50-yr	201.4	19.2	1,352.8	302,460
100-yr	228.9	20.7	1,353.0	350,260



Sediment Basin #4

Scale 1" = 50'-0"

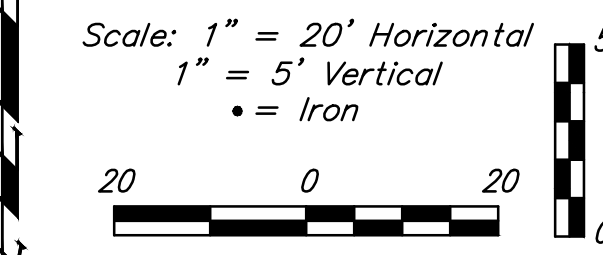


Sediment Basin Runoff:
 Cumulative runoff from offsite Drainage & Southwest corner of Athletic Fields.
Post SWS Drainage:
 Offsite D.A. = 34.75 acres
 Onsite D.A. = 19.88 acres
 Sediment Basin volume:
 196,000 cubic ft.
 (3,600 cubic ft./acre.)

Sta. 0+00 SWS, Line 4
 N= 1,670,568.49, E= 1,689,984.29
 Begin Temp. 6" SCH-40 Pipe.
 Encase pipe in 4"x4"x4" Conc. collar.
 6" FL Elev. = 1344.60

BL Sta=2+30.12, Channel 3
 N=1,670,568.49, E=1,689,984.29
 End 12' Channel @ 0.45% slope.
 FL Elev. = 1344.60.
 Match Sediment Basin outfall culvert.

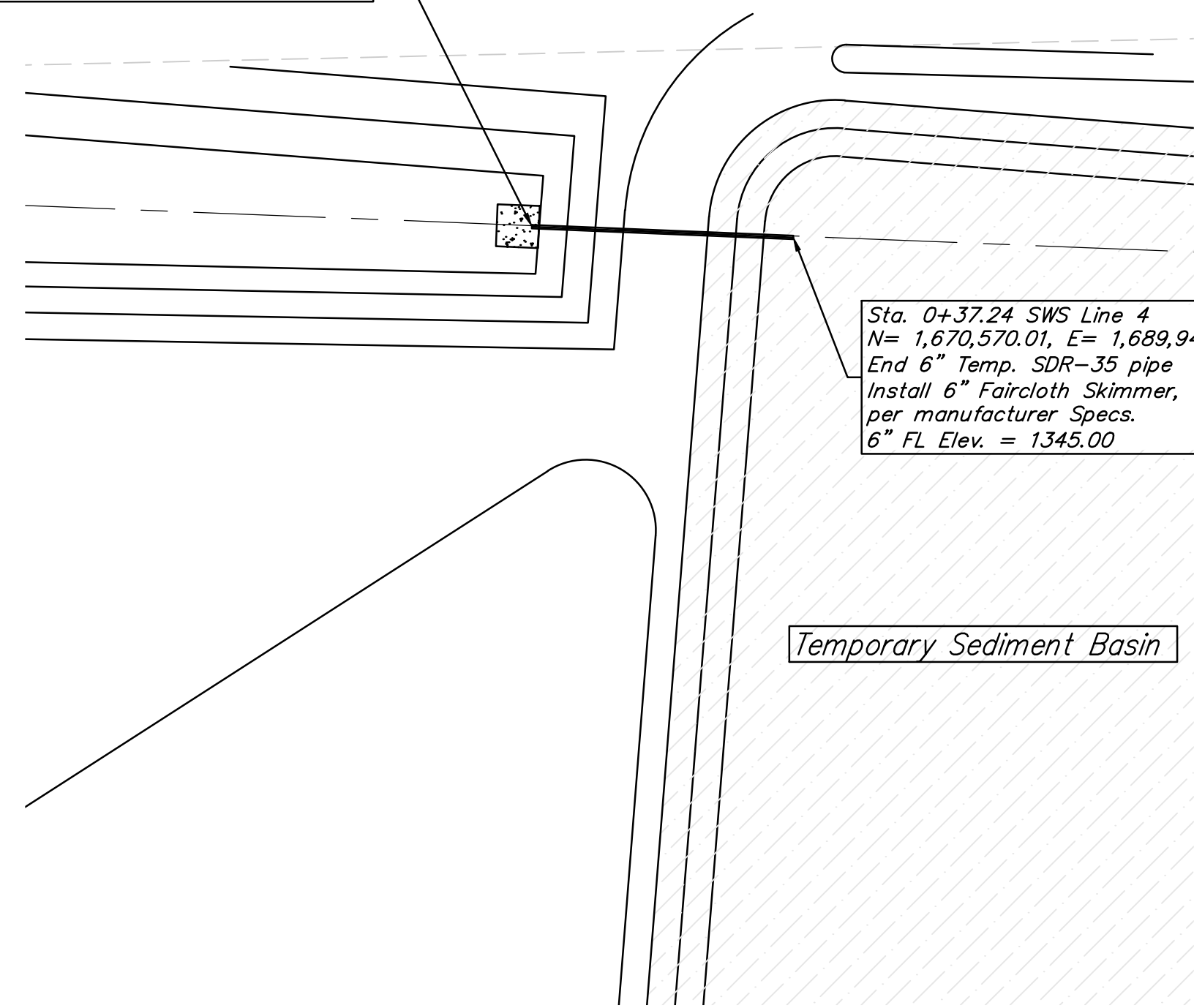
Sta. 0+37.24 SWS Line 4
 N= 1,670,570.01, E= 1,689,947.08
 End 6" Temp. SDR-35 pipe
 Install 6" Faircloth Skimmer,
 per manufacturer Specs.
 6" FL Elev. = 1345.00



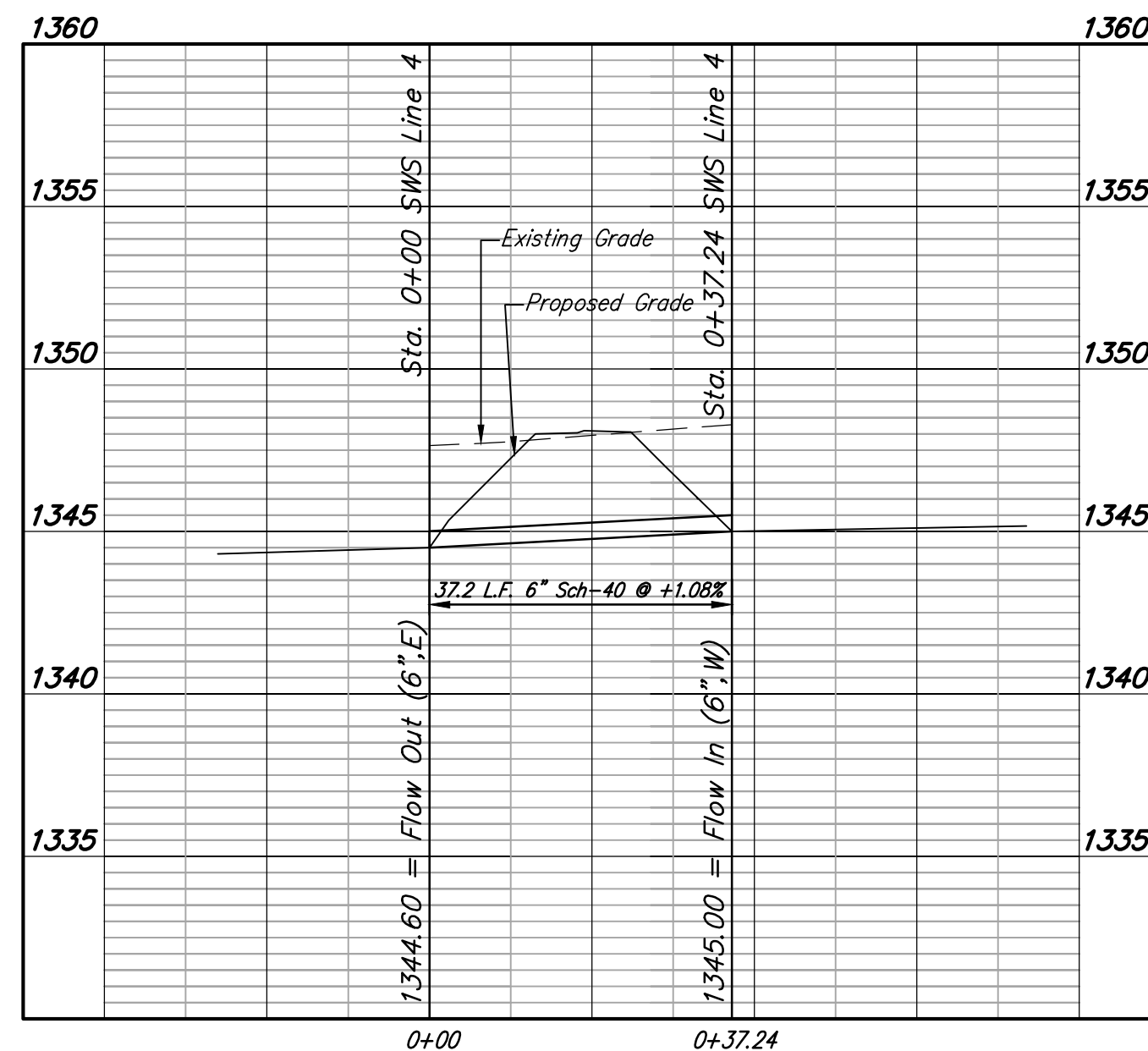
BENCHMARK

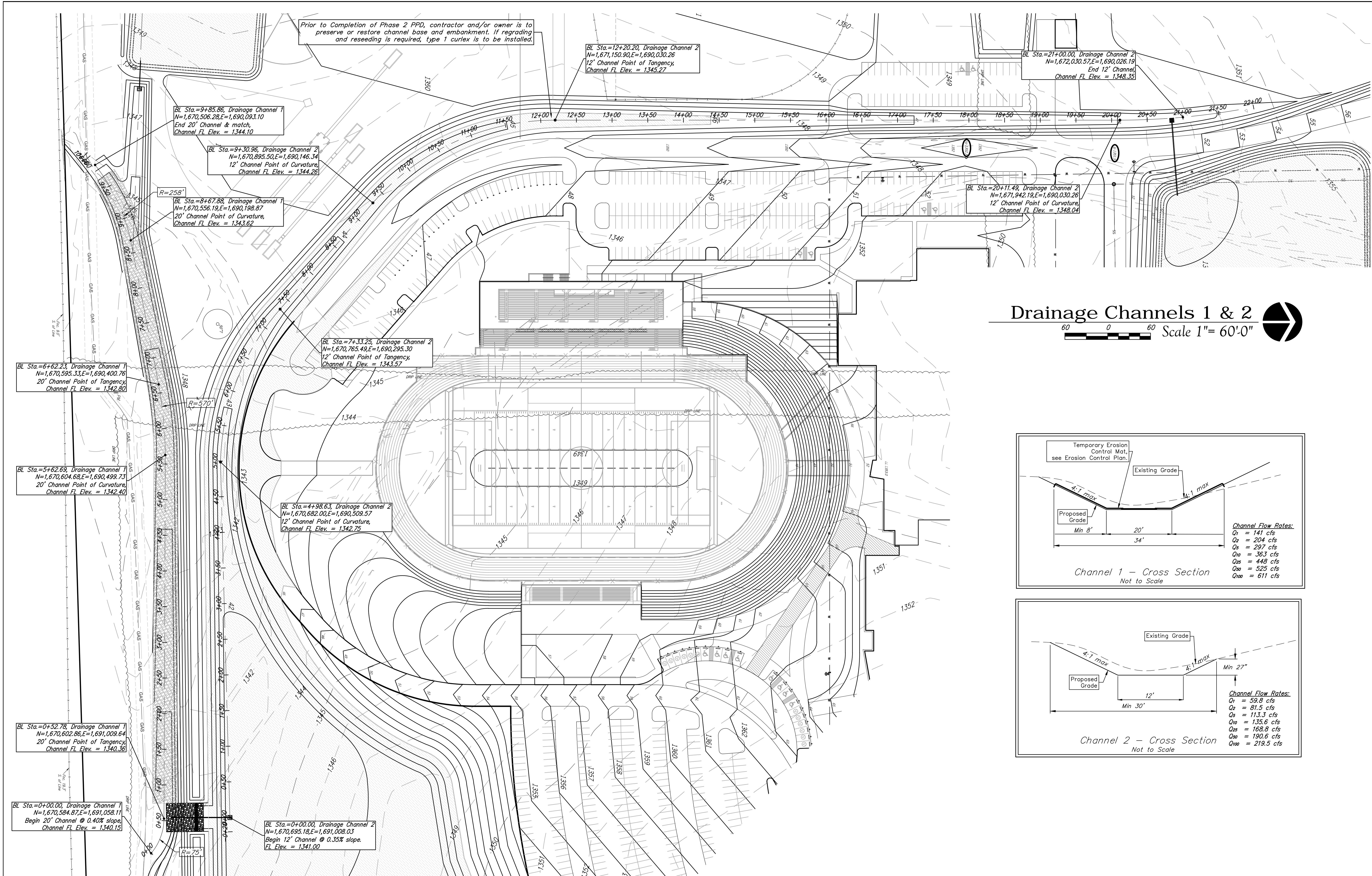
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Note: Stormsewer lines 1, 2, 3, & 4 will be a private system. Maintenance and inspection will be the owners responsibility, see the O&M manual developed for this system. The noted coordinate locations are in state plan coordinates with North in 1,713,XXX.XX and East in 1,638,XXX.XX.



SWS Line 4





Prior to Completion of Phase 2 PPD, contractor and/or owner is to preserve or restore channel base and embankment. If regrading and reseeding is required, type 1 curlex is to be installed.

BL Sta.=12+20.20, Drainage Channel 2
N=1,671,150.90,E=1,690,030.26
12' Channel Point of Tangency,
Channel FL Elev. = 1345.27

BL Sta.=21+00.00, Drainage Channel 2
N=1,672,030.57,E=1,690,026.19
End 12' Channel,
Channel FL Elev. = 1348.35

BL Sta.=9+85.86, Drainage Channel 1
N=1,670,506.28,E=1,690,093.10
End 20' Channel & match,
Channel FL Elev. = 1344.10

BL Sta.=9+30.96, Drainage Channel 2
N=1,670,895.50,E=1,690,146.34
12' Channel Point of Curvature,
Channel FL Elev. = 1344.26

BL Sta.=8+67.88, Drainage Channel 1
N=1,670,556.19,E=1,690,198.87
20' Channel Point of Curvature,
Channel FL Elev. = 1343.62

BL Sta.=20+11.49, Drainage Channel 2
N=1,671,942.19,E=1,690,030.26
12' Channel Point of Curvature,
Channel FL Elev. = 1348.04

BL Sta.=7+33.25, Drainage Channel 2
N=1,670,765.49,E=1,690,295.30
12' Channel Point of Tangency,
Channel FL Elev. = 1343.57

BL Sta.=6+62.23, Drainage Channel
N=1,670,595.33,E=1,690,400.76
20' Channel Point of Tangency,
Channel FL Elev. = 1342.60

BL Sta.=5+62.69, Drainage Channel
N=1,670,604.68,E=1,690,499.73
20' Channel Point of Curvature,
Channel FL Elev. = 1342.40

BL Sta.=4+98.63, Drainage Channel 2
N=1,670,682.00,E=1,690,509.57
12' Channel Point of Curvature,
Channel FL Elev. = 1342.75

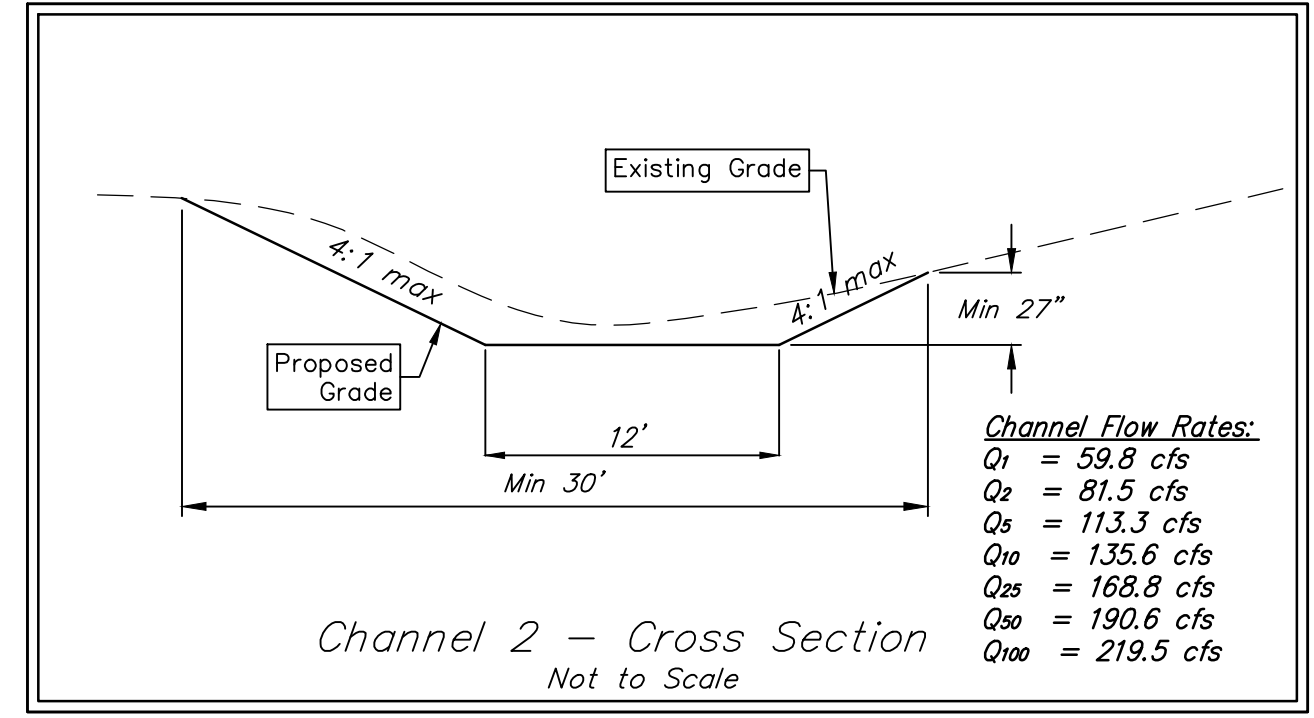
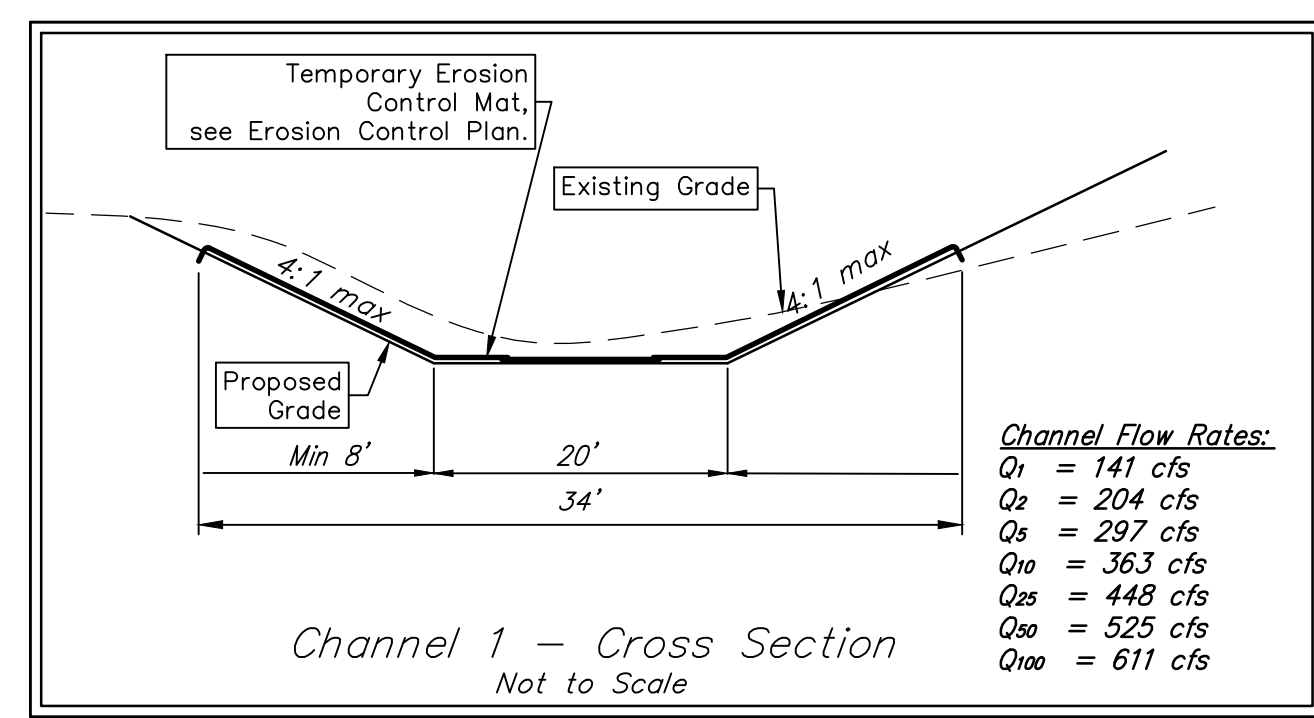
BL Sta.=0+52.78, Drainage Channel
N=1,670,602.86,E=1,691,009.64
20' Channel Point of Tangency,
Channel FL Elev. = 1340.36

BL Sta.=0+00.00, Drainage Channel
N=1,670,584.87,E=1,691,058.11
Begin 20' Channel @ 0.40% slope,
Channel FL Elev. = 1340.15

BL Sta.=0+00.00, Drainage Channel 2
N=1,670,695.18,E=1,691,008.03
Begin 12' Channel @ 0.35% slope,
FL Elev. = 1341.00

Drainage Channels 1 & 2

Scale 1" = 60'-0"



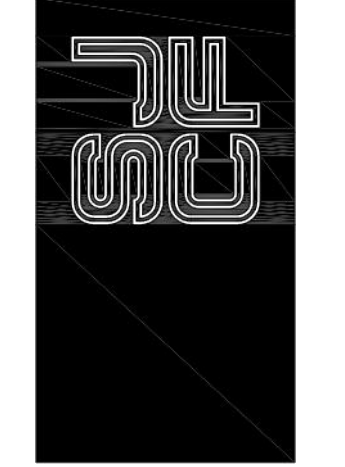
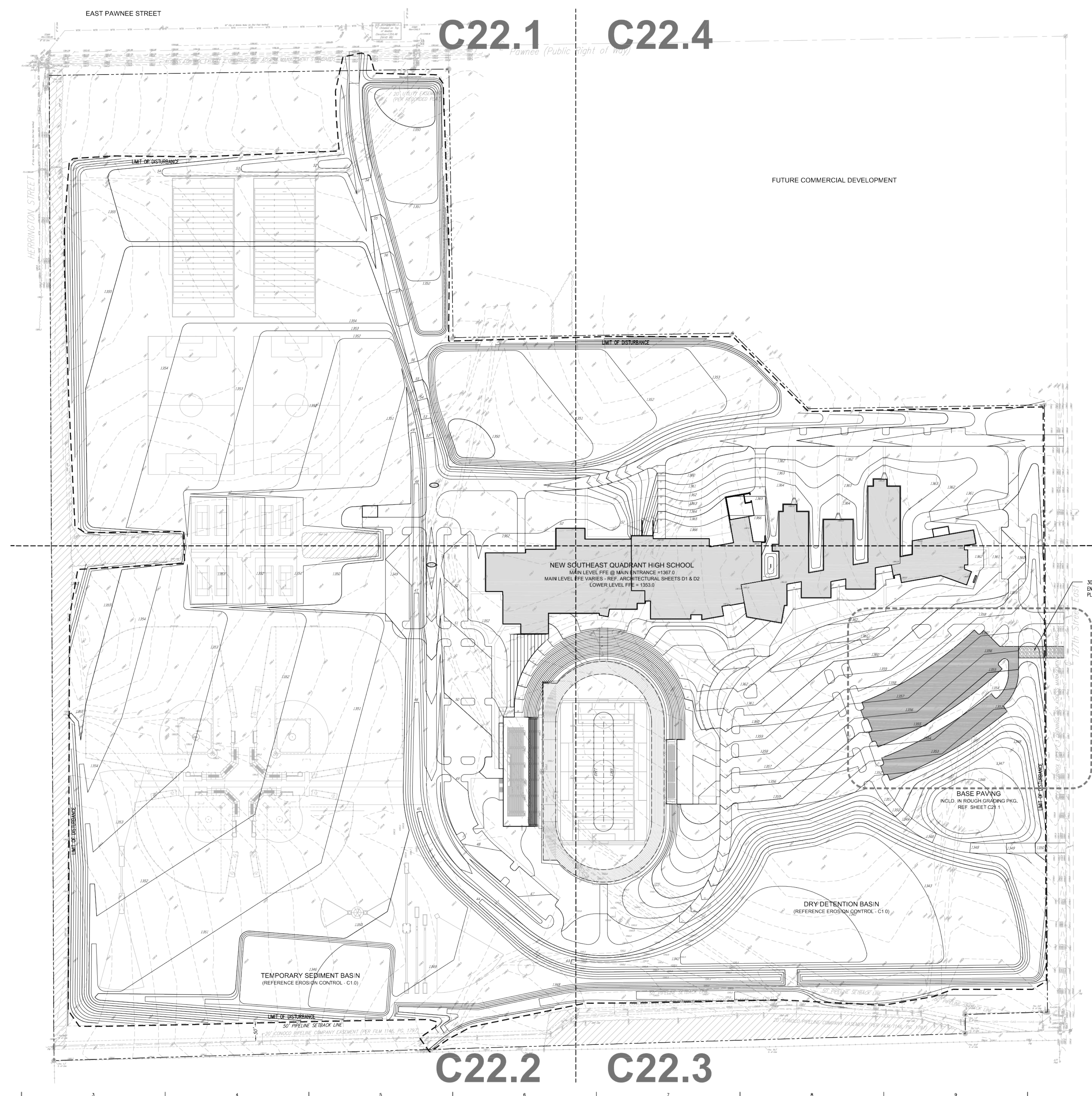
GENERAL SITE / GRADING NOTES

- A. CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS INCLUDING ALL PUBLIC & PRIVATE UTILITIES IN THE AFFECTED AREA BEFORE COMMENCING CONSTRUCTION WORK.
- B. REFER TO SITE SURVEY FOR SITE UTILITIES, UTILITY DESCRIPTIONS, NOTES, LEGAL DESCRIPTIONS PERTAINING TO THE SITE SURVEY. THIS SURVEY IS PROVIDED FOR INFORMATION ONLY. A SEALED COPY OF THE SITE SURVEY IS AVAILABLE IN THE OFFICE OF THE OWNER FOR INSPECTION.
- C. CONTRACTOR SHALL VERIFY LOCATION OF PUBLIC & PRIVATE UTILITIES TO REMAIN AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO EXISTING UTILITIES TO REMAIN, AS A RESULT OF CONSTRUCTION WORK. THIS INCLUDES ALL PUBLIC & PRIVATE UTILITIES.
- D. ROUGH GRADING SHALL INCLUDE STREPPING, STOOPING OF TOPSOIL, SCARIFICATION, CUT, FILL, MOISTURING AND COMPACTING SUBGRADE AS NOTED ON THE DRAWINGS AND AS SPECIFIED IN GEOTECHNICAL REPORT. PREPARATION OF THE L.V.C. ZONE FOR THE BUILDING IS INCLUDED IN THIS CONTRACT.
- E. REFERENCE ARCHITECTURAL SHEET A22.0 FOR VARIATIONS IN SPECIFIC BUILDING PAD THICKNESS. CONTRACTOR SHALL RESUME SUBGRADE AND PREPARE THESE AREAS AS SPECIFIED IN GEOTECHNICAL REPORT.
- F. ALL GRADES SHOWN WITHIN PAVED AREAS REPRESENT FINISH GRADES (TOP OF CURB/BOTTOM OF CURB). VERIFY THICKNESS OF SPECIFIED PAVEMENT FOR PROPER ELEVATION OF BASE COURSE AND SUBGRADE. REFER TO SITE GEOTECHNICAL REPORT FOR RECOMMENDED PAVEMENT THICKNESS AND COMPACTION REQUIREMENTS.
- G. REFERENCE OVERALL SITE PLAN FOR HEAVY DUTY PAVEMENT ROUTING. DEDUCT THICKNESS OF SPECIFIED PAVEMENT FOR PROPER ELEVATION OF BASE COURSE AND SUBGRADE. REFER TO SITE GEOTECHNICAL REPORT FOR RECOMMENDED PAVEMENT THICKNESS AND COMPACTION REQUIREMENTS.
- H. REFERENCE ARCHITECTURAL SHEETS (S) FOR BUILDING PAD THICKNESS AREAS. DEDUCT DESIGNATED PAD THICKNESS TO FINISH TOP OF L.V.C. ZONE.
- I. REFERENCE ARCHITECTURAL SHEETS (S) FOR VARIATIONS IN BUILDING FINISH FLOOR ELEVATIONS. DEDUCT DESIGNATED PAD THICKNESS FROM FFE IN EACH AREA TO FINISH TOP OF L.V.C. ZONE.
- J. THE CONTRACTOR SHALL FURNISH THE OWNER WITH CERTIFICATES OF COMPLIANCE WITH THE SPECIFICATIONS FOR ALL MATERIALS USED IN THE CONSTRUCTION OF THIS IMPROVEMENT. THE CERTIFICATE SHALL INCLUDE TEST RESULTS AND SPECIES SHOWING COMPLIANCE WITH THE APPLICABLE SPECIFICATIONS.
- K. MAINTAIN MAX. 2% (2.50) SLOPE IN ANY DIRECTION ON ALL HANDICAP PARKING STALLS.
- L. REFER TO SPECIFICATIONS AND GEOTECHNICAL (SOILS) REPORT FOR DIRTWORK AND CONSTRUCTION REQUIREMENTS.
- M. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF CONSTRUCTION SCHEDULING. CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF SEVENTY-TWO (72) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION BY CALLING KANSAS ONE-CALL AT (811).
- N. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY BOUNDS. THE CONTRACTOR SHALL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY BOUNDS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH BOUND SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
- O. A 4" MIN. DEPTH LAYER OF TOPSOIL SHALL BE STREPPED IN ALL AREAS OF CUT AND FILL AND STOOPLED - REFERENCE GENERAL SITE CLEARING / DEMOLITION NOTES - SHEET C20.0.
- P. CONTRACTOR SHALL RESERVE A 4" SOIL LAYER DEPTH IN ALL AREAS WHICH ARE NOT PAVED FOR BUILDING PAD. ONCE ROUGH GRADING IS ACHIEVED CONTRACTOR SHALL OBTAIN APPROVAL WITH LANDSCAPE ARCHITECT ON PROPER GRADING ELEVATIONS PRIOR TO REPLACEMENT OF TOPSOIL LAYER.
- Q. TOPSOIL SHALL ONLY BE REPAVED ON ALL AREAS OUTSIDE OF LOOP DRIVE INCLUDING DRY DETENTION BASINS AND DRAINAGE SWALES. AREAS INSIDE OF LOOP DRIVE IS NOT IN THIS CONTRACT AND SHALL BE ADDRESSED WITHIN THE BUILDING CONSTRUCTION PACKAGE CONTRACT.
- R. CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL EROSION CONTROL AND BMP MEASURES AS REQUIRED BY THE STATE OF KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. REF. EROSION CONTROL PLAN - C1.0.
- S. ALL DRAINAGE SWALES AND DETENTION BASIN SLOPES ARE TO RECEIVE NORTH AMERICAN GREEN HYDRA CT MODERATE SLOPE MESH BLEND OR APPROVED EQUAL HYDROMULCH PRODUCT. ALL OTHER AREAS OUTSIDE LOOP DRIVE SHALL BE SEED FOR SPECIFICATION - REFERENCE SEEDING PLAN - SHEET C21.0.
- T. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- U. POSITIVE DRAINAGE ON THE BUILDING PAD MUST BE MAINTAINED PRIOR TO THE CONSTRUCTION OF THE BUILDING SHALE. CONTRACTOR MAY COVER THE PAD OR USE TEMPORARY SWALES TO RELIEVE THE BUILDING PAD AREAS FROM ANY FLOODING OF WATER. CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS TO THE BUILDING PAD IF DAMAGED FROM WEATHER EQUIPMENT AND OTHER POSSIBLE CAUSES.
- V. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.
- W. CONTRACTOR SHALL PROVIDE 3" MIN. SLOPE DOWN 8" LEVELS TO ACCOMMODATE CONSTRUCTION OF LOWER LEVEL. COMPLY WITH OSHA STANDARDS RELATED TO EXCAVATIONS AND SLOPES.
- X. REMOVAL AND RESTORATION OF THE TEMPORARY SEDIMENT BASIN IS NOT IN THIS CONTRACT. IT WILL BE PART OF THE BUILDING CONSTRUCTION PACKAGE CONTRACT BY OTHERS.
- Y. CONTRACTOR SHALL PROVIDE A SURVEY OF THE SITE AFTER ROUGH GRADING IS COMPLETE. THIS SURVEY SHALL BE A DIGITAL TOPOGRAPHIC SURVEY WITH BOUNDARY DETENTION, CONTROL, RESISTANCE, CONTIGUOUS, AND SPOT ELEVATIONS SET ON A GRID NO LESS THAN 5' SPACING PERFORMED BY A LICENSED LAND SURVEYOR. ALL BASE PAVING SPOT ELEVATIONS SHALL BE TAKEN AT TOP AND BOTTOM OF CURBS FOR EVERY ENDPOINT, MIDPOINT AND RADIUS SPECIFIED. THE SURVEY SHALL BE AVAILABLE TO THE OWNER AND TO SUCP IN AN ELECTRONIC (DWG) FORMAT, AS WELL AS REPRODUCIBLE SEALED (24 X 36) INCH (17.5 X 143.7 CM) PLAN SURVEY SHALL BE USED TO VERIFY NEW GRADES AND USED AS INFORMATION FOR FUTURE GRADING WORK. SURVEY SHALL EXTEND TO THE ENTIRE PROPERTY AND INCLUDE ALL AREAS MANIPULATED.

LEGEND

- LIMITS OF DISTURBANCE (L.O.D.)
- - - - - EXISTING CONTOUR
- — — — — PROPOSED CONTOUR

OVERALL GRADING PLAN
1" = 100'-0"



SCHAEFER JOHNSON COX FREY ARCHITECTURE
207 N. GARDNER
WICHITA, KANSAS
PH. 316.864.9771
FAX 316.864.8888
www.sjcfrey.com



BAUGHMAN CO.
CIVIL ENGINEERS
GRO, LLC
LANDSCAPE ARCHITECTS

Reference Copy
Not to Scale
Coordinate with General Contractor for
Installation, Earth Retention/Retention
Beds, Erosion Control, & Landscaping

USD 259
NEW SOUTHEAST HIGH SCHOOL
ROUGH GRADING PACKAGE
BID NO. 14-25-1006
127th ST. EAST AND PAWNEE

Revisions

1	2	3	4	5	6	7	8	9	10

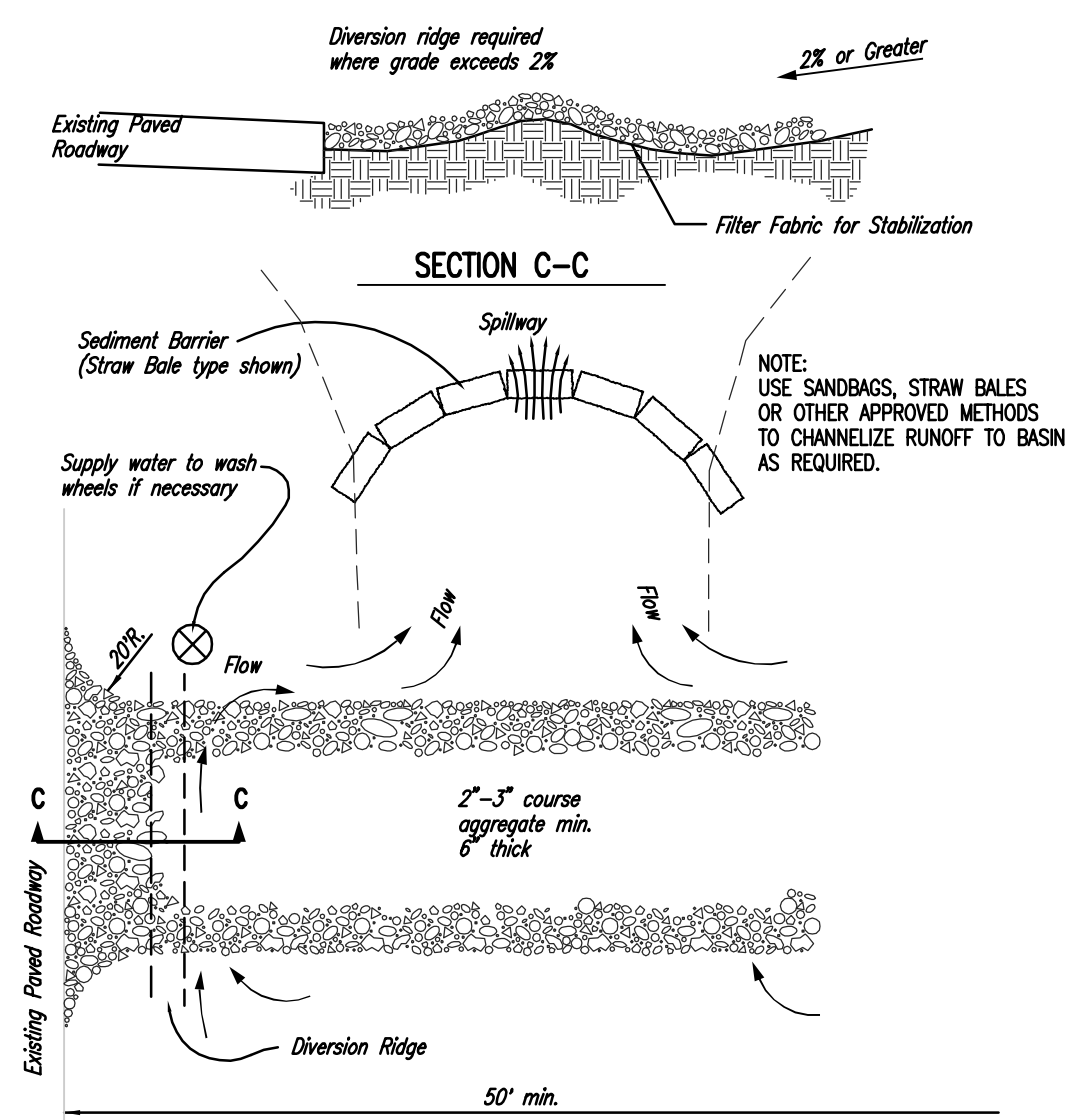
Project Number
SJCF# 5180.10

Date
19 AUGUST 2014

OVERALL GRADING PLAN
1" = 100'-0"

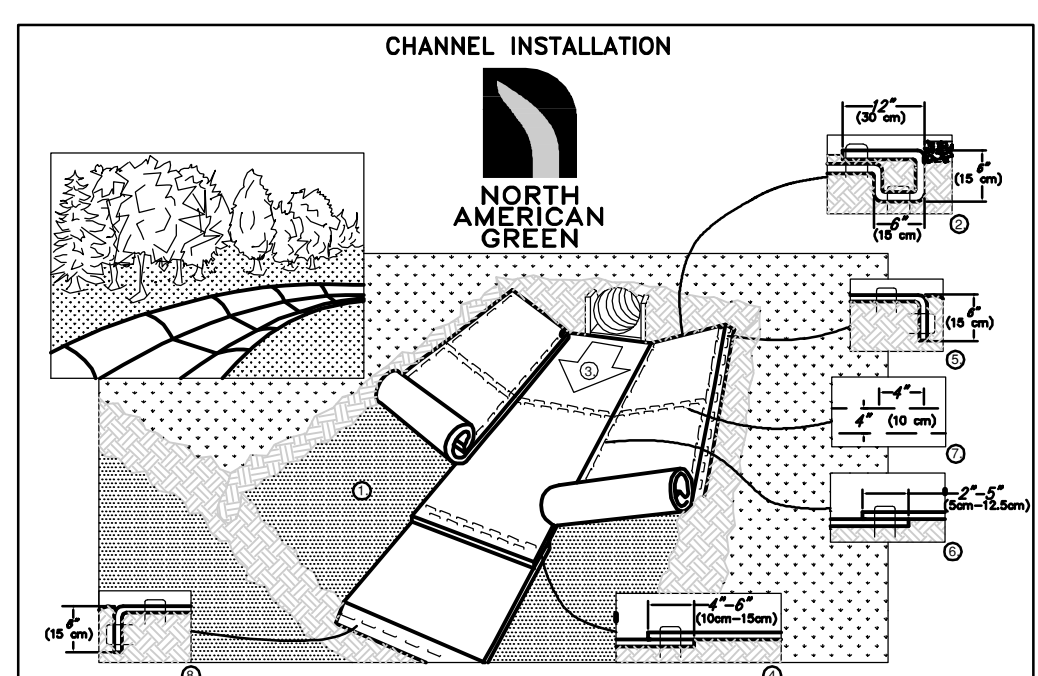
C22.0

Lot 1, Blk 1, USD 259 4th Addition
Ref. Grading Plan
Storm Water Drain Improvements



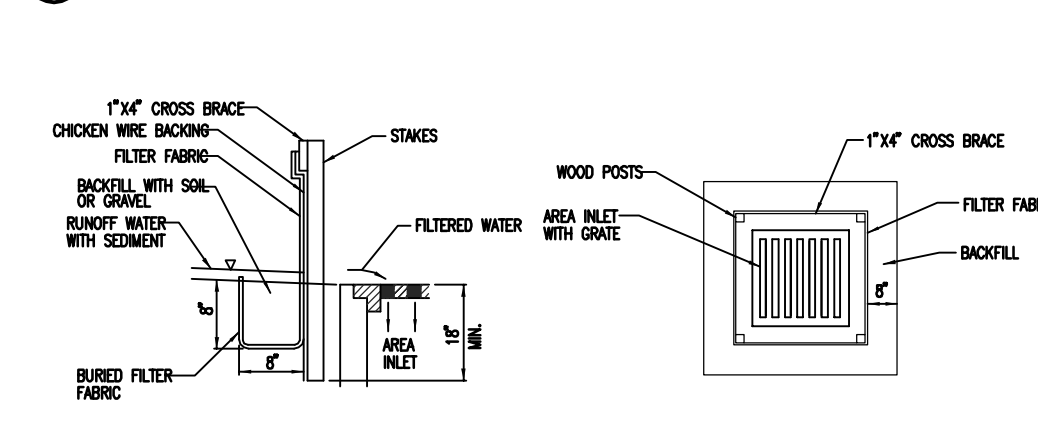
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
4. DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

1 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

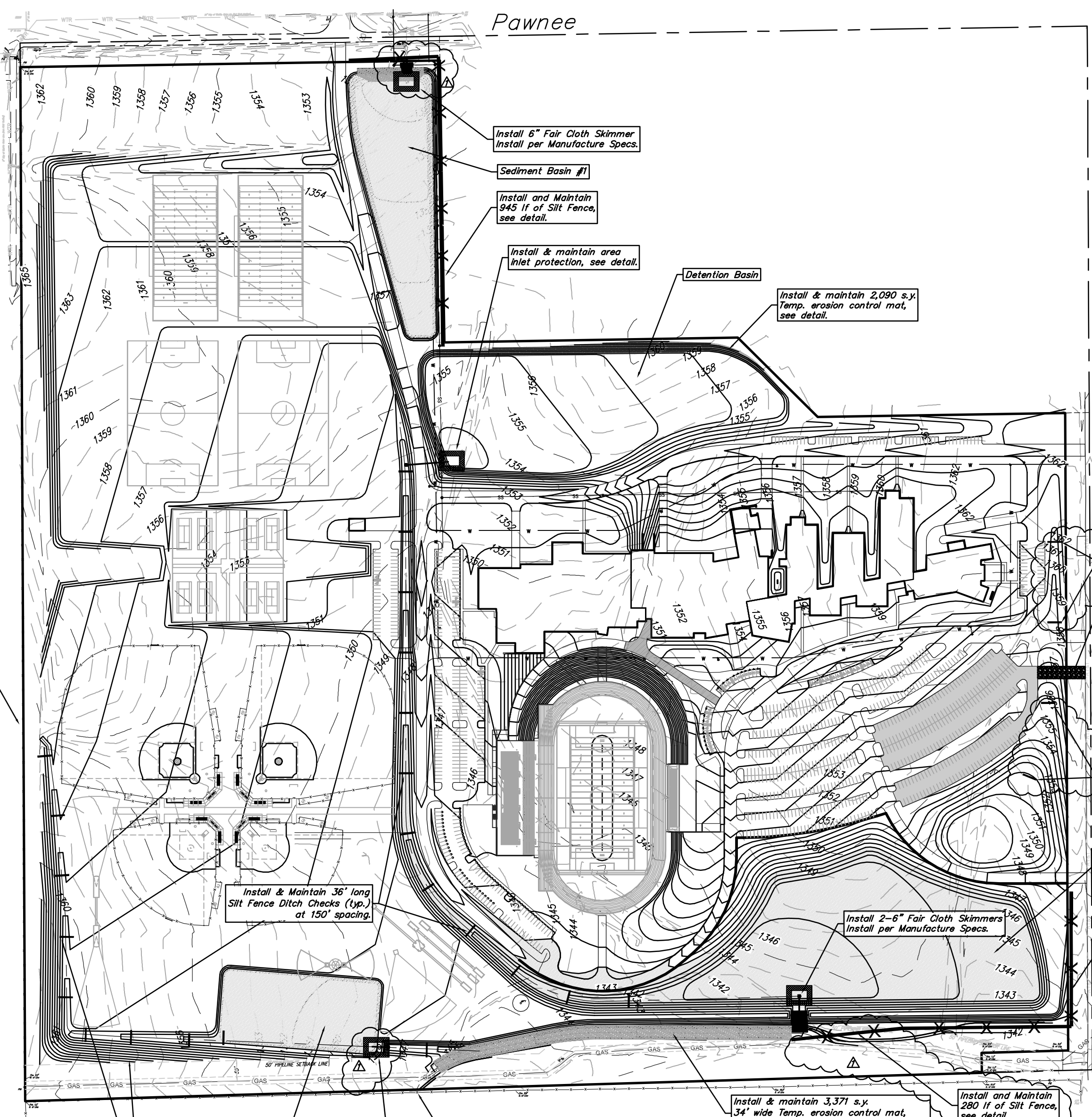


1. PREPARE SOIL BEFORE INSTALLING BLANKETS INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-OR-SEED SO NOT SEED PREPARED AREA. CELL-OR-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" (150mm) DEEP x 6" (150mm) WIDE TRENCH WITH COMPACTED SOIL. APPLY SEED TO COMPACTED SOIL AND TILL REMAINING 1" (25mm) PORTION OF BLANKET BACK OVER SEEDS AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAPLES SPACES APPROXIMATELY 12" (300mm) APART ACROSS THE WIDTH OF THE BLANKET.
2. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY USING STAPLES/STAPLES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING ORIGINAL DOT SYSTEM, STAPLES/STAPLES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
3. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 6" (150mm-150mm) OVERLAP. USE A DOUBLE ROW OF STAPLES/STAPLES APPROXIMATELY 12" (300mm) APART IN A 4" (100mm) DEEP x 4" (100mm) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
4. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAPLES APPROXIMATELY 12" (300mm) APART IN A 4" (100mm) DEEP x 4" (100mm) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
5. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2" (50mm-125mm) (DEPENDS ON BLANKET TYPE) AND STAPLED. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STRIP ON THE BLANKET BEING OVERLAPPED.
6. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE OVER SLOTT IS RECOMMENDED AT 30 TO 40 FOOT (9-12m) INTERVALS. USE A DOUBLE ROW OF STAPLES/STAPLES AT 1200mm APART AND 4" (100mm) ON CENTER OVER DRYING THE WIDTH OF THE CHANNEL.
7. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAPLES APPROXIMATELY 12" (300mm) APART IN A 4" (100mm) DEEP x 4" (100mm) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

2 EROSION CONTROL MAT INSTALLATION
NOT TO SCALE



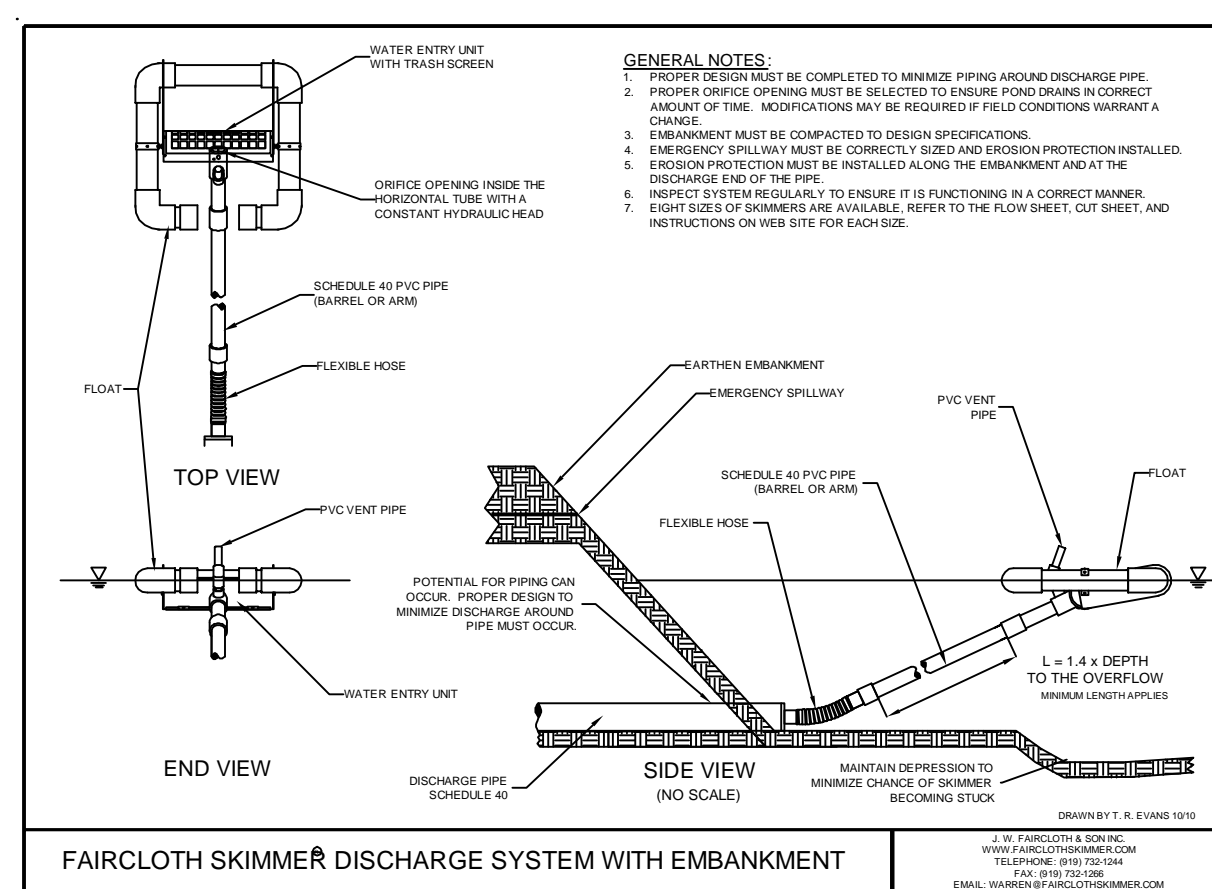
3 SILT FENCE BARRIERS FOR AREA INLETS
NOT TO SCALE



SEDIMENT BASIN NOTES:
Sed. Basin #1
 Drainage Area = 21.78 acres (Includes 9.98ac. of offsite)
 Sedimentation volume required = 78,410ft³
 Sedimentation volume provided = 113,080ft³
 Sediment Peak Volume Elev. = 1351'
Sed. Basin #2
 Drainage Area = 106.52 acres (Includes 14.19ac. of offsite)
 Sedimentation volume required = 383,470ft³
 Sedimentation volume provided = 499,300ft³
 Sediment Peak Volume Elev. = 1344'
Sed. Basin #3
 Drainage Area = 54.63 acres (Includes 34.75ac. of offsite)
 Sedimentation volume required = 196,670ft³
 Sedimentation volume provided = 198,500ft³
 Sediment Peak Volume Elev. = 1348.9'

4 SILT FENCE DETAIL
NOT TO SCALE

SITE EROSION CONTROL
 Scale 1" = 150'-0"



5 FAIRCLOTH SKIMMER DETAIL
NOT TO SCALE

LEGAL DESCRIPTION

Lot 1, Block 1, USD 259 4th Addition, Wichita, Sedgewick County Kansas.

BENCHMARKS

BENCH MARK #1: CHISELED SQUARE ON TOP OF MEDIAN AT THE ENTRANCE OF CASA BELLA ADDITION. ELEVATION = 1354.46 (NAVD88)
 BENCH MARK #2: RAILROAD SPIKE IN WEST FACE OF POWER POLE LOCATED APPROXIMATELY 1185' S. SOUTH OF THE INTERSECTION OF PAWNEE AND 127TH STREET EAST AND APPROXIMATELY 26' E. EAST OF THE CENTERLINE OF 127TH STREET EAST. ELEVATION = 1362.34 (NAVD88)

SITE ERU INFORMATION

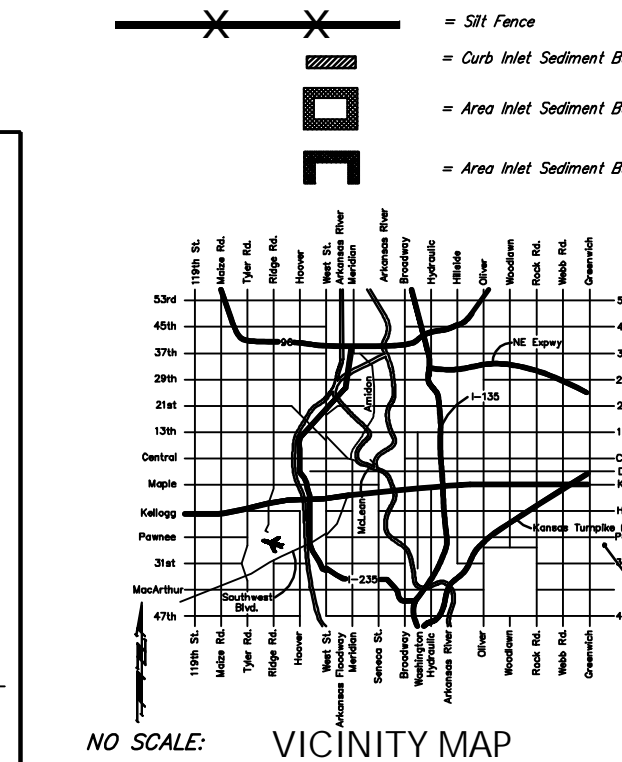
Total Area: ±5,376,950 sq. ft. (123.44 acres)
 Existing Impervious Area: ±5,376,950 sq. ft. (123.44 acres)
 Addition & Renovation: ±5,376,950 sq. ft. (123.44 acres)
 Impervious Area: ±1,182,499 sq. ft. (27.15 acres)
 Building Area: ±221,704 sq. ft. (5.09 acres)
 Pervious Area: ±4,194,451 sq. ft. (98.29 acres)

EROSION CONTROL NOTES

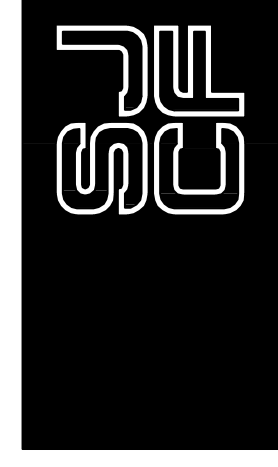
1. No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #1).
2. All exposed areas shall be seeded as specified within 21 days of final grading. Seed is to include straw mulch, crimped in place per industry standards.
3. Should construction stop for longer than 14 days, the site shall be seeded as specified.
4. Maintain erosion control measures after each rain and at least once a week.
5. Contractor shall comply with all state and local ordinances that apply. A copy of this application must be kept at the job site for the duration of the construction process.
6. Additional erosion and sediment control measures will be installed if deemed necessary by an on-site inspection.
7. Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
8. If installation of storm drainage system should be interrupted by weather or nighttime, the pipe ends shall be covered with filter fabric.
9. All disturbed R/W areas not intended for pavement or sidewalk construction shall be hydroseeded with a Bermudagrass / Perennial Ryegrass Seed Mix. See Grass Seeding specification sheet for seed mixture rate requirements.
10. This SWPPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
11. ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
12. An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.
13. Silt Fence is to be constructed to encompass 15' outside the Fair Cloth Skimmers at Sediment Basins 1, 2, & 3. Install Fair Cloth Skimmer per manufacturer specifications. Install mainline skimmer & silt fence per SWPPP requirements.
14. The Contractor is not allowed to import or export soil from this site. See site plans for stock pile requirements for this site.

Revised: 9-24-14
 Incorporated the following revisions to meet KDOT requirements:
 1. Added ditch check northeast of sediment basin #2.
 2. Added 280' of silt fence downstream of Basin 2 outfall.
 3. Revised Basin 1 & 3 outfalls to omit Erosion measures.
 4. Noted silt fence to encompass farcloth skimmers.
 5. Revised Sediment Basin Notes to include required sediment volume elevations.
 6. Noted no soil is to be imported or exported from this site.

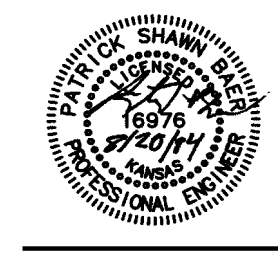
EROSION CONTROL LEGEND



NO SCALE: VICINITY MAP



SCHAEFER JOHNSON COX FREY ARCHITECTURE
 EMPLOYER
 307 N. Broadway
 Wichita, KS 67211
 P: 316.262.2217
 F: 316.262.2217
 www.sjcf.com
 info@sjcf.com



SHAWN D. BAUGHMAN
 LICENSED PROFESSIONAL ENGINEER
 LICENSE NO. 19076
 STATE OF KANSAS
 BAUGHMAN ENGINEERS
 LANDSCAPE ARCHITECT

USD 259
 NEW SOUTHEAST HIGH SCHOOL
 ROUGH GRADING PACKAGE
 BID NO. 14-25-1006
 127TH ST. EAST AND PAWNEE

Revisions
 9-24-14
 Project Number
 5180.10
 Date
 19 AUGUST 2014
 SHEET TITLE

SCALE
C1.0

Reference Copy
 Coordinate with General Contractor for
 Basins, Skimmers, Control, & Landscaping.

Baughman Company, P.A.
 315 Ellis St. Wichita, KS 67211 P: 316.262.2211 F: 316.262.0409
 LANDSCAPE ARCHITECTURE
 LANDSCAPE ARCHITECT

Ref. Erosion Plan
 Storm Water Drain Improvements

USD 259 4TH ADDITION

Wichita, Sedgwick County, Kansas

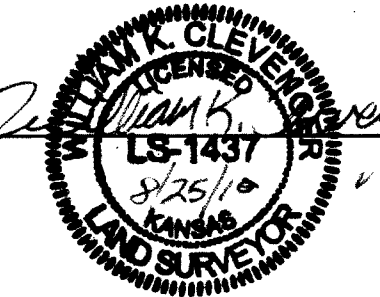
State of Kansas)
Sedgwick County) SS

We, Ruggles & Bohm, P.A., Land Surveyors in aforesaid county and state, do hereby certify that, under the supervision of the undersigned, we have surveyed and platted "USD 259 4TH ADDITION", Wichita, Sedgwick County, Kansas, and that the accompanying plat is a true and correct exhibit of the property surveyed, described as follows:

The NE1/4 of Sec. 3, T28S, R2E of the 6th P.M., Sedgwick County, Kansas, EXCEPT a tract of land lying in a portion of Government Lots 1 and 2, Section 3, Township 28 South, Range 2 East, of the 6th Principal Meridian, Wichita, Sedgwick County, Kansas; said tract being more particularly described as follows: BEGINNING at the northeast corner of said Northeast Quarter, thence along the east line of said Quarter on a Kansas coordinate system of 1983 south zone grid bearing of S00°16'43"E, 960.06 feet; thence parallel with and 960.00 feet south of the north line of said Quarter, S89°05'03"W, 675.04 feet; thence N45°11'06"W, 279.30 feet to a point lying 760.00 feet south of said north line; thence S89°05'03"W, 729.45 feet; thence N00°54'57"W, 760.00 feet to said north line; thence along said north line, N89°05'03"E, 1610.13 feet to the point of beginning, AND EXCEPT that described as beginning at the southeast corner of said NE1/4, thence S88°16'17"W, along the south line of said NE1/4, 275.00 feet; thence N00°52'40"W, parallel with the east line of said NE1/4, 50.00 feet; thence N88°16'17"E, parallel with said south line, 275.00 feet to the east line of said NE1/4; thence S00°52'40"E, along said east line, 50.00 feet to the point of beginning.

All public easements and dedications are hereby vacated by virtue of K.S.A. 12-512(b).

Ruggles & Bohm, P.A.



William K. Clevenger
Land Surveyor

Know all men by these presents that we, the undersigned, have caused the land described in the surveyor's certificate to be platted into a Lot, a Block and Streets, to be known as "USD 259 4TH ADDITION", Wichita, Sedgwick County, Kansas. Access Controls as indicated are hereby granted to the appropriate governing body. The streets are hereby dedicated to and for the use of the public. The Sanitary Sewer Easement is hereby granted to the public for the construction and maintenance of a sanitary sewer. A drainage plan has been developed for this plat and all drainage easements shall remain at established grades, or as modified with the approval of the City Engineer, and unobstructed to allow for the conveyance of storm water.



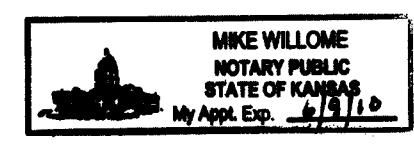
Unified School District 259
Connie Dietz, President

State of Kansas)
Sedgwick County) SS

The foregoing instrument acknowledged before me, this 27th day of August, 2010, by Connie Dietz, President, on behalf of the Board of Unified School District 259.

Mike Willom Notary Public

My appointment expires 6/9/2011



Register of Deeds - Bill Meek
DOC #/FLH-PG: 29186139
Receipt #: 1788755
Page Recorded: 1
Authorized By: [Signature]
Recording Fee: \$20.00
Date Recorded: 12/2/2010 10:30:52 AM

This plat of "USD 259 4TH ADDITION", Wichita, Sedgwick County, Kansas, has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

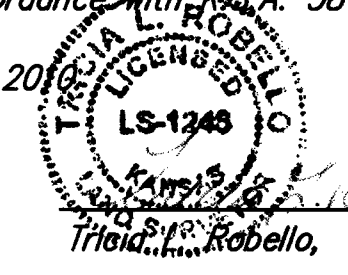
Dated this 3rd day of June, 2010.

Wichita-Sedgwick County Metropolitan Area Planning Commission
[Signature] Chair
[Signature] Secretary
John L. Schlegel

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this 9th day of Nov., 2010.

At the Direction of the City Council
[Signature] Mayor
[Signature] Clerk
Karen Sublett

Reviewed in accordance with K.S.A. 58-2005 on this 3rd day of August, 2010.



Frank Robello, Deputy County Surveyor
Sedgwick County Kansas

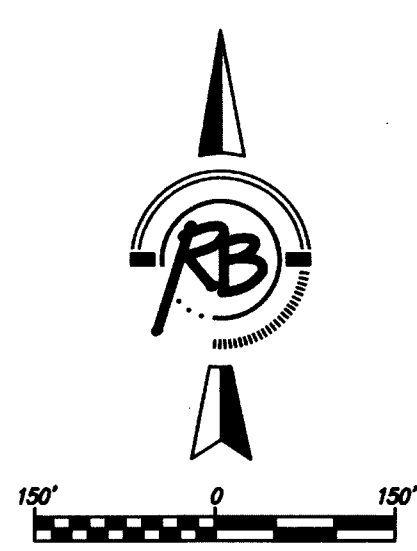
Entered on transfer record this 24 day of November, 2010.

[Signature] Kelly B. Arnold
Kelly B. Arnold

State of Kansas)
Sedgwick County) SS

This is to certify that this plat has been filed for record in the office of the Register of Deeds, this 2nd day of December, 2010, at 10:30:52 o'clock A.M., and is duly recorded.

[Signature] Bill Meek
[Signature] Deputy
Tonya Buckingham



- M = Measured
D = Described
- SURVEY MARKER LEGEND
- ⊕ STONE W/PLUS
 - 1/2" REBAR W/CAP (FOUND - ORIGIN UNKNOWN)
 - ⊗ 5/8" REBAR W/CAP (FOUND - ORIGIN UNKNOWN)
 - 5/8" REBAR W/RUGGLES & BOHM CAP (SET)
- BENCH MARK: CHISELED SQUARE ON THE TOP OF CURB AT THE SOUTH END OF THE ISLAND AT THE ENTRANCE OF CASA BELLA ADDITION, AT THE INTERSECTION OF TARA FALLS AND PAWNEE ELEVATION = 1354.46 (NAVD88)

Sheet 10 of 10

Ruggles & Bohm, P.A.
Engineering, Surveying, Land Planning
924 North Main (316) 264-8008
Wichita, Kansas 67203 (316) 264-4621 fax
www.rbkansas.com E-mail: info@rbkansas.com