

SANITARY SEWER EXTENSION

TO SERVE WICHITA CROSSING PROJECT NO. 2198PPS (607861)

CITY OF WICHITA, KANSAS GARY JANZEN, P.E. - CITY ENGINEER AUGUST 28, 2014

AS-BUILT DRAWINGS
Contractor: Mccullough Excavation
Inspector: Dakota Zimmerman
Ruggles & Bohm
PDF By: DGZ 04/06/2015

T. Mason - City of Wichita, Inspector
Stubs
Release Date: 4/16/2015
: APRosAs 4/17/2015

GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS TO COMPLY WITH CITY OF WICHITA SPECIFICATIONS AND STANDARDS.
- THE CONTRACTOR SHALL LIMIT THE EXTENT OF TRENCH TO REMAIN OPEN OVERNIGHT AND WEEKENDS TO LESS THAN 50 FEET.
- CONTRACTOR SHALL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF SEVENTY-TWO (72) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION AS FOLLOWS:

KANSAS ONE-CALL 316-687-2470

THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:

EMERGENCY DISPATCH	911
COX COMMUNICATIONS	800-778-9140
KANSAS GAS SERVICE	888-482-4950
WESTAR ENERGY	800-383-1183
BLACK HILLS ENERGY	800-694-9989
AT&T	800-286-8313
CITY OF WICHITA WATER DEPARTMENT	316-262-6000
CITY OF WICHITA SEWER MAINTENANCE	316-262-6000

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR SHALL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS. ALL COSTS FOR THIS WORK SHALL BE SUBSIDIARY TO THE LUMP SUM PRICE FOR "SITE RESTORATION".
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL MANHOLE COVERS.
- MANHOLES SHALL CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND THE STANDARD DETAIL DRAWINGS.
- RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES INCLUDING ANY TREES REMOVED AND TREE TRIMMINGS AND EXCESS EXCAVATED MATERIAL SHALL BE DISPOSED OF ON SITES PROVIDED BY THE CONTRACTOR. THESE SITES SHALL ALSO BE APPROVED OF BY THE ENGINEER AS TO SUITABILITY, APPEARANCE, AND SITE LOCATION. LOCATIONS THAT, IN THE OPINION OF THE ENGINEER, LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOOD PLAIN WILL REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS MAY REQUIRE ARCHEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED DISPOSAL LOCATION.

- THE CONTRACTOR SHALL PREVENT ANY CONSTRUCTION DEBRIS FROM ENTERING THE EXISTING SANITARY SEWER DURING CONSTRUCTION.

- THE CONTRACTOR SHALL GIVE ALL PROPERTY OWNERS AND/OR TENANTS OF DEVELOPED PROPERTY DIRECTLY ADJUTING THE CONSTRUCTION OF THIS PROJECT A MINIMUM OF TEN (10) DAYS ADVANCE NOTICE PRIOR TO START OF CONSTRUCTION.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONTINUOUS FLOW OF SEWAGE THROUGH CONSTRUCTION. CONTRACTOR'S PROPOSED METHOD FOR MAINTAINING SEWAGE FLOW SHALL BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO STARTING AND BY-PASSING OF SEWAGE FLOWS. COST OF MAINTAINING FLOW OF SEWAGE THROUGH CONSTRUCTION WILL NOT BE PAID FOR DIRECTLY AND THIS COST SHALL BE CONSIDERED AS SUBSIDIARY TO THE OTHER RELATED ITEMS OF WORK.

- ANY OVER EXCAVATIONS FROM MANHOLE AND PIPE REMOVAL SHALL BE BACKFILLED WITH AB-3 COMPACTED TO 95% ASTM D698.

- THE CONTRACTOR SHALL NOT BURY MANHOLES THAT HAVE RIM ELEVATIONS WHICH ARE LOWER THAN EXISTING GROUND AT THE MANHOLE. THE GROUND AROUND SUCH MANHOLES AND ALONG THE SEWER ALIGNMENT SHALL BE BACKFILLED TO THE APPROXIMATE ELEVATION OF THE PROPOSED GROUND ELEVATION SHOWN ON THE PLAN/PROFILE SHEETS. THE CONTRACTOR SHALL PROVIDE DRAINAGE AWAY FROM THESE MANHOLES AND SEWER LINES BY CONSTRUCTION OF TEMPORARY DITCHES OR SLOPING THE GROUND AS REQUIRED. ALL COSTS FOR THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO THE INSTALLED BID PRICE FOR MANHOLES OR PIPE.

- WHERE INDICATED IN THE PLANS, THE SANITARY SEWER EXCAVATION SHALL BE SAND FILLED, FLUSHED AND VIBRATED WITH WATER PER THE REQUIREMENTS LISTED IN THE STANDARD SPECIFICATIONS FOR THE CITY OF WICHITA, UNLESS FLOWABLE FILL OR OTHER IMPROVED MATERIAL IS OTHERWISE SPECIFIED. ALL COSTS FOR SAND FILLING AND FLUSHING/VIBRATING SHALL BE INCLUDED IN THE UNIT PRICE FOR "FILL, SAND (FLUSHED & VIBRATED)".

- THE CONTRACTOR SHALL NOT START WORK ON THE PROJECT UNTIL THE PROJECT INSPECTOR IS ASSIGNED TO THE PROJECT AND IS PRESENT ON THE SITE. ANY WORK DONE WITHOUT INSPECTION WILL BE REQUIRED TO BE UNCOVERED FOR INSPECTION.

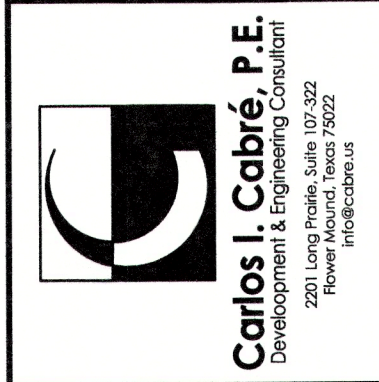
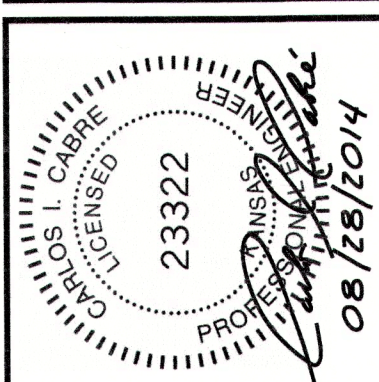
- WHERE IMPROVEMENTS CROSS EXISTING PUBLIC OR PRIVATE UTILITIES WHICH ARE NOT TO BE ADJUSTED BY OTHERS, THE CONTRACTOR SHALL PROVIDE THE MATERIAL AND MEANS TO PROTECT AND SUPPORT SAID UTILITIES DURING CONSTRUCTION TO THE SATISFACTION OF THE ENGINEER.

- LOCATION OF UTILITIES SHOWN IS APPROXIMATE ONLY. EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY-PROVIDED FIELD LOCATIONS. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY WHICH DO NOT CONFLICT WITH PROPOSED CONSTRUCTION.

- IT SHOULD BE NOTED THAT OTHER BURIED LINES AND CABLE MAY EXIST WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING TRENCHING OPERATIONS TO AVOID DAMAGING THESE LINES AND CABLES. ANY UTILITIES DAMAGED SHALL BE REPLACED OR REPAIRED IMMEDIATELY AS DIRECTED BY THE ENGINEER AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PROTECT FROM DAMAGE AND SUPPORT EXISTING UTILITIES THROUGH CONSTRUCTION AS APPROVED BY THE UTILITY OWNER AND THE ENGINEER AT THE CONTRACTOR'S EXPENSE.

THE SEITZ GROUP
DEVELOPMENT & SURVEY OF RURAL PROPERTIES
5729 LEBANON ROAD, SUITE 144
FRISCO, TX 75034
T. 214-705-1078 F. 214-407-8912

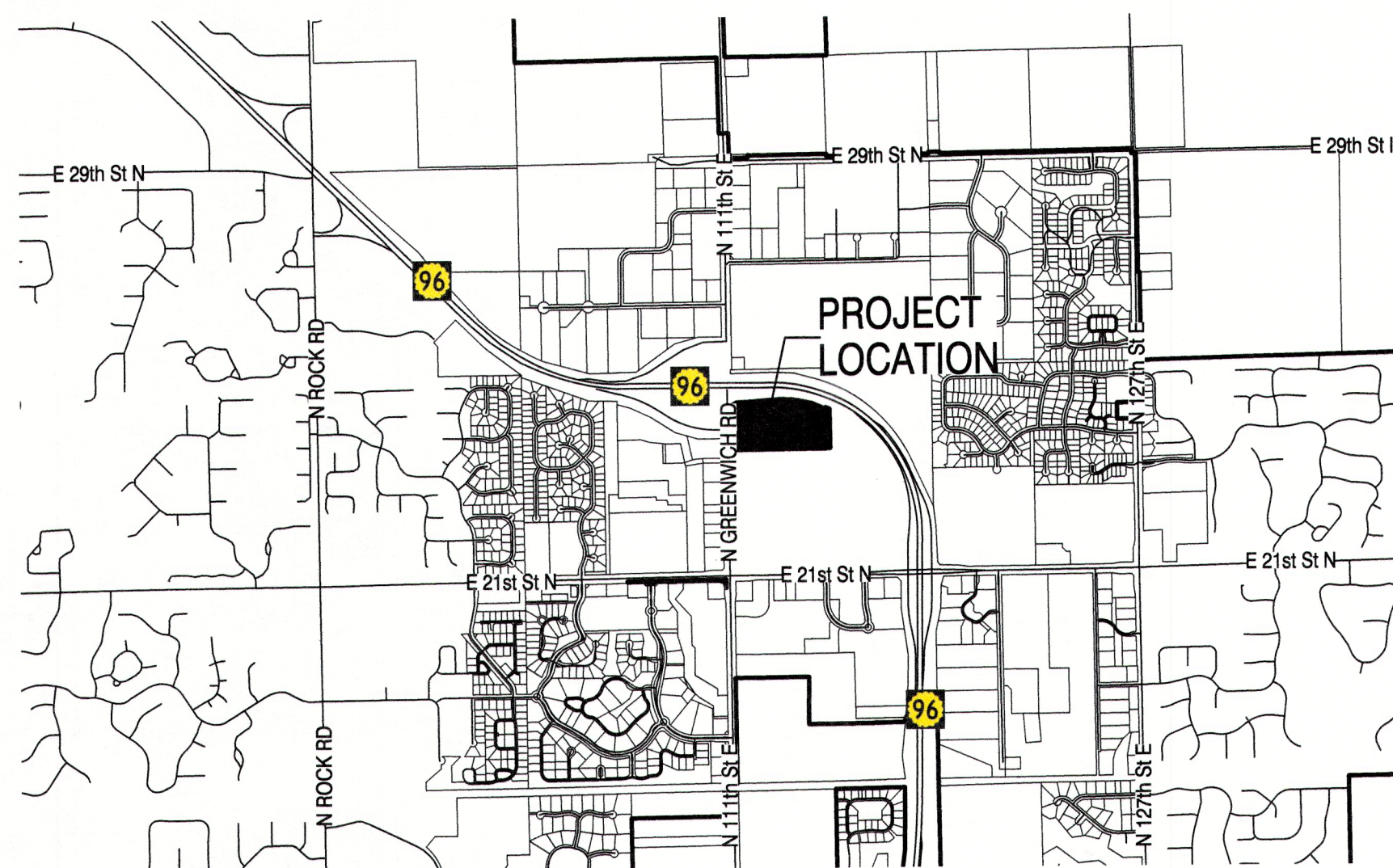
WICHITA CROSSING
A PORTION OF LOT 1 AND RESERVE "A",
KENSINGTON GARDENS
CITY OF WICHITA, SEDGWICK COUNTY, KANSAS

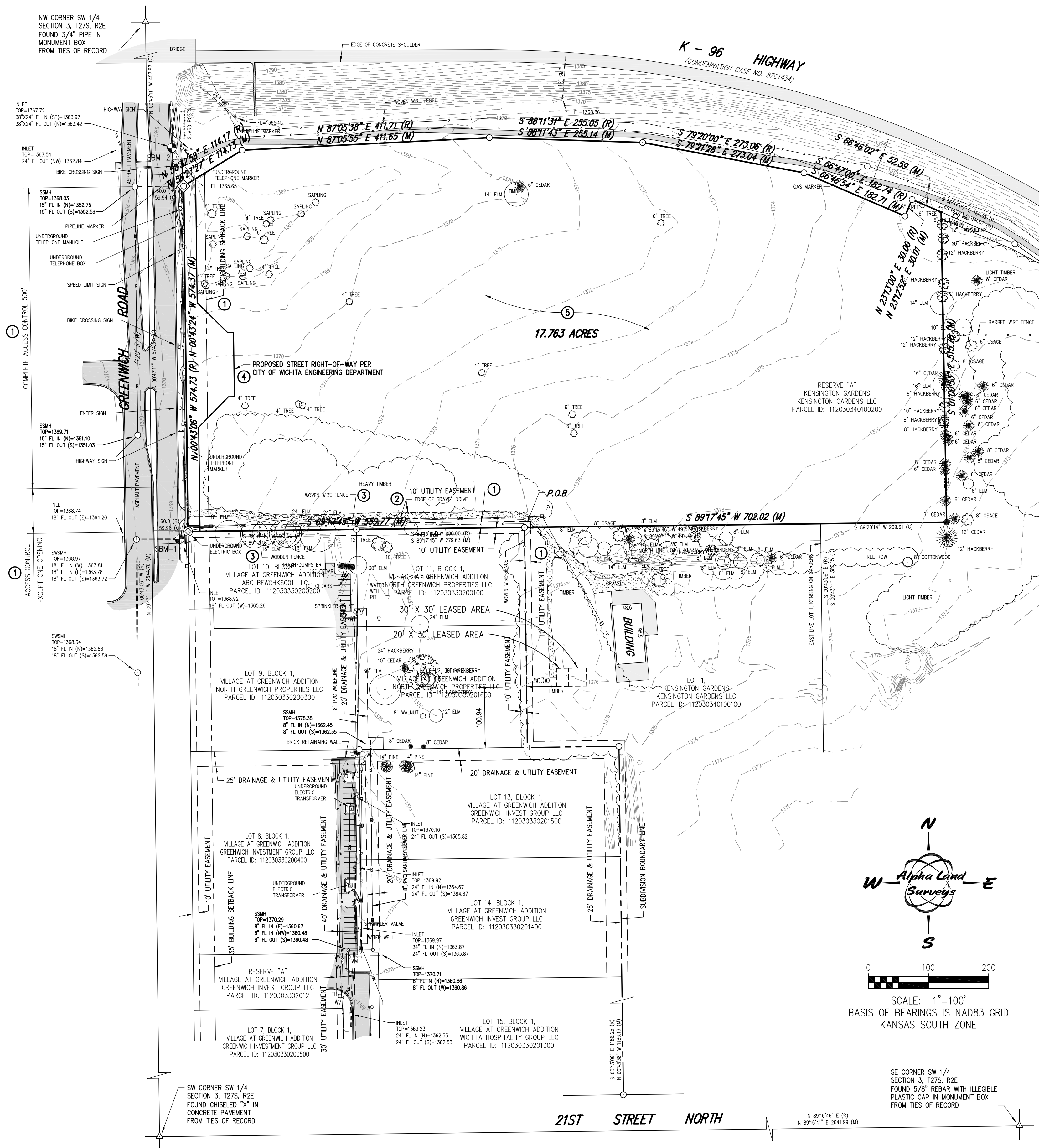


COVER PAGE
DRAWING TITLE: WICHITA CROSSING
DATE: AUGUST 28, 2014
SCALE: AS SHOWN
JOB NUMBER: 12-09
DRAWING NUMBER: CP

ISSUES		
NO.	DATE	DESCRIPTION
4	06.13.2014	FOR REVIEW
5	07.09.2014	FOR REVIEW
6	08.11.2014	FOR REVIEW
7	08.25.2014	FOR REVIEW
8	08.28.2014	FOR REVIEW

SITE LOCATION & VICINITY MAP





LEGEND

△ SECTION SUBDIVISION CORNER FOUND	○ GAS METER
○ FOUND WITH PLASTIC CAP	○ MANHOLE
⊕ STAMPED "BAUGHMAN"	○ SANITARY SEWER MANHOLE
⊕ FOUND WITH PLASTIC CAP	○ CLEANOUT
⊕ STAMPED "R&B"	○ STORM WATER SEWER MANHOLE
⊕ FOUND WITH PLASTIC CAP	○ WATER METER
⊕ STAMPED "MKEC"	○ WATER VALVE
○ FOUND 1/2" PIPE UNKNOWN ORIGIN	○ FIRE HYDRANT
○ FOUND 3/4" PIPE UNKNOWN ORIGIN	○ MONITOR WELL
○ SET 1/2" REBAR WITH CAP	○ SPRINKLER HEAD
○ STAMPED "ALPHA CLS-184"	○ GUARD POST
○ POWER POLE	○ OVERHEAD ELECTRIC
○ TELEGRAPH POLE	○ UNDERGROUND ELECTRIC
○ LIGHT POLE	○ UNDERGROUND TELEPHONE
○ GUY ANCHOR	○ GAS LINE
○ UNDERGROUND ELECTRIC BOX	○ UNDERGROUND TELEVISION CABLE
○ UNDERGROUND TELEPHONE PEDESTAL	○ SANITARY SEWER LINE
○ UNDERGROUND CABLE TELEVISION PEDESTAL	○ WATER LINE
○ TREE / SHRUB	○ FENCE

N. NORTH
S. SOUTH
E. EAST
W. WEST
DEGREES
FEET OR MINUTES
INCHES OR SECONDS
SQ. SQUARE
FT. FEET
VOL. VOLUME
PG. PAGE
O.R. OFFICIAL RECORD
C. CALCULATED
R. RECORD

M. MEASURED
R/W RIGHT OF WAY
C/L CENTERLINE
RCP REINFORCED CONCRETE PIPE
CMP CORRUGATED METAL PIPE
CMPHE CORRUGATED METAL PIPE HORIZONTAL ELLIPTICAL
TC TOP OF CURB
FL FLOWLINE
FP TOP OF PAVEMENT
EL ELEVATION
TOW TOP OF WALL
HC HANDICAP
POB POINT OF BEGINNING

SCHEDULE B SECTION TWO EXCEPTIONS

EXCEPTIONS ACCORDING TO FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. 2082746 REVISION E DATED MARCH 4, 2014.

ITEMS 1 THRU 8 NOT SURVEY RELATED, THEREFORE NOT NOTED.

- THE FOLLOWING MATTERS SHOWN OR DISCLOSED BY THE FILED OR RECORDED MAP OF KENSINGTON GARDENS, SEDGWICK COUNTY, KANSAS REFERRED TO IN THE LEGAL DESCRIPTION AND FILED WITH THE SEDGWICK COUNTY COUNTY CLERK AS PLAT NO PCT4-B-BUILDING SETBACK LINES, EASEMENTS, ACCESS CONTROLS AND MINIMUM PAD ELEVATION.
- DELETED.
- DELETED.
- DELETED.
- SUBJECT PROPERTY MAY BECOME SUBJECT TO SPECIAL ASSESSMENTS FOR VARIOUS CAPITAL IMPROVEMENTS AS EVIDENCED BY NUMEROUS GOVERNMENTAL FININGS OF NOTICE IN THE FORM OF RESOLUTION NO. 05-216 FILED DOC/FLM-PG: 28672684 AND REFILED AS DOC/FLM-PG: 28800801. (NOT SURVEY RELATED. UNABLE TO PLOT)
- DELETED.
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DEVELOPMENT AGREEMENT" FILED AS DOC#/FLM-PG: 29424599. (NOT SURVEY RELATED. UNABLE TO PLOT)
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "AN ORDINANCE OF THE CITY OF WICHITA ESTABLISHING THE K-96 STAR BOND COMMUNITY IMPROVEMENT DISTRICT" FILED AS DOC/FLM-PG: 29427884. (NOT SURVEY RELATED. UNABLE TO PLOT)
- THE FOLLOWING MATTERS DISCLOSED BY A SURVEY MADE BY ALPHA LAND SURVEYORS ON AUGUST 18, 2013, LAST UPDATED MARCH _____, 2014, DESIGNATED JOB NO. 130200P:
 - RIGHTS OF OTHERS TO THE GRAVEL DRIVE ALONG THE SOUTHERLY BORDER OF SUBJECT PROPERTY FOR INGRESS, EGRESS, UTILITIES AND OTHER PURPOSES.
 - ENCROACHMENT OF WOVEN WIRE AND WOODEN FENCE ALONG THE SOUTH LINE OF SUBJECT PROPERTY, RIGHTS, IF ANY, OF THE OWNERS ADJACENT TO THE SOUTH OF SUBJECT PROPERTY TO THAT PORTION OF SUBJECT PROPERTY LYING SOUTH OF SAID WOVEN WIRE AND WOODEN FENCE.
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "MUTUAL ACCESS EASEMENT AGREEMENT" FILED AS DOC#/FLM-PG: _____
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "MUTUAL ACCESS EASEMENT AGREEMENT" FILED AS DOC#/FLM-PG: _____

SURVEYOR'S NOTES

- ACCORDING TO THE RECORDED PLAT OF KENSINGTON GARDENS LOT 1 AND RESERVE "A" HAVE A MINIMUM PAD FOR LOWEST OPENING OF 1367.1 M.S.L. 179.7 CITY DATUM AND A CONVERTED ELEVATION OF 1367.59 (NAV088).
- AS RECORDED ON FILM 1896, PAGE 224 LOT 1 HAS A MINIMUM PAD (OPENING) ELEVATION FOR THE MAINTENANCE BUILDING OF 1377.4 M.S.L. 190.0 CITY DATUM AND A CONVERTED ELEVATION OF 1377.89 (NAV088).
- AS RECORDED ON FILM 1896, PAGE 225 LOT 1 HAS A MINIMUM PAD (OPENING) ELEVATION FOR THE OFFICE BUILDING OF 1367.7 M.S.L. 180.3 CITY DATUM AND A CONVERTED ELEVATION OF 1368.19 (NAV088).
- NO EVIDENCE OF ANY EARTH MOVING, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT PROPERTY.
- PROPOSED STREET RIGHT-OF-WAY AS SHOWN HEREON.
- NO EVIDENCE OF A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL ON THE SUBJECT PROPERTY.
- THERE ARE NO WETLAND AREAS ON THE SUBJECT PROPERTY.

TITLE DESCRIPTION

EXCEPTIONS ACCORDING TO FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. 2082746 REVISION E DATED MARCH 4, 2014.

PARCEL 1:
A PORTION OF RESERVE "A", KENSINGTON GARDENS, SEDGWICK COUNTY, KANSAS DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF LOT 1 OF SAID KENSINGTON GARDENS; THENCE SOUTH 89°17'45" WEST (BASIS OF BEARING IS NAD83 GRID KANSAS SOUTH ZONE) ALONG THE SOUTH LINE OF SAID RESERVE "A" A DISTANCE OF 559.77 FEET (560.00 FEET RECORD) TO THE EASTERLY RIGHT-OF-WAY LINE OF GREENWICH ROAD, SAID LINE ALSO BEING THE NORTH LINE OF SAID LOTS 10 AND 11, BLOCK 1, VILLAGE AT GREENWICH ADDITION, WICHITA, SEDGWICK COUNTY, KANSAS; THENCE NORTH 0°43'24" WEST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF GREENWICH ROAD 574.37 FEET (574.73 FEET RECORD) TO THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY; THENCE NORTH 58°27'27" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 114.13 FEET (114.17 FEET RECORD); THENCE NORTH 87°05'55" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 411.65 FEET (411.71 FEET RECORD); THENCE SOUTH 88°14'43" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 255.14 FEET (255.05 FEET RECORD); THENCE SOUTH 79°21'26" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 182.71 FEET (182.74 FEET RECORD); THENCE SOUTH 66°46'54" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 30.01 FEET (30.00 FEET RECORD); THENCE SOUTH 66°46'02" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 52.59 FEET; THENCE SOUTH 01°00'53" EAST 515.78 FEET TO THE EXTENSION OF THE SOUTH LINE OF SAID RESERVE "A"; THENCE SOUTH 89°17'45" WEST ALONG THE SOUTH LINE OF SAID RESERVE "A" AND THE EXTENSIONS THEREOF 702.02 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY THE "MUTUAL ACCESS EASEMENT AGREEMENT" FILED ON DOC#/FLM-PG: _____ FOR INGRESS AND EGRESS OVER AND ACROSS THE FOLLOWING PROPERTY DESCRIBED THEREIN.

PARCEL 3:
A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY THE "MUTUAL ACCESS EASEMENT AGREEMENT" FILED ON DOC#/FLM-PG: _____ FOR INGRESS AND EGRESS OVER AND ACROSS THE FOLLOWING PROPERTY DESCRIBED THEREIN.

BENCH MARKS

SITE DATUM: CHISELED SQUARE IN TOP OF INLET ON TOP OF CURB ON WEST END OF ISLAND 42.2 FEET NORTH AND 4.8 FEET EAST OF THE NORTHWEST CORNER OF LOT 7 AS RECORDED ON THE PLAT OF VILLAGE AT GREENWICH ADDITION AT THE REGISTER OF DEEDS, SEDGWICK COUNTY, KANSAS.
ELEVATION=1366.975(NAV088)
ELEVATION=1367.46(NAV088)

SBM-1: CHISELED SQUARE IN CENTER OF INLET ON THE EAST SIDE OF NORTH GREENWICH ROAD 12.8 FEET SOUTH AND 14.1 FEET WEST OF THE SOUTHWEST CORNER OF SUBJECT PROPERTY.
ELEVATION=1368.92(NAV088)

SBM-2: CHISELED SQUARE IN CENTER OF INLET ON THE EAST SIDE OF NORTH GREENWICH ROAD 63.5 FEET NORTH AND 19.6 FEET WEST OF THE NORTHWEST CORNER OF SUBJECT PROPERTY.
ELEVATION=1367.72(NAV088)

POSSIBLE ENCROACHMENTS

- ALONG THE SOUTH PROPERTY LINE OF THE SUBJECT PROPERTY IT APPEARS THE WOVEN WIRE AND WOODEN FENCE RUNNING ALONG SAID PROPERTY LINES MEANDER ON AND OFF THE PROPERTY.

SURVEYOR'S CERTIFICATE

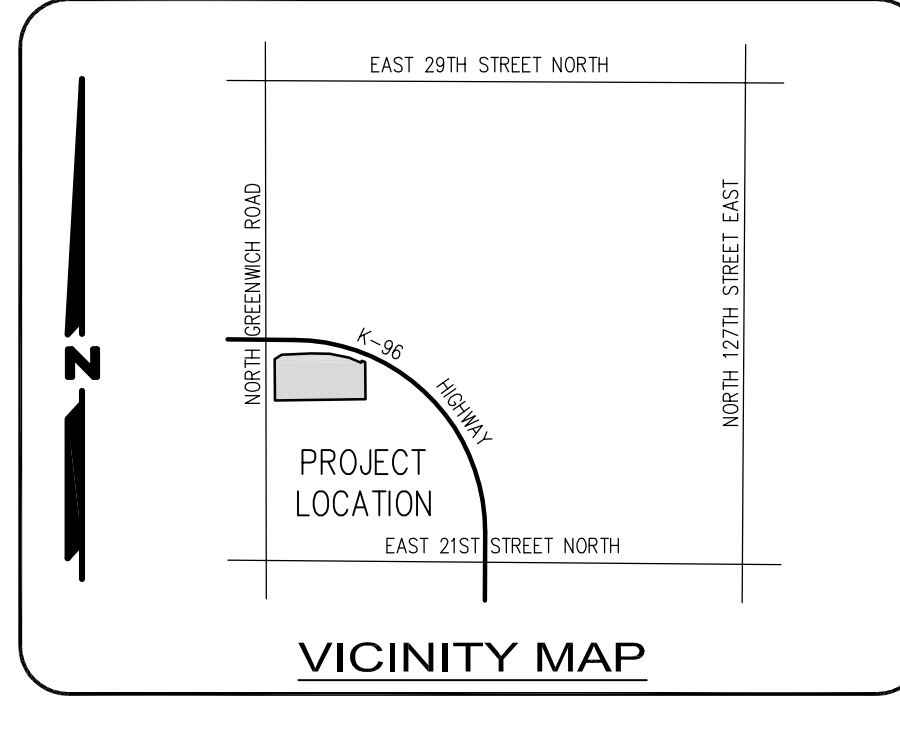
ALTA/ACSM LAND TITLE SURVEY FOR
SF-WICHITA-I, L.P., A TEXAS LIMITED PARTNERSHIP
BANK OF THE OZARKS AND ITS SUCCESSORS AND ASSIGNS
KENSINGTON GARDENS, L.L.C., A KANSAS LIMITED LIABILITY COMPANY
AND
FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(B), 8, 11(A), 13, 14, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 19, 2013.

LLOYD P. DORZMUELLER, LS #885, IN THE STATE OF KANSAS
ALPHA LAND SURVEYS, INC.
ONE EAST NINTH AVENUE
HUTCHINSON, KS 67502
PH: (620)728-0012
EMAIL: LLOYD@ALPHALANDSURVEYS.COM

885
KANSAS
LICENSED LAND SURVEYOR

SURVEY DATE: 08/19/2013 PLOT DATE: 09/27/2013
DRAWN BY: RDB PROJ. NO.: 130200P
CHECKED BY: LPD SHEET 1 OF 1



UTILITY NOTES

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE BY KANSAS ONE-CALL TICKET NO.: 13324153, 13324154, 13324157, 13324162 AND 13324165 DATED APRIL 20, 2011. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

FLOOD INFORMATION

THE PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD PLAN OR IN AN IDENTIFIED "FLOOD PRONE AREA," AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, PURSUANT TO THE FLOOD DISASTER PROTECTION ACT OF 1973, AS AMENDED, AS REFLECTED BY WICHITA, KANSAS FLOOD INSURANCE RATE MAP PANEL # 2017300377E, DATED FEBRUARY 2, 2007, WHICH SAME MAP PANEL COVERS THE AREA IN WHICH THE PROPERTY IS SITUATED. THE PROPERTY IS LOCATED WITHIN ZONE "X". THE ADDRESS OF THE PROPERTY IS UNKNOWN AT THIS TIME.

ZONING INFORMATION

GENERAL DESCRIPTION:
SF-5 SINGLE-FAMILY RESIDENTIAL DISTRICT

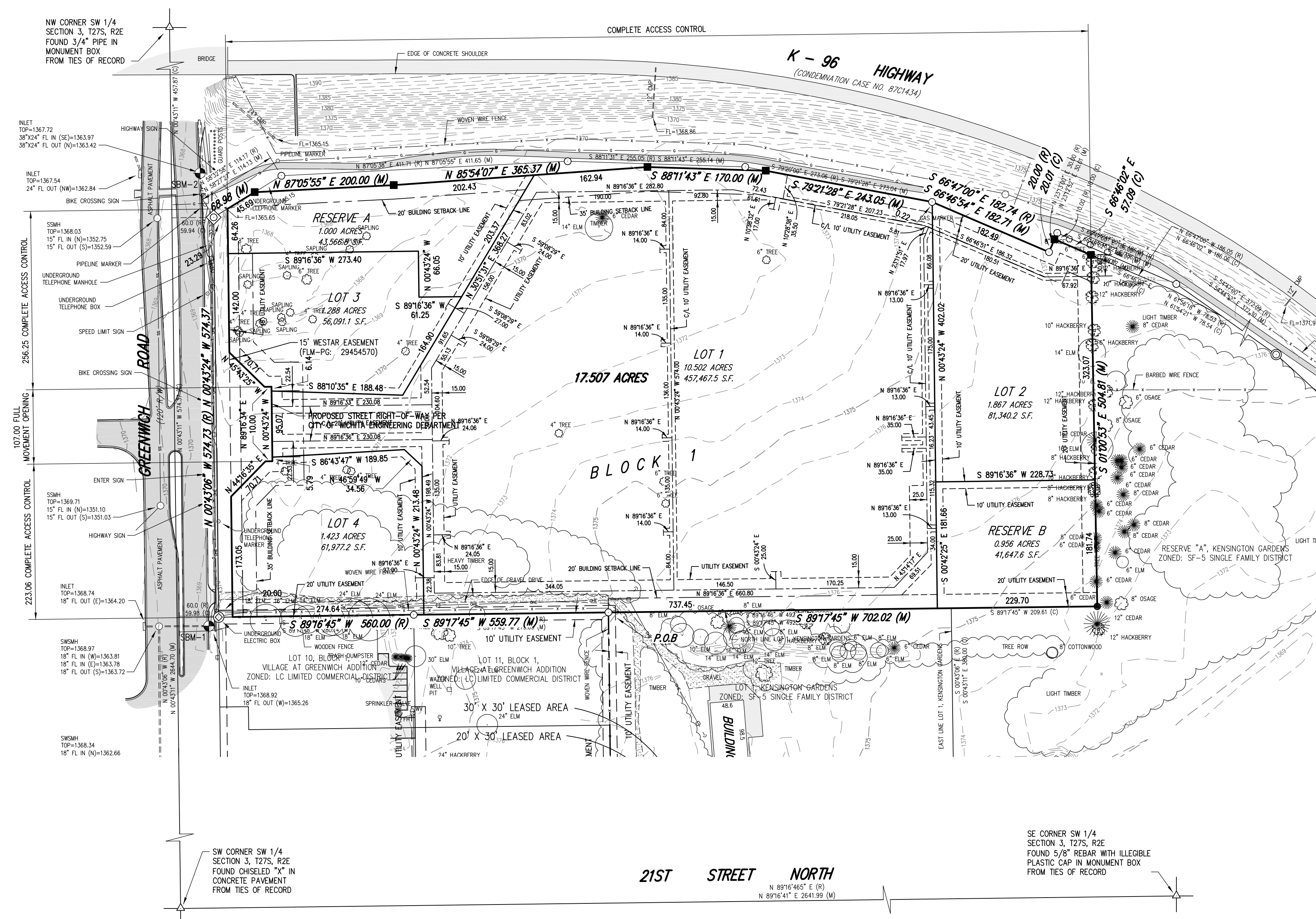
HEIGHT RESTRICTIONS:
35 FEET.

SETBACK REQUIREMENTS:
FRONT YARD SETBACK - 25 FEET PER ZONING CODE.
REAR YARD SETBACK - 35 FEET PER RECORD SUBDIVISION.
SIDE YARD SETBACK - 6 FEET.
REAR YARD SETBACK - 20 FEET.

PRELIMINARY PLAT

WICHITA CROSSING

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.



DESCRIPTIONS

A PORTION OF RESERVE "A", KENSINGTON GARDENS, SEDGWICK COUNTY, KANSAS DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF LOT 1 OF SAID KENSINGTON GARDENS, THENCE SOUTH 89°17'45" WEST (BASIS OF BEARING IS NAD83 GRID KANSAS SOUTH ZONE) ALONG THE SOUTH LINE OF SAID RESERVE "A" A DISTANCE OF 559.77 FEET (560.00 FEET RECORD) TO THE EASTERLY RIGHT-OF-WAY LINE OF GREENWICH ROAD, SAID LINE ALSO BEING THE NORTH LINE OF SAID LOTS 10 AND 11, BLOCK 1, VILLAGE AT GREENWICH ADDITION, WICHITA, SEDGWICK COUNTY, KANSAS; THENCE NORTH 00°43'24" WEST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF GREENWICH ROAD 574.37 FEET (574.73 FEET RECORD) TO THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY; THENCE NORTH 58°27'27" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 68.98 FEET; THENCE NORTH 87°05'55" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 200.00 FEET; THENCE NORTH 85°54'07" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 365.37 FEET; THENCE SOUTH 88°11'43" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 170.00 FEET; THENCE SOUTH 79°21'28" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 243.05 FEET; THENCE SOUTH 66°46'54" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 182.71 FEET (182.74 FEET RECORD); THENCE NORTH 23°12'52" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 20.01 FEET; THENCE SOUTH 66°46'02" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 57.09 FEET; THENCE SOUTH 01°00'53" EAST 504.81 FEET TO THE EXTENSION OF THE SOUTH LINE OF SAID RESERVE "A"; THENCE SOUTH 89°17'45" WEST ALONG THE SOUTH LINE OF SAID RESERVE "A" AND THE EXTENSIONS THEREOF 702.02 FEET TO THE POINT OF BEGINNING, CONTAINING 17.507 ACRES.

OWNER

KENSINGTON GARDENS, LLC.
ATTN: WILLIAM L. COZINE AND W. ASHLEY COZINE
11500 EAST 21ST
WICHITA, KS 67206

SUBDIVIDER

SF WICHITA - I, LTD
SEITZ GROUP, INC.
ATTN: R. ERIC SEITZ
5729 LEBANON ROAD, SUITE 144
FRISCO, TEXAS, 75034

SURVEYOR

LLOYD P. DORZWEILER, LS 885
ALPHA LAND SURVEYS, INC.
216 WEST SECOND AVENUE
HUTCHINSON, KS 67501
PHONE: 620-728-0012

PROPERTY INFORMATION

PROPERTY WAS SURVEYED ON AUGUST 19, 2013.
EXISTING ZONING: SF-5 SINGLE-FAMILY RESIDENTIAL DISTRICT
PROPOSED ZONING: COMMUNITY UNIT PLAN DP-328

CLOSURE REPORT

ERROR CLOSURE: 0.0092 COURSE: S 52°01'21" W
ERROR NORTH: -0.0056 ERROR EAST: -0.0072
PERIMETER: 3648.18 PRECISION 1: 397411

BENCH MARKS

SITE DATUM: CHISELED SQUARE IN TOP OF CURB ON WEST END OF ISLAND 42.2 FEET NORTH AND 4.8 FEET EAST OF THE NORTHWEST CORNER OF LOT 7 AS RECORDED ON THE PLAT OF VILLAGE AT GREENWICH ADDITION AT THE REGISTER OF DEEDS, SEDGWICK COUNTY, KANSAS.
ELEVATION=1366.975(NVD29)
ELEVATION=1367.46(NVD88)

SBM-1: CHISELED SQUARE IN CENTER OF INLET ON THE EAST SIDE OF NORTH GREENWICH ROAD 12.8 FEET SOUTH AND 14.1 FEET WEST OF THE SOUTHWEST CORNER OF SUBJECT PROPERTY.
ELEVATION=1368.92(NVD88)

SBM-2: CHISELED SQUARE IN CENTER OF INLET ON THE EAST SIDE OF NORTH GREENWICH ROAD 63.5 FEET NORTH AND 19.6 FEET WEST OF THE NORTHWEST CORNER OF SUBJECT PROPERTY.
ELEVATION=1367.72(NVD88)

UTILITY NOTES

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE BY KANSAS ONE-CALL TICKET NO.: 13324153, 13324154, 13324157, 13324162 and 13324165 DATED APRIL 20, 2011. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

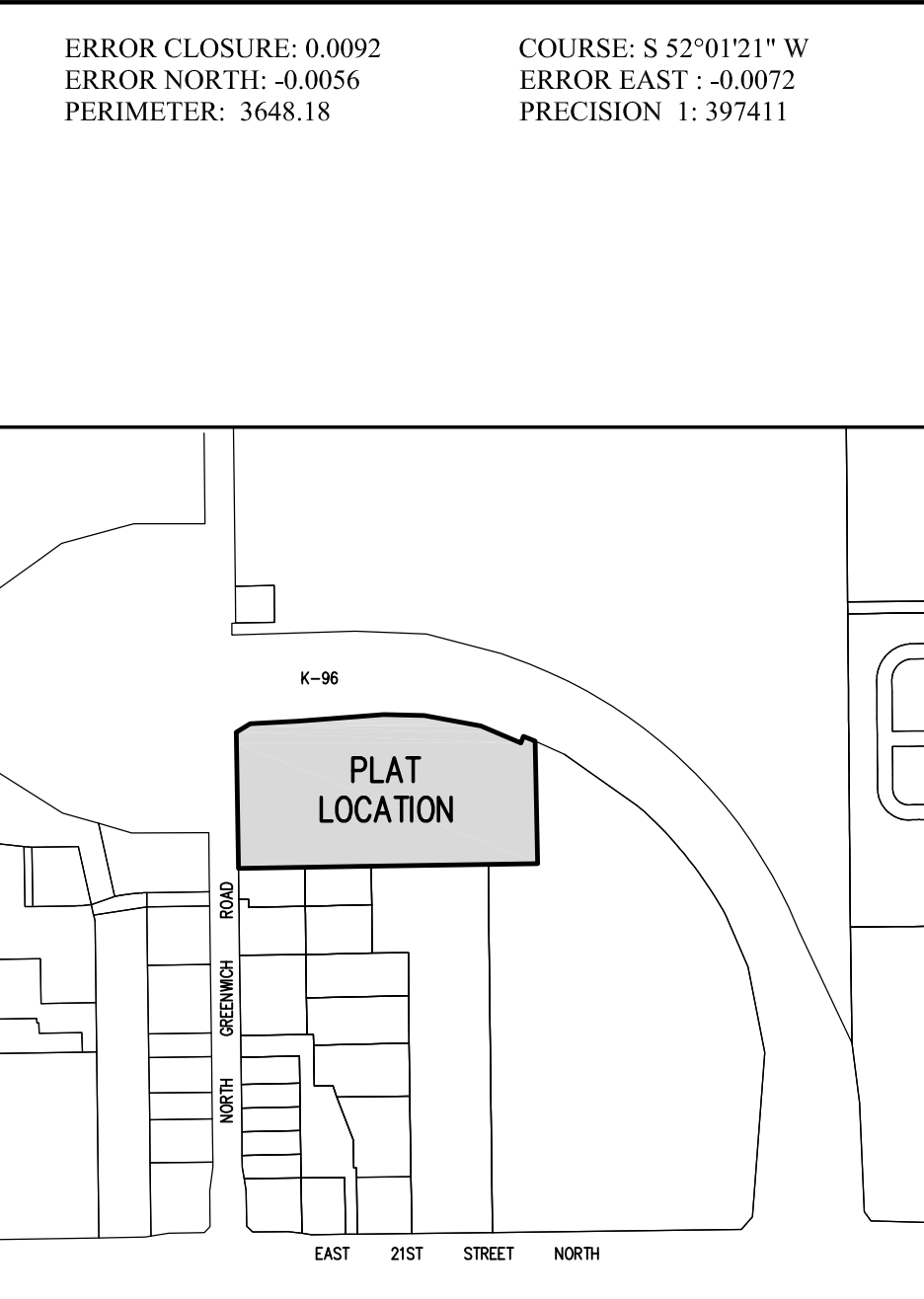
FLOOD NOTE

THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR SEDGWICK COUNTY, KANSAS, COMMUNITY PANEL NUMBER 201730377E. EFFECTIVE DATE FEBRUARY 2, 2007.

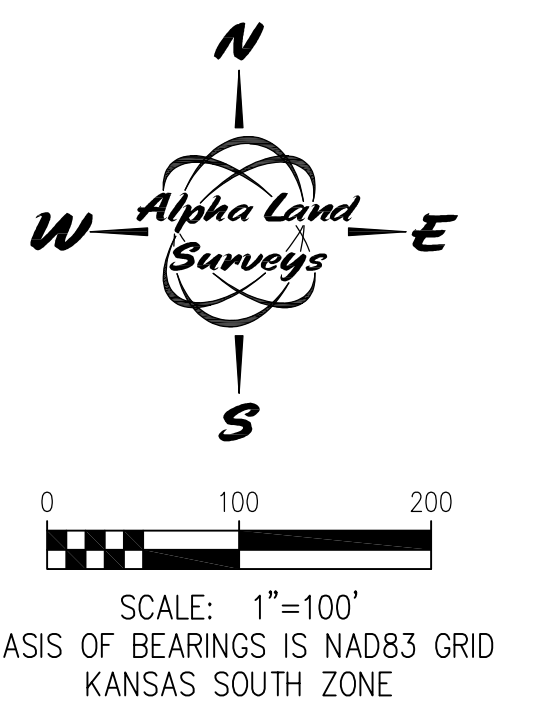
LEGEND OF SYMBOLS & ABBREVIATIONS

- △ SECTION SUBDIVISION CORNER FOUND
- FOUND WITH PLASTIC CAP
- ⊕ STAMPED "BAUGHMAN"
- ⊕ FOUND WITH PLASTIC CAP
- ⊕ STAMPED "R&B"
- ⊕ FOUND WITH PLASTIC CAP
- ⊕ STAMPED "M&C"
- ⊕ FOUND 3/4" PIPE UNKNOWN ORIGIN
- ⊕ FOUND 1/2" PIPE UNKNOWN ORIGIN
- ⊕ SET 1/2" REBAR WITH CAP
- ⊕ STAMPED "ALPHA CLS-184"
- ⊕ SET 1/2" REBAR WITH CAP STAMPED "ALPHA CLS-184" IN CONCRETE
- ⊕ POWER POLE
- ⊕ TELEGRAPH POLE
- ⊕ LIGHT POLE
- ⊕ GUY ANCHOR
- ⊕ UNDERGROUND ELECTRIC BOX
- ⊕ UNDERGROUND TELEPHONE PEDESTAL
- ⊕ UNDERGROUND CABLE TELEVISION PEDESTAL
- ⊕ TREE / SHRUB
- N. NORTH
- S. SOUTH
- E. EAST
- W. WEST
- ° DEGREES
- ' FEET OR MINUTES
- " INCHES OR SECONDS
- SQ. SQUARE
- FT. FEET
- VOL. VOLUME
- PG. PAGE
- O.R. OFFICIAL RECORD
- C. CALCULATED
- R. RECORD
- GM ○ GAS METER
- MH ○ MANHOLE
- SSMH ○ SANITARY SEWER MANHOLE
- CO ○ CLEANOUT
- SSWMH ○ STORMWATER SEWER MANHOLE
- WM ○ WATER METER
- WV ○ WATER VALVE
- FH ○ FIRE HYDRANT
- MW ○ MONITOR WELL
- SH ○ SPRINKLER HEAD
- GP ○ GUARD POST
- OEH --- OVERHEAD ELECTRIC
- UEH --- UNDERGROUND ELECTRIC
- UT --- UNDERGROUND TELEPHONE
- G --- GAS LINE
- TV --- UNDERGROUND TELEVISION CABLE
- SS --- SANITARY SEWER LINE
- W --- WATER LINE
- X --- FENCE
- M. MEASURED
- R/W RIGHT OF WAY
- C/L CENTERLINE
- RCP REINFORCED CONCRETE PIPE
- CMP CORRUGATED METAL PIPE
- CMFHC CORRUGATED METAL PIPE HORIZONTAL
- TC TOP OF CURB
- FL FLOWLINE
- TOP TOP OF PAVEMENT
- EL ELEVATION
- TOW TOP OF WALL
- HC HANDICAP
- POB POINT OF BEGINNING

VICINITY MAP



(NOT TO SCALE)



REVISION NO.	DATE	DESCRIPTION
3	07/24/2014	ADDED COMMENTS FROM PRELIMINARY PLAT REVIEW
2	05/23/2014	LOTS AND RESERVE AREA REVISIONS
1	04/16/2014	LOTS 1 AND 3 AND RESERVE AREA "X" REVISIONS

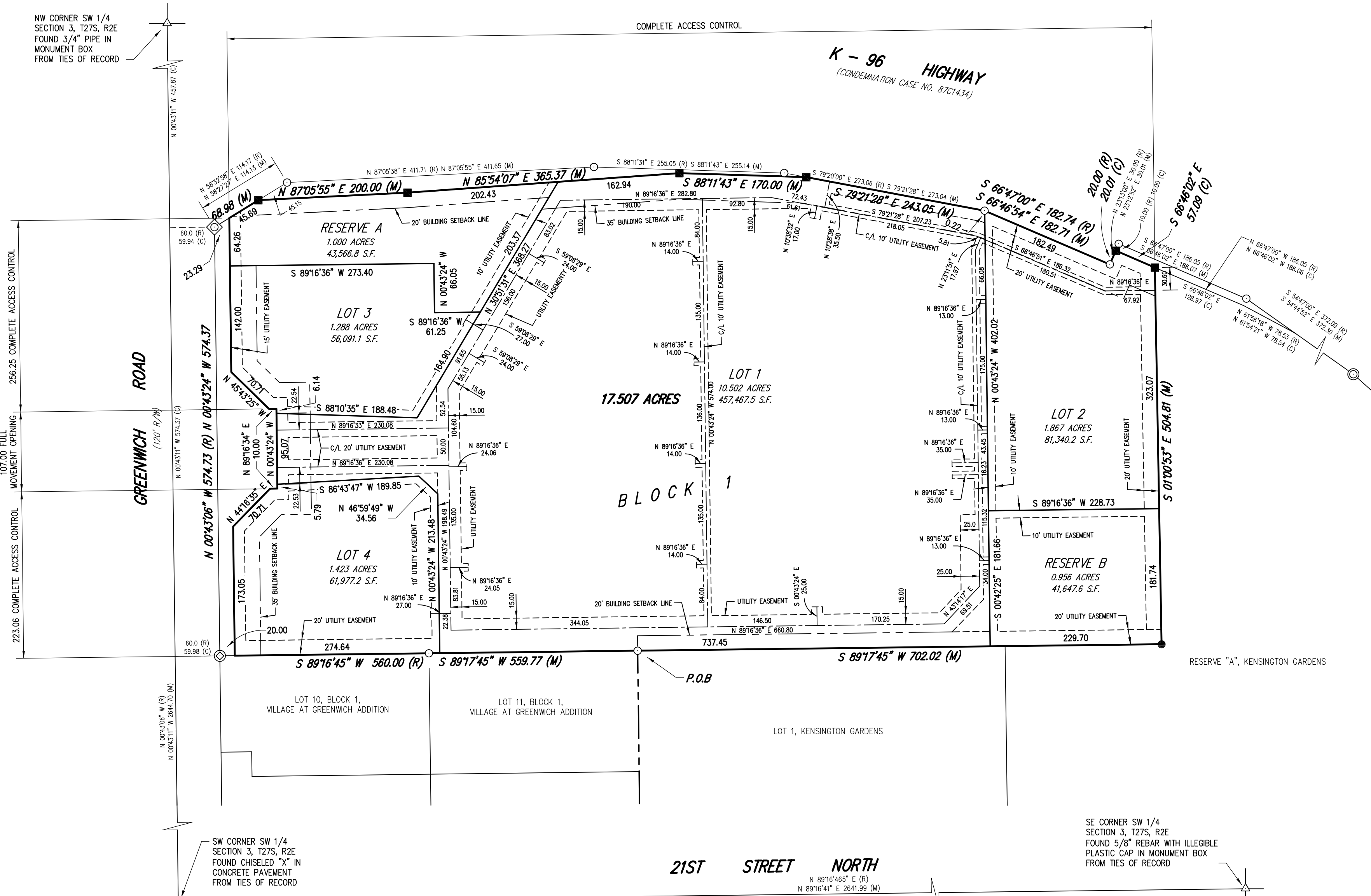
Alpha Land Surveys, Inc.
216 WEST SECOND AVENUE
HUTCHINSON, KANSAS 67501
PH. (620) 728-0012 FAX: (620) 728-0413

SURVEY DATE: 08/19/2013 PLOT DATE: 06/02/2014
DRAWN BY: RDB PROJ. NO.: 130200P
CHECKED BY: LPD SHEET 1 OF 1

FINAL PLAT

WICHITA CROSSING

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

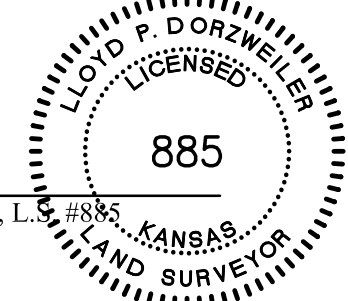


SURVEYOR'S CERTIFICATE AND DESCRIPTION

I, LLOYD P. DORZWEILER, A LICENSED LAND SURVEYOR OF THE STATE OF KANSAS, DO HEREBY CERTIFY THAT THE FOLLOWING DESCRIBED TRACT OF LAND WAS SURVEYED ON _____ DAY OF _____, 20____ AND THE ACCOMPANYING FINAL PLAT PREPARED AND THAT ALL MONUMENTS SHOWN HEREIN ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN TO THE BEST OF MY KNOWLEDGE AND BELIEF:

A PORTION OF RESERVE "A", KENSINGTON GARDENS, SEDGWICK COUNTY, KANSAS DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF LOT 1 OF SAID KENSINGTON GARDENS, THENCE SOUTH 89°17'45" WEST (BASIS OF BEARING IS NAD83 GRID KANSAS SOUTH ZONE) ALONG THE SOUTH LINE OF SAID RESERVE "A" A DISTANCE OF 559.77 FEET (560.00 FEET RECORD) TO THE EASTERLY RIGHT-OF-WAY LINE OF GREENWICH ROAD, SAID LINE ALSO BEING THE NORTH LINE OF SAID LOTS 10 AND 11, BLOCK 1, VILLAGE AT GREENWICH ADDITION, WICHITA, SEDGWICK COUNTY, KANSAS; THENCE NORTH 00°43'24" WEST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF GREENWICH ROAD 574.37 FEET (574.73 FEET RECORD) TO THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY; THENCE NORTH 58°27'27" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 68.98 FEET; THENCE NORTH 87°05'55" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 200.00 FEET; THENCE NORTH 85°54'07" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 365.37 FEET; THENCE SOUTH 88°11'43" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 170.00 FEET; THENCE SOUTH 79°21'28" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 243.05 FEET; THENCE SOUTH 66°46'54" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 182.71 FEET (182.74 FEET RECORD); THENCE NORTH 23°12'52" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 20.01 FEET; THENCE SOUTH 66°46'02" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF K-96 HIGHWAY 57.09 FEET; THENCE SOUTH 01°00'53" EAST 504.81 FEET TO THE EXTENSION OF THE SOUTH LINE OF SAID RESERVE "A"; THENCE SOUTH 89°17'45" WEST ALONG THE SOUTH LINE OF SAID RESERVE "A" AND THE EXTENSIONS THEREOF 702.02 FEET TO THE POINT OF BEGINNING, CONTAINING 17.507 ACRES.

EXISTING PUBLIC EASEMENTS AND DEDICATIONS ARE BEING VACATED BY VIRTUE OF K.S.A. 12-512B AS AMENDED.



OWNER'S CERTIFICATE AND DEDICATION

STATE OF KANSAS)
) SS
 SEDGWICK COUNTY)

THIS IS TO CERTIFY THAT THE UNDERSIGNED OWNER(S) OF THE LAND DESCRIBED IN THE SURVEYOR'S CERTIFICATE, HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED ON THE ACCOMPANYING PLAT INTO LOTS, BLOCKS, STREETS, AND OTHER PUBLIC WAYS UNDER THE NAME OF "WICHITA CROSSING", A REPLAT OF A PORTION OF RESERVE "A", KENSINGTON GARDENS, SEDGWICK COUNTY, KANSAS.

THIS PLAT SHALL CONFORM TO THE RECITALS OF THE K-96 AND GREENWICH SOUTH COMMUNITY UNIT PLAN (CUP2012-00026, DP-328).

LOTS 1, 2, 3 AND 4, BLOCK 1, ARE REQUIRED TO ADHERE TO THE MINIMUM PAD ELEVATIONS AS SHOWN ON THE "MINIMUM PAD ELEVATIONS" TABLE.

THE UTILITY EASEMENTS ARE HEREBY GRANTED AS INDICATED FOR THE CONSTRUCTION AND MAINTENANCE OF ALL PUBLIC UTILITIES.

ALL STREETS ARE HEREBY DEDICATED TO AND FOR THE USE OF THE PUBLIC.

ACCESS CONTROLS SHALL BE AS DEPICTED ON THE FACE OF THE PLAT AND ARE HEREBY GRANTED TO THE APPROPRIATE GOVERNING BODY.

RESERVES A AND B ARE PLATTED FOR STORMWATER DETENTION, LANDSCAPING, AND IRRIGATION. RESERVES A AND B SHALL BE OWNED AND MAINTAINED BY SF WICHITA - I, LTD.

A DRAINAGE PLAN HAS BEEN DEVELOPED FOR THE PLAT. ALL DRAINAGE EASEMENTS, RIGHTS-OF-WAY, OR RESERVES SHALL REMAIN AT ESTABLISHED GRADES AND UNOBTSTRUCTED TO ALLOW FOR CONVEYANCE OF STORMWATER, UNLESS MODIFIED WITH THE APPROVAL OF THE APPLICABLE CITY OF COUNTY ENGINEER.

SF WICHITA - I, LTD

R. ERIC SEITZ, GENERAL PARTNER

NOTARY CERTIFICATE

STATE OF TEXAS, COUNTY OF COLLIN ; SS:

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY R. ERIC SEITZ, GENERAL PARTNER OF SF WICHITA - I, LTD.

_____, NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

MORTGAGE CERTIFICATE

BANK OF THE OZARKS, HOLDER OF A MORTGAGE ON THE ABOVE DESCRIBED PROPERTY, DOES HEREBY CONSENT TO THE PLAT OF "WICHITA CROSSING".

BANK OF THE OZARKS

NAME, TITLE _____

STATE OF ?????, COUNTY OF ????? ; SS:

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY NAME, TITLE OF BANK OF THE OZARKS.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL, THE DAY AND YEAR LAST ABOVE WRITTEN.

_____, NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

PLANNING COMMISSION CERTIFICATE

STATE OF KANSAS, CITY OF WICHITA ; SS:

THIS PLAT OF "WICHITA SHOPPING", WICHITA, SEDGWICK COUNTY, KANSAS HAS BEEN APPROVED BY THE WICHITA-SEGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION, WICHITA, KANSAS.

DATED THIS _____ DAY OF _____, 20____.

WICHITA-SEGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

 DON KLAUSMEYER, CHAIR

 JOHN L. SCHIEGEL, SECRETARY

GOVERNING BODY CERTIFICATE

STATE OF KANSAS, CITY OF WICHITA ; SS:

THIS PLAT APPROVED AND ALL DEDICATIONS SHOWN HEREON, IF ANY, ARE ACCEPTED BY CITY COUNCIL OF THE CITY OF WICHITA, KANSAS, THIS _____ DAY OF _____, 20____.

 CAROL BREWER, MAYOR

 KAREN SUBLETT, CITY CLERK

TRANSFER RECORD

ENTERED ON TRANSFER RECORD THIS _____ DAY OF _____, 20____.

 KELLY B. ARNOLD, COUNTY CLERK

REGISTER OF DEEDS

STATE OF KANSAS, CITY OF WICHITA ; SS:

THIS IS TO CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN THE REGISTER OF DEEDS OFFICE, AT _____ (A.M.) (P.M.), ON THIS _____ DAY OF _____, 20____.

 BILL MEEK, REGISTER OF DEEDS

 TONYA BUCKINGHAM, DEPUTY

COUNTY SURVEYOR CERTIFICATE

STATE OF KANSAS, SEDGWICK COUNTY ; SS:

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN REVIEWED FOR FILING, PURSUANT TO K.S.A. 58-2005 AND K.S.A. 58-2001 FOR CONTENT ONLY AND IS IN COMPLIANCE WITH THOSE PROVISIONS. NO OTHER WARRANTIES ARE EXTENDED OR IMPLIED.

 TRICIA L. ROBELLO, LS #1246
 DEPUTY COUNTY SURVEYOR
 SEDGWICK COUNTY, KANSAS

BENCH MARKS

SITE DATUM: CHISELED SQUARE IN TOP OF CURB ON WEST END OF ISLAND 42.2 FEET NORTH AND 4.8 FEET EAST OF THE NORTHWEST CORNER OF LOT 7 AS RECORDED ON THE PLAT OF VILLAGE AT GREENWICH ADDITION AT THE REGISTER OF DEEDS, SEDGWICK COUNTY, KANSAS.
 ELEVATION=1366.975(NGVD29)
 ELEVATION=1367.46(NAVD88)

SBM-1: CHISELED SQUARE IN CENTER OF INLET ON THE EAST SIDE OF NORTH GREENWICH ROAD 12.8 FEET SOUTH AND 14.1 FEET WEST OF THE SOUTHWEST CORNER OF SUBJECT PROPERTY.
 ELEVATION=1368.92(NAVD88)

SBM-2: CHISELED SQUARE IN CENTER OF INLET ON THE EAST SIDE OF NORTH GREENWICH ROAD 63.5 FEET NORTH AND 19.6 FEET WEST OF THE NORTHWEST CORNER OF SUBJECT PROPERTY.
 ELEVATION=1367.72(NAVD88)

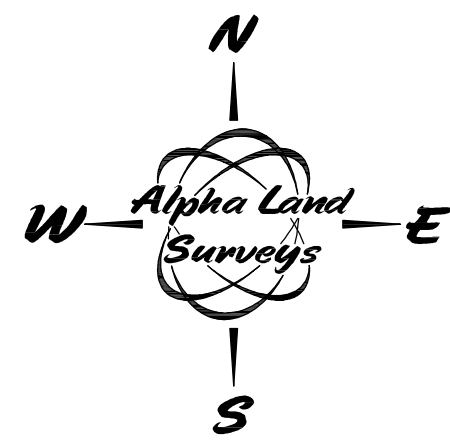
FLOOD NOTE

THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR SEDGWICK COUNTY, KANSAS, COMMUNITY PANEL NUMBER 20173C0037E. EFFECTIVE DATE FEBRUARY 2, 2007.

LEGEND OF SYMBOLS & ABBREVIATIONS

- △ SECTION SUBDIVISION CORNER FOUND
- FOUND WITH PLASTIC CAP
- ◇ STAMPED "BAUGHMAN"
- ◇ FOUND WITH PLASTIC CAP
- ◇ STAMPED "R&B"
- ◇ FOUND WITH PLASTIC CAP
- ◇ STAMPED "MKEC"
- FOUND 3/4" PIPE UNKNOWN ORIGIN
- FOUND 1/2" PIPE UNKNOWN ORIGIN
- SET 1/2" REBAR WITH CAP
- STAMPED "ALPHA QLS-184"
- SET 1/2" REBAR WITH CAP STAMPED "ALPHA QLS-184" IN CONCRETE

- N. NORTH
- S. SOUTH
- E. EAST
- W. WEST
- . DEGREES
- ' FEET OR MINUTES
- " INCHES OR SECONDS
- SQ. SQUARE
- FT. FEET
- VOL. VOLUME
- PG. PAGE
- O.R. OFFICIAL RECORD
- C. CALCULATED
- R. RECORD
- M. MEASURED



SCALE: 1"=100'
 BASIS OF BEARINGS IS NAD83 GRID
 KANSAS SOUTH ZONE

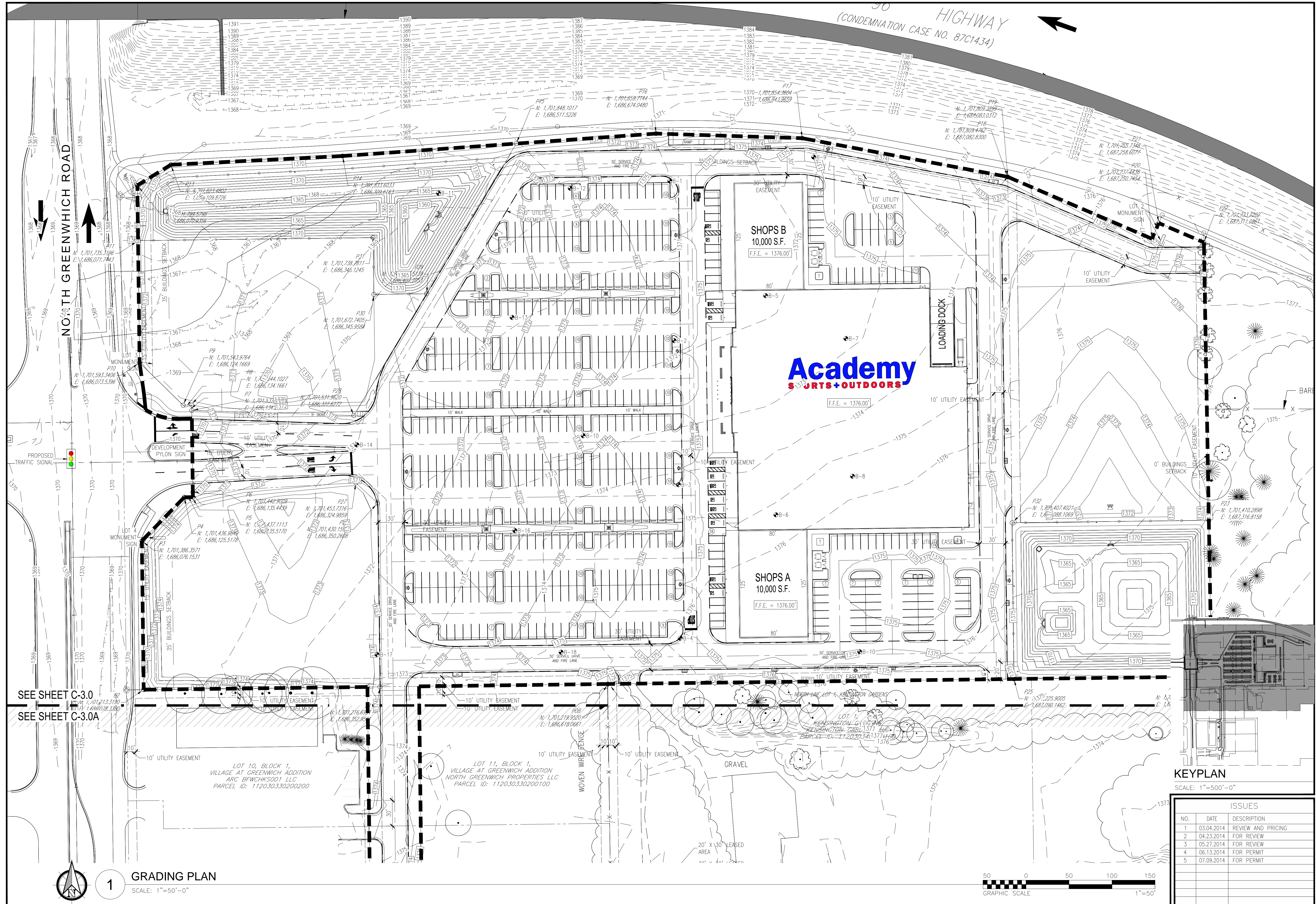
MINIMUM PAD ELEVATIONS

LOT NUMBER	ELEVATION
1	1372.0 (NAVD88)
2	1372.0 (NAVD88)
3	1372.0 (NAVD88)
4	1372.0 (NAVD88)

Alpha Land Surveys, Inc.

216 WEST SECOND AVENUE
 HUTCHINSON, KANSAS 67501
 PH. (620) 728-0012 FAX: (620) 728-0413

SURVEY DATE: 08/19/2013 PLOT DATE: 07/24/2014
 DRAWN BY: RDB PROJ. NO.: 130200P
 CHECKED BY: LPD SHEET 1 OF 1



SEE SHEET C-3.0
SEE SHEET C-3.0A

1 GRADING PLAN
SCALE: 1"=50'-0"

KEYPLAN
SCALE: 1"=500'-0"

ISSUES		
NO.	DATE	DESCRIPTION
1	03.04.2014	REVIEW AND PRICING
2	04.23.2014	FOR REVIEW
3	05.27.2014	FOR PERMIT
4	06.13.2014	FOR PERMIT
5	07.09.2014	FOR PERMIT

THE SUTZ GROUP
Development & Sale of Retail Properties
5729 LEBANON ROAD, SUITE 144
FRISCO, TX 75034
T. 214-705-1078 F. 214-407-8912

WICHITA CROSSING
A PORTION OF LOT 1 AND RESERVE "A",
KENSINGTON GARDENS
CITY OF WICHITA, SEDGWICK COUNTY, KANSAS

23322
Professional Engineer
07/01/2014

Carlos I. Cabré P.E.
Development & Engineering Consultant
2201 Long Prairie, Suite 100-202
Ft. Worth, Texas 76122

GRADING PLAN
DRAWING TITLE:
DATE: JULY 09, 2014
SCALE: 1"=50'
JOB NUMBER: 12-09
DRAWING NUMBER:

C-3.0



SEE SHEET C-3.0
SEE SHEET C-3.0A

LOT 10, BLOCK 1,
VILLAGE AT GREENWICH ADDITION
ARC BFWCHK5001 LLC
PARCEL ID: 112030330200200

LOT 9, BLOCK 1,
VILLAGE AT GREENWICH ADDITION
NORTH GREENWICH PROPERTIES LLC
PARCEL ID: 112030330200300

LOT 8, BLOCK 1,
VILLAGE AT GREENWICH ADDITION
GREENWICH INVESTMENT GROUP LLC
PARCEL ID: 112030330200400

RESERVE "A"
VILLAGE AT GREENWICH ADDITION
GREENWICH INVEST GROUP LLC
PARCEL ID: 1120303302012

LOT 7, BLOCK 1,
VILLAGE AT GREENWICH ADDITION
GREENWICH INVESTMENT GROUP LLC
PARCEL ID: 112030330200500

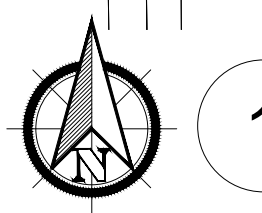
LOT 11, BLOCK 1,
VILLAGE AT GREENWICH ADDITION
NORTH GREENWICH PROPERTIES LLC
PARCEL ID: 112030330200100

LOT 12, BLOCK 1,
VILLAGE AT GREENWICH ADDITION
NORTH GREENWICH PROPERTIES LLC
PARCEL ID: 112030330201600

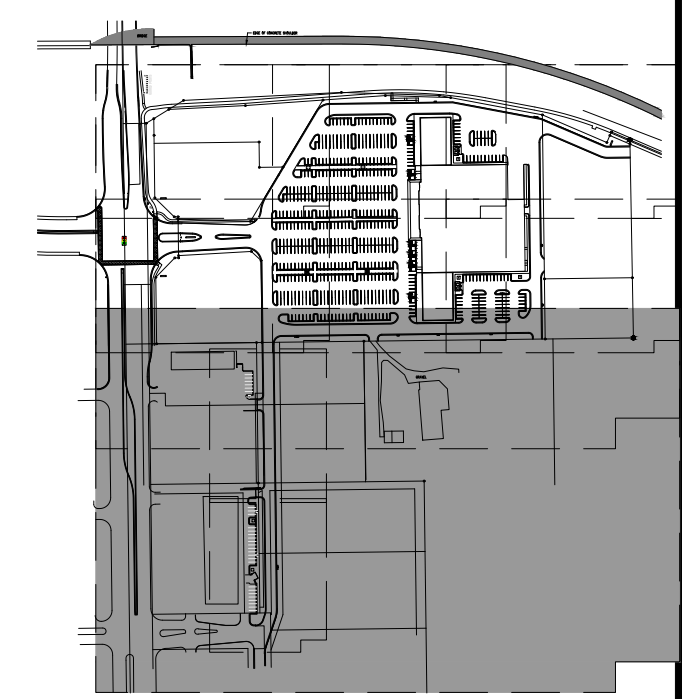
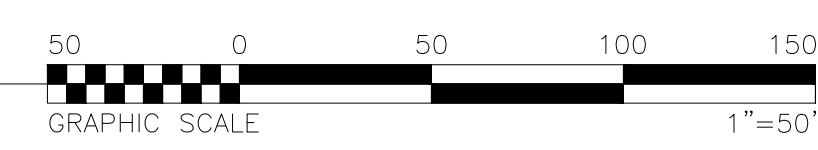
LOT 13, BLOCK 1,
VILLAGE AT GREENWICH ADDITION
GREENWICH INVEST GROUP LLC
PARCEL ID: 112030330201500

LOT 14, BLOCK 1,
VILLAGE AT GREENWICH ADDITION
GREENWICH INVEST GROUP LLC
PARCEL ID: 112030330201400

LOT 15, BLOCK 1,
VILLAGE AT GREENWICH ADDITION
WICHITA HOSPITALITY GROUP LLC
PARCEL ID: 112030330201300



1 GRADING PLAN
SCALE: 1"=50'-0"



KEY PLAN
SCALE: 1"=500'-0"

ISSUES		
NO.	DATE	DESCRIPTION
4	06.13.2014	FOR PERMIT
5	07.09.2014	FOR PERMIT

THE SEITZ GROUP
DEVELOPMENT & SALE OF REAL PROPERTY
5729 LEBANON ROAD, SUITE 144
FRISCO, TX 75034
T: 214-705-1078 F: 214-407-8912

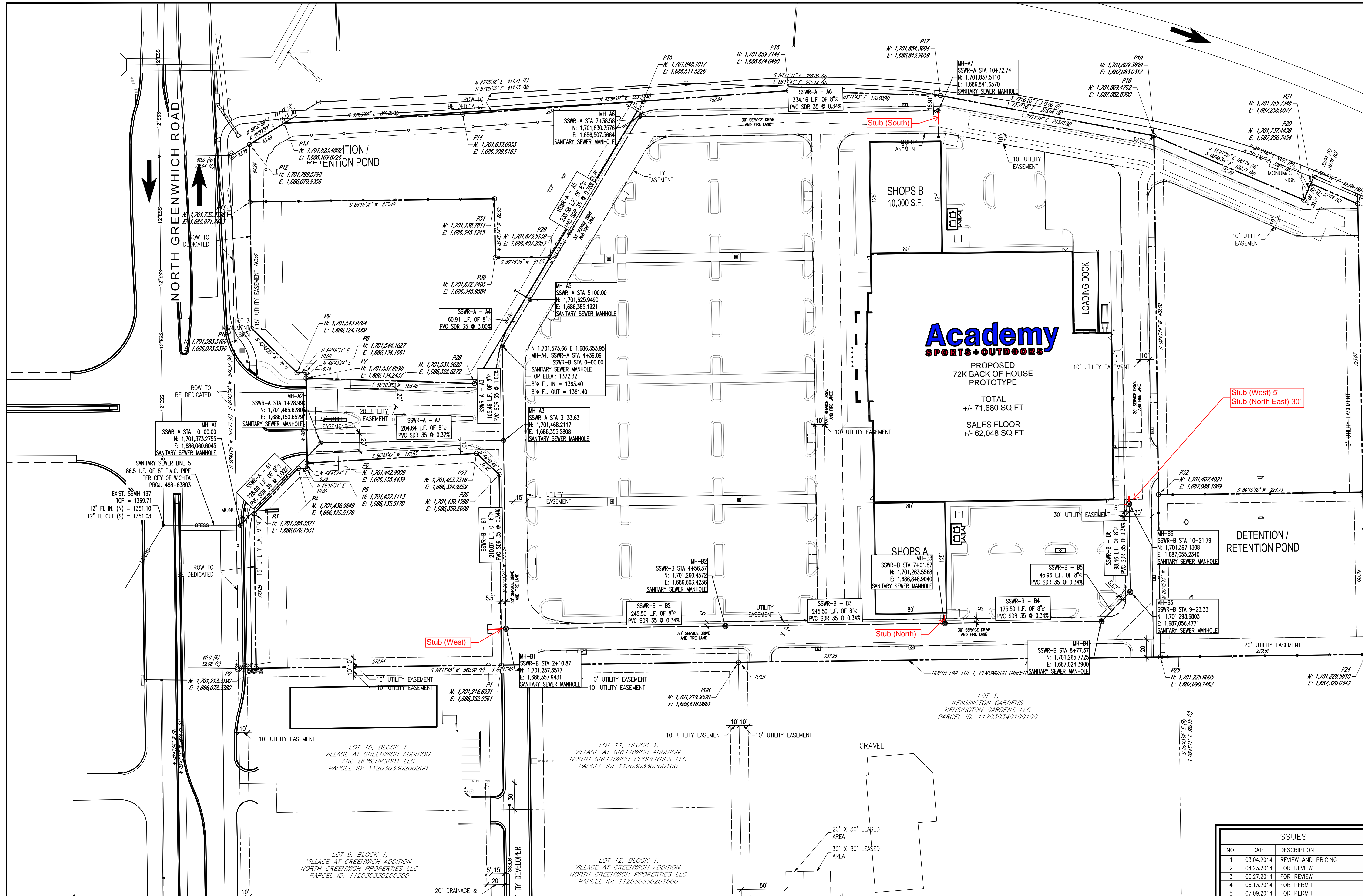
WICHITA CROSSING
A PORTION OF LOT 1 AND RESERVE "A",
KENSINGTON GARDENS
CITY OF WICHITA, SEDGWICK COUNTY, KANSAS



Carlos I. Cabré P.E.
Civil, Mechanical & Electrical Consultant
2201 Long Prairie, Suite 102-222
Wichita, Kansas 67222
www.carloscabre.com

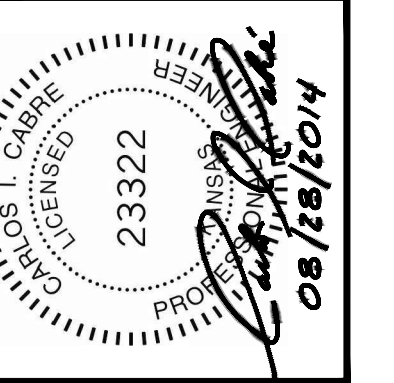
GRADING PLAN
DRAWING TITLE:
DATE: JULY 09, 2014
SCALE: 1"=50'
JOB NUMBER: 12-09
DRAWING NUMBER:

C-3.0A



THE SUTZ GROUP
 DEVELOPMENT & SALE OF RETAIL PROPERTIES
 5729 LEBANON ROAD, SUITE 144
 FRISCO, TX 75034
 T. 214-705-1078 F. 214-407-8912

WICHITA CROSSING
 A PORTION OF LOT 1 AND RESERVE "A",
 KENSINGTON GARDENS
 CITY OF WICHITA, SEDGWICK COUNTY, KANSAS

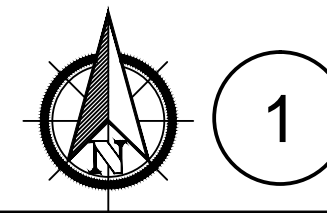


Carlos I. Cabre, P.E.
 Development & Engineering Consultant
 230 Longhorn, Suite 1022
 Frisco, Texas 75034
 info@carloscabre.com

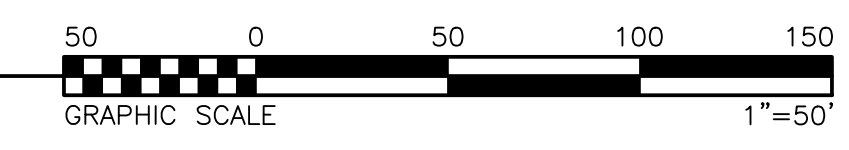
SANITARY SEWER PLAN OVERALL
 THIS DOCUMENT REPRESENTS THE DESIGN EFFORT OF CARLOS I. CABRE, P.E., AND IS ISSUED AS AN INSTRUMENT OF SERVICE FOR THE SUBJECT PROJECT ONLY. IT IS NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF CARLOS I. CABRE, P.E. ANY REPRODUCTION OR ALTERATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF CARLOS I. CABRE, P.E. IS PROHIBITED.

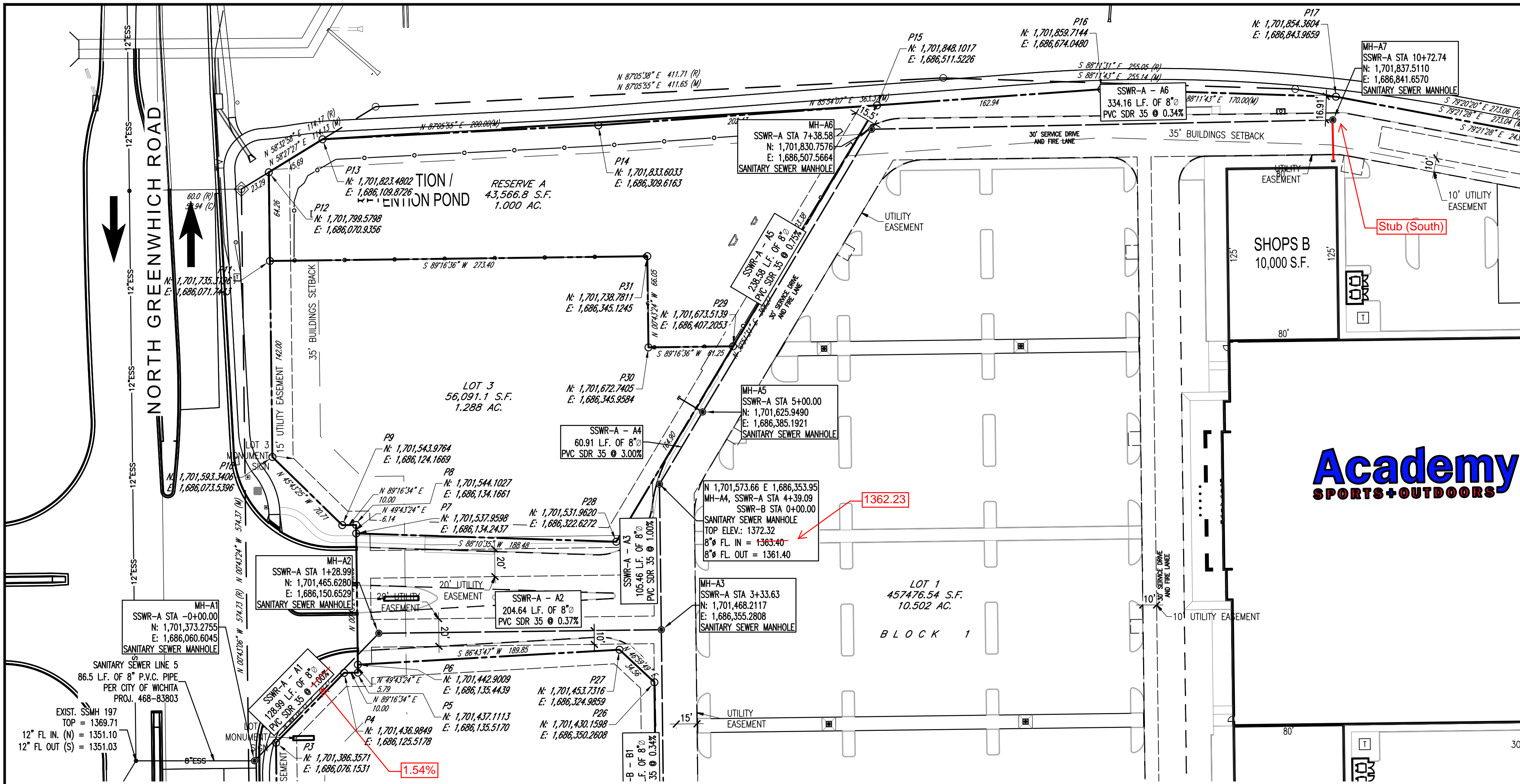
ISSUES		
NO.	DATE	DESCRIPTION
1	03.04.2014	REVIEW AND PRICING
2	04.23.2014	FOR REVIEW
3	05.27.2014	FOR REVIEW
4	06.13.2014	FOR PERMIT
5	07.09.2014	FOR PERMIT
6	08.11.2014	FOR PERMIT
7	08.25.2014	FOR PERMIT
8	08.28.2014	FOR PERMIT

DATE: AUGUST 28, 2014
 SCALE: 1"=50'
 JOB NUMBER: 12-09
 DRAWING NUMBER: C-6.0

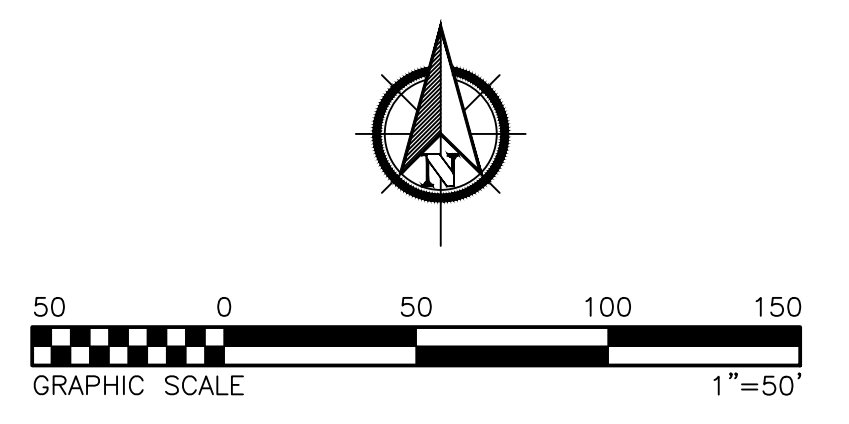


1 SANITARY SEWER PLAN
 SCALE: 1"=50'-0"

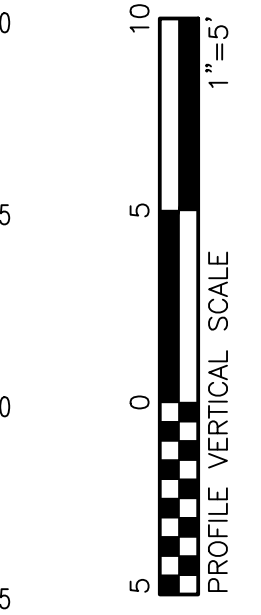
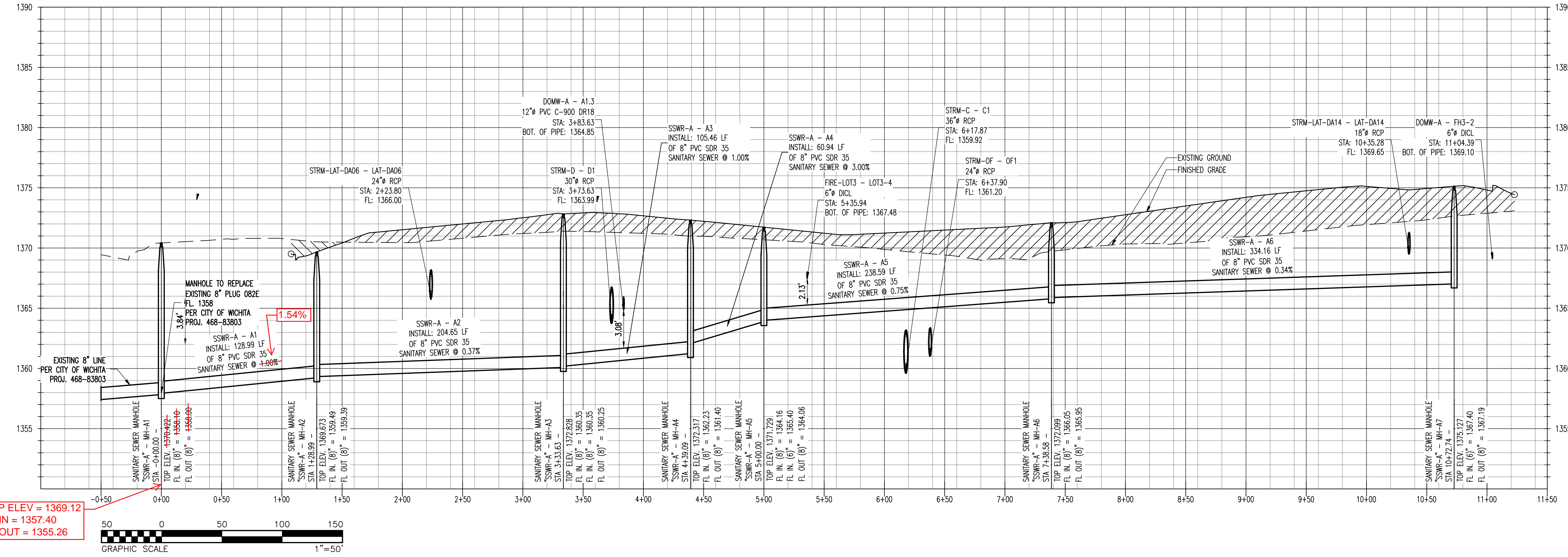




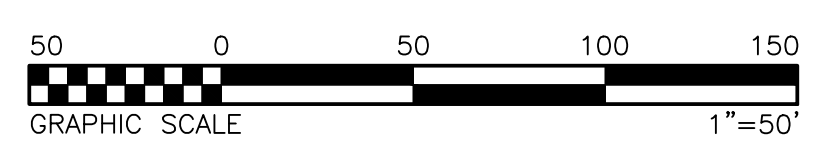
AS-BUILT DRAWINGS
 Contractor: Mccullough Excavation
 Inspector: Dakota Zimmerman
 Ruggles & Bohm
 PDF By: DGZ 04/06/2015



SSWR-A- SANITARY SEWER LINE A



TOP ELEV = 1369.12
 FL IN = 1357.40
 FL OUT = 1355.26



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 DEVELOPMENT & SALE OF REAL PROPERTIES
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 FRISCO, TX 75034
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WICHITA CROSSING
 A PORTION OF LOT 1 AND RESERVE "A",
 KENSINGTON GARDENS
 CITY OF WICHITA, SEDGWICK COUNTY, KANSAS

CARLOS I. CABRE
 LICENSED PROFESSIONAL ENGINEER
 23322
 08/28/2014

Carlos I. Cabre, P.E.
 Development & Engineering Consultant
 2201 Loop West, Suite 100-202
 Overland Park, KS 66202
 info@carlosi.com

SANITARY SEWER PARTIAL PLAN & PROFILE
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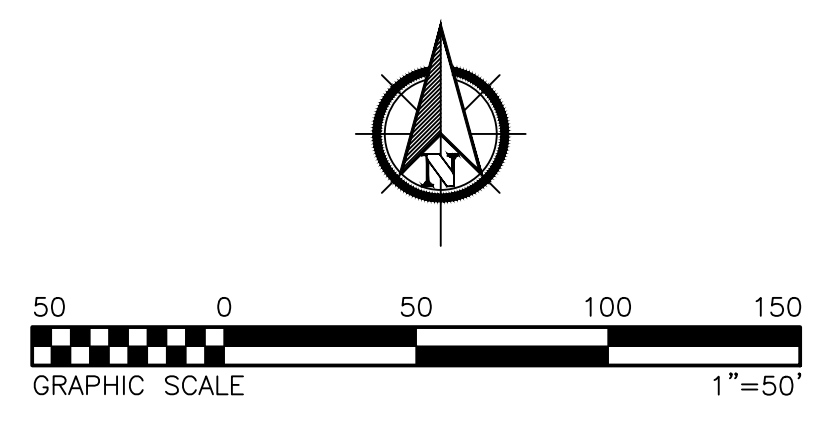
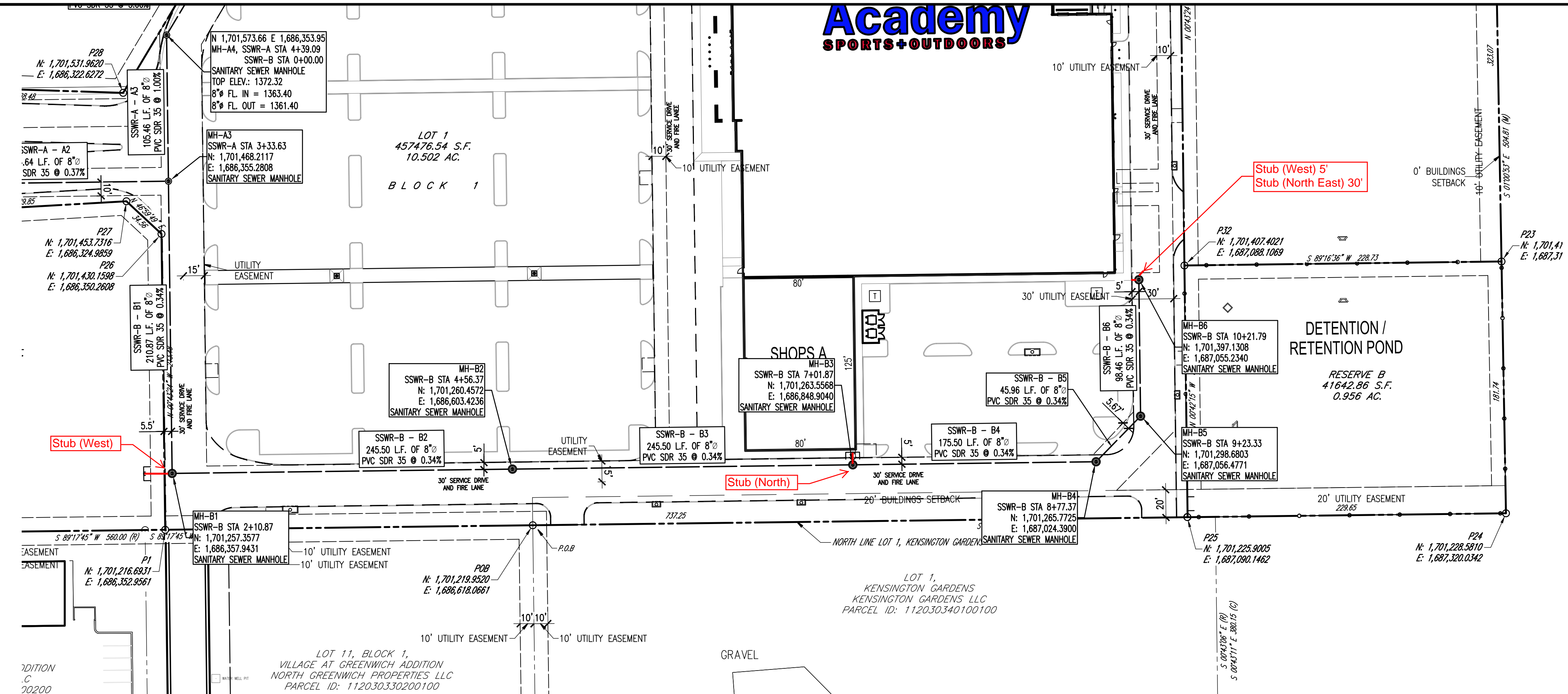
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2	04.23.2014	FOR REVIEW
3	05.27.2014	FOR REVIEW
4	06.13.2014	FOR PERMIT
5	07.09.2014	FOR PERMIT
6	08.11.2014	FOR PERMIT
7	08.25.2014	FOR PERMIT
8	08.28.2014	FOR PERMIT

C-6.1

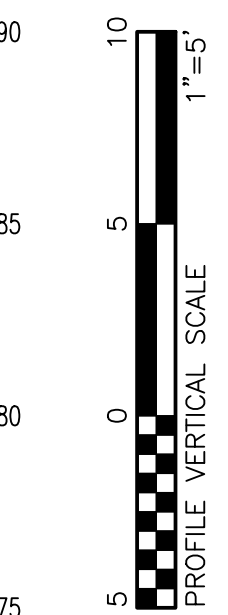
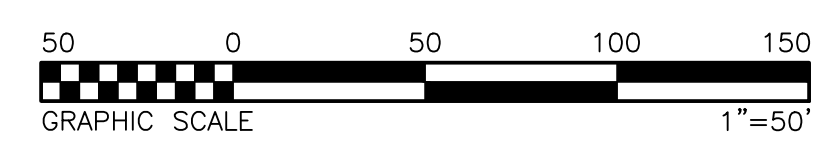
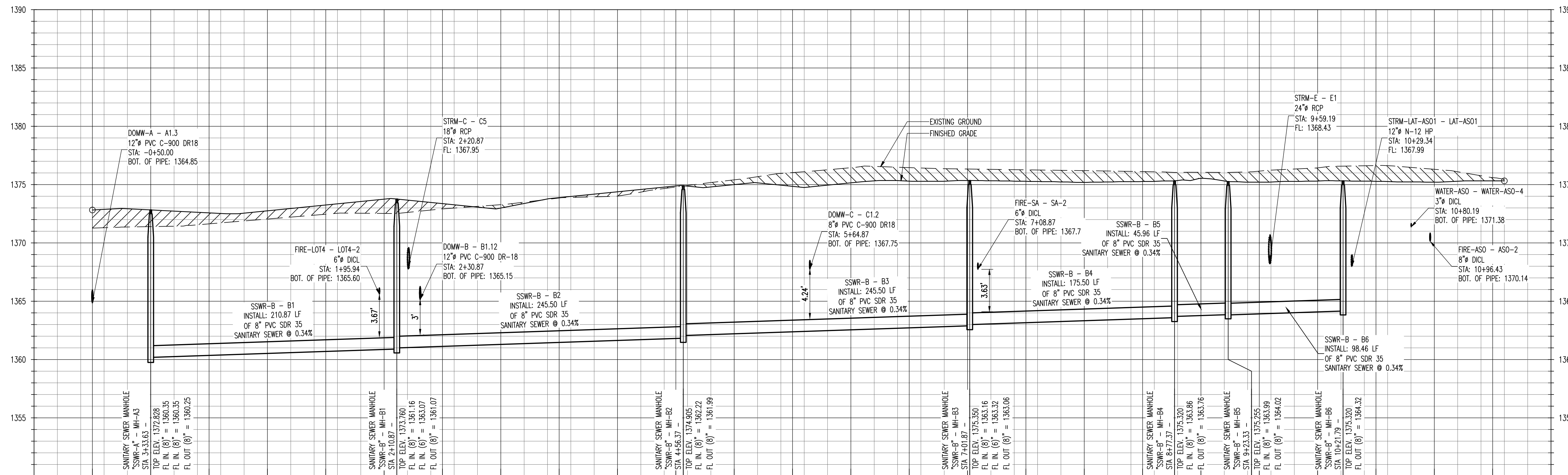
AS-BUILT DRAWINGS
Contractor: Mccullough Excavation
Inspector: Dakota Zimmerman
Ruggles & Bohm
PDF By: DGZ 04/06/2015

THE SEITZ GROUP
DEVELOPMENT & SALE OF REAL PROPERTIES
5729 LEBANON ROAD, SUITE 144
FRISCO, TX 75034
T. 214-705-1078 F. 214-407-8912

WICHITA CROSSING
A PORTION OF LOT 1 AND RESERVE "A",
KENSINGTON GARDENS
CITY OF WICHITA, SEDGWICK COUNTY, KANSAS



SSWR-B - SANITARY SEWER LINE B



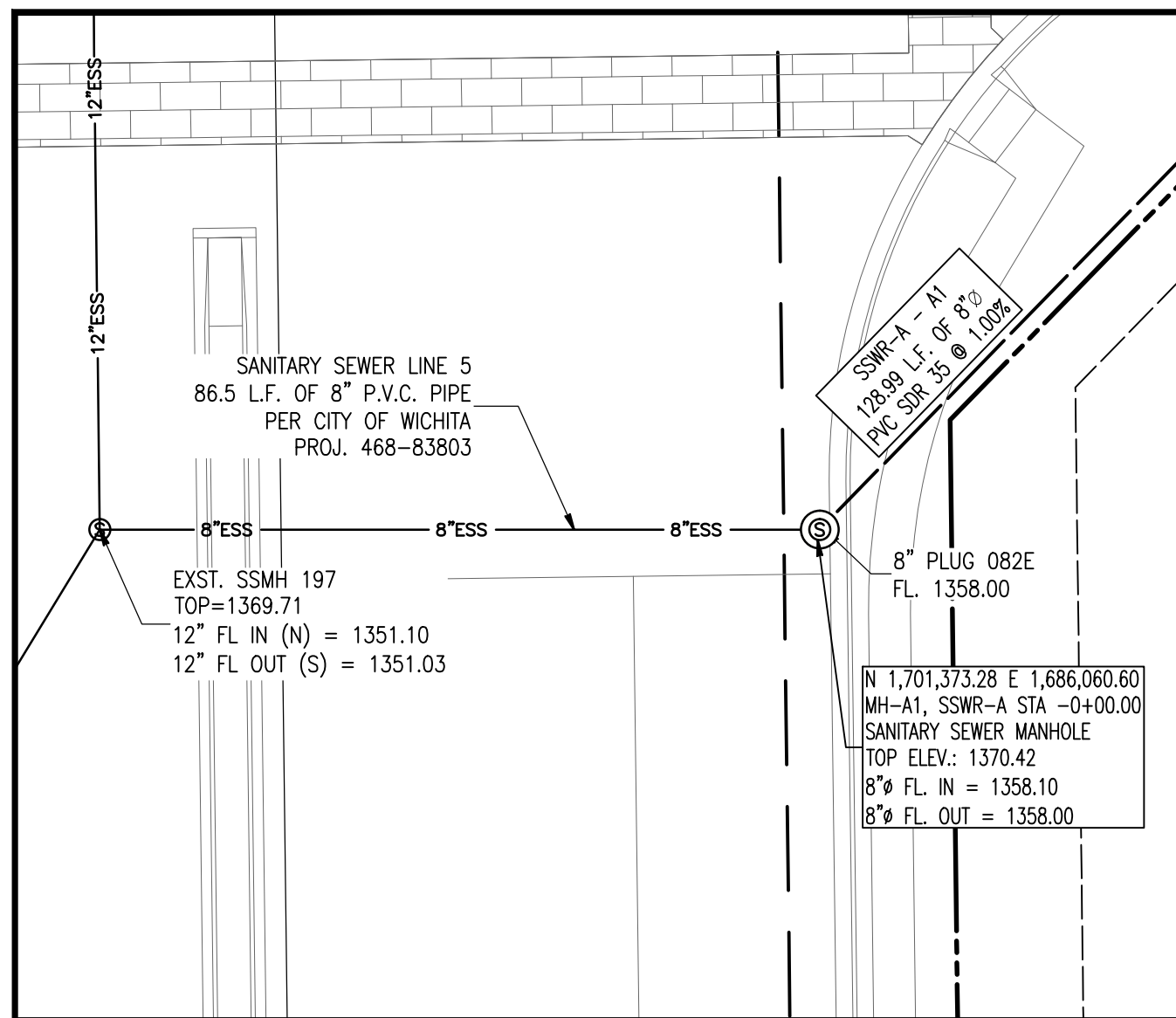
Professional Engineer Seal: Carlos I. Cabre, P.E., License No. 23322, State of Kansas, dated 08/18/2014.

Logo for Carlos I. Cabre, P.E., Development & Engineering Consultant.

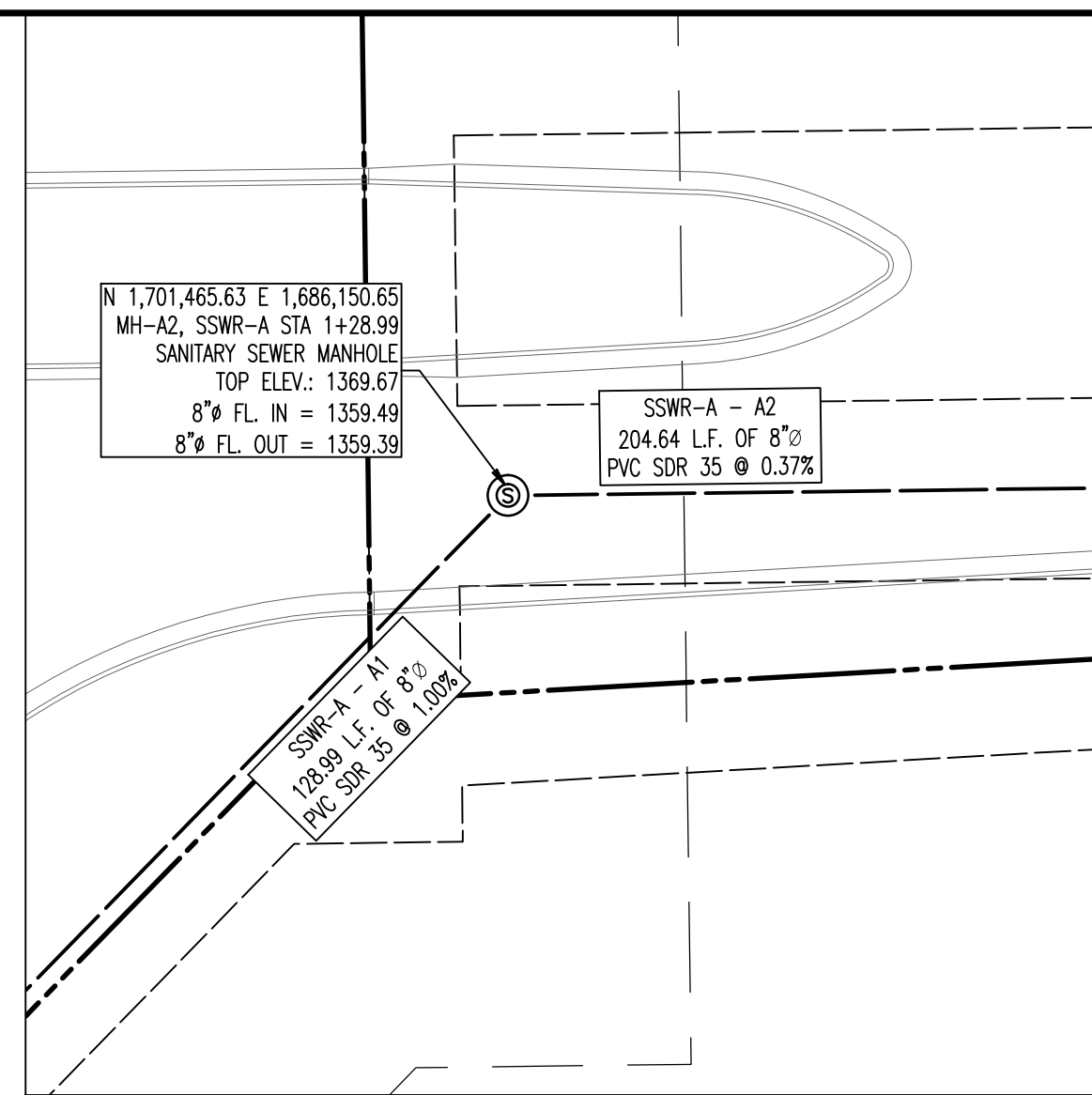
SANITARY SEWER PARTIAL PLAN & PROFILE
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ISSUES		
NO.	DATE	DESCRIPTION
1	03.04.2014	REVIEW AND PRICING
2	04.23.2014	FOR REVIEW
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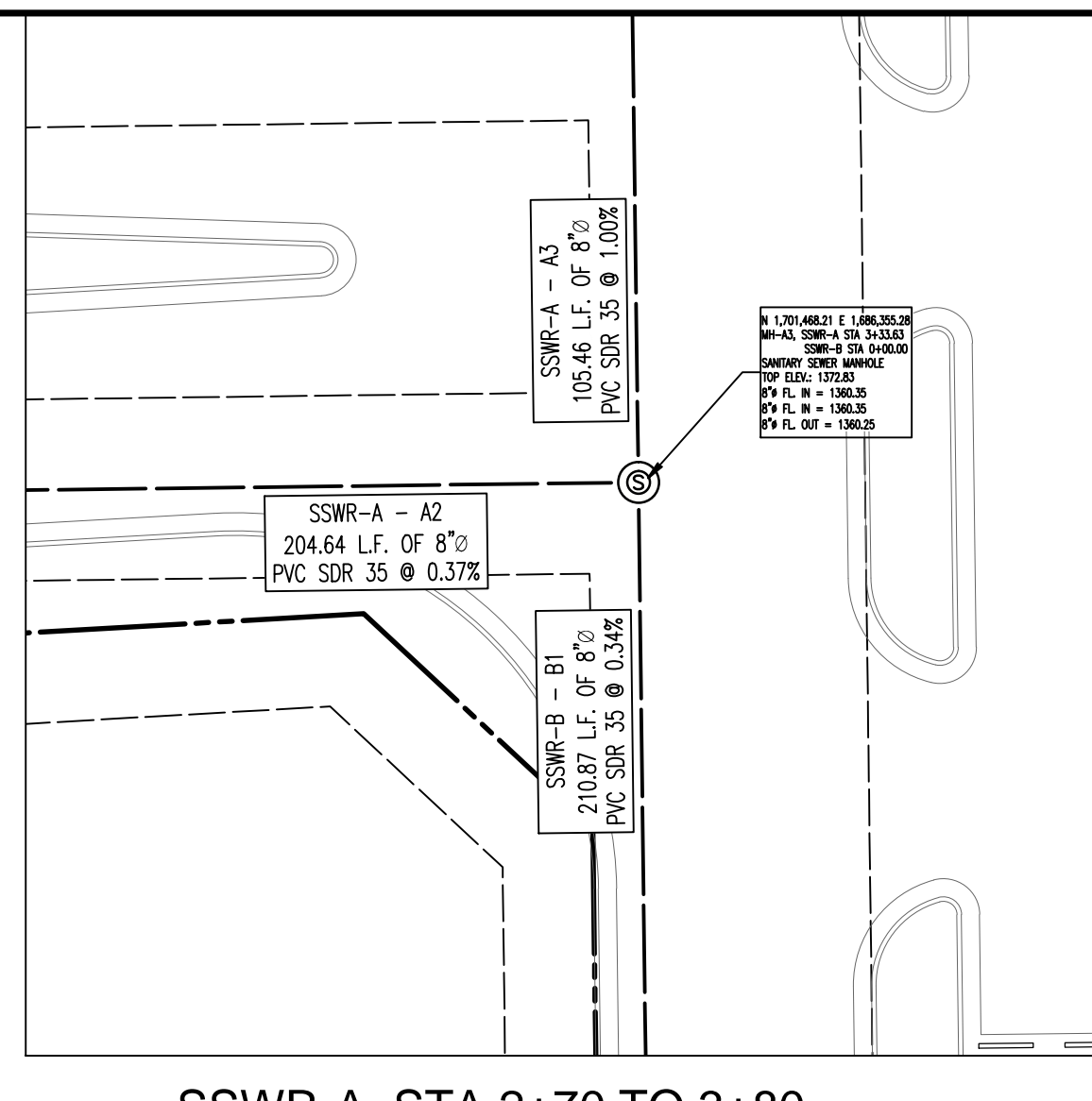
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JOB NUMBER: 12-09
DRAWING NUMBER: **C6.2**



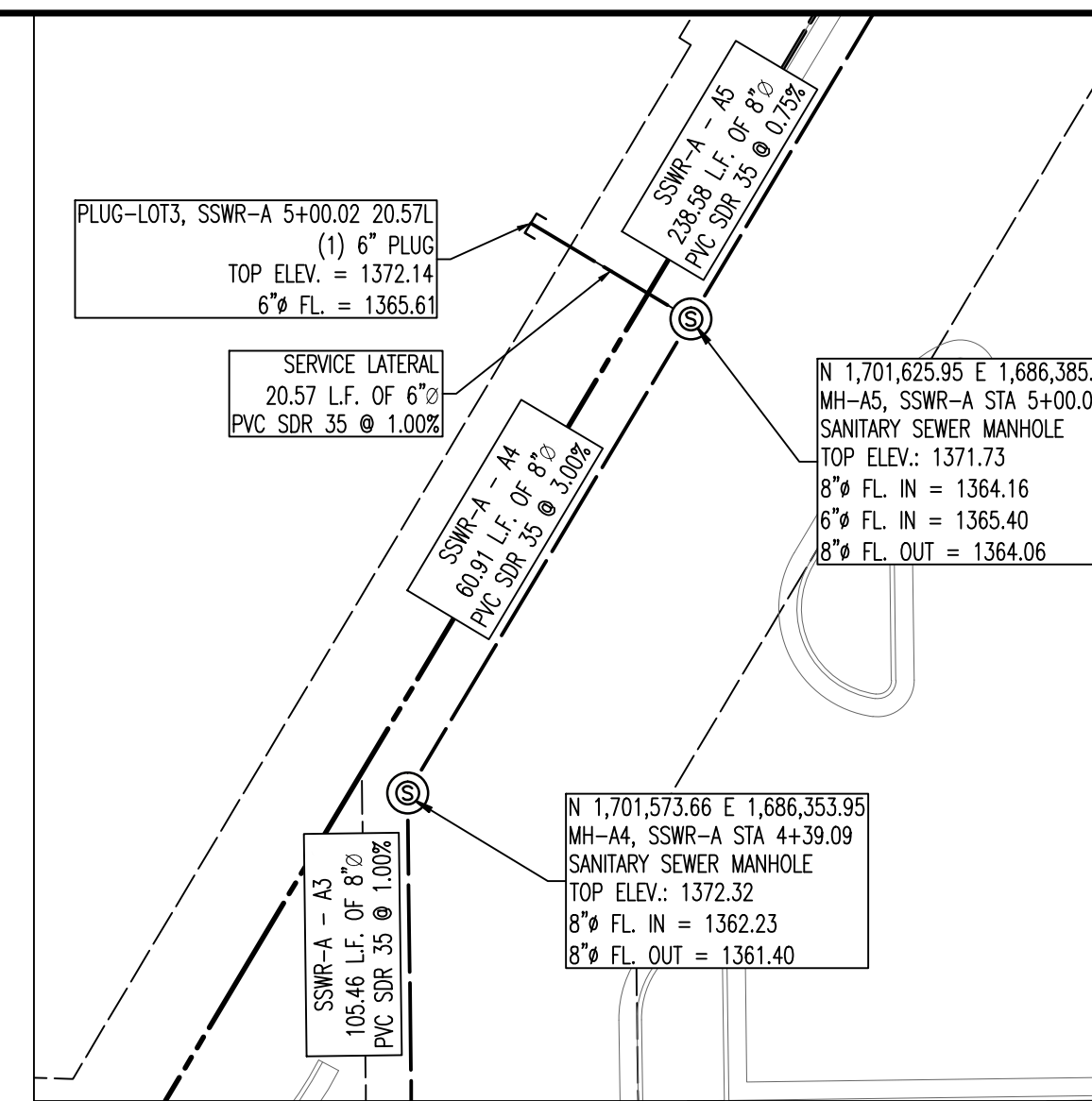
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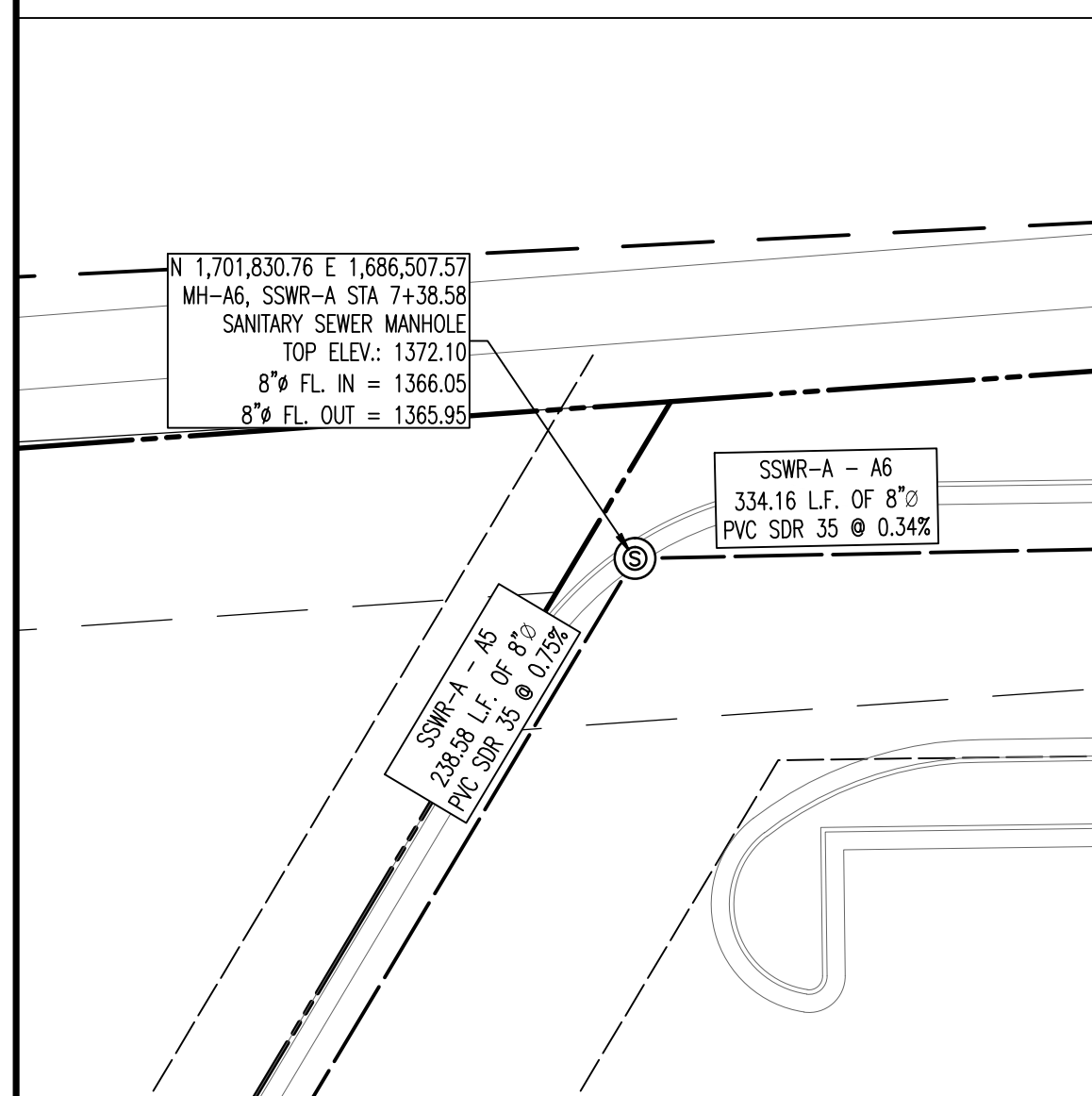
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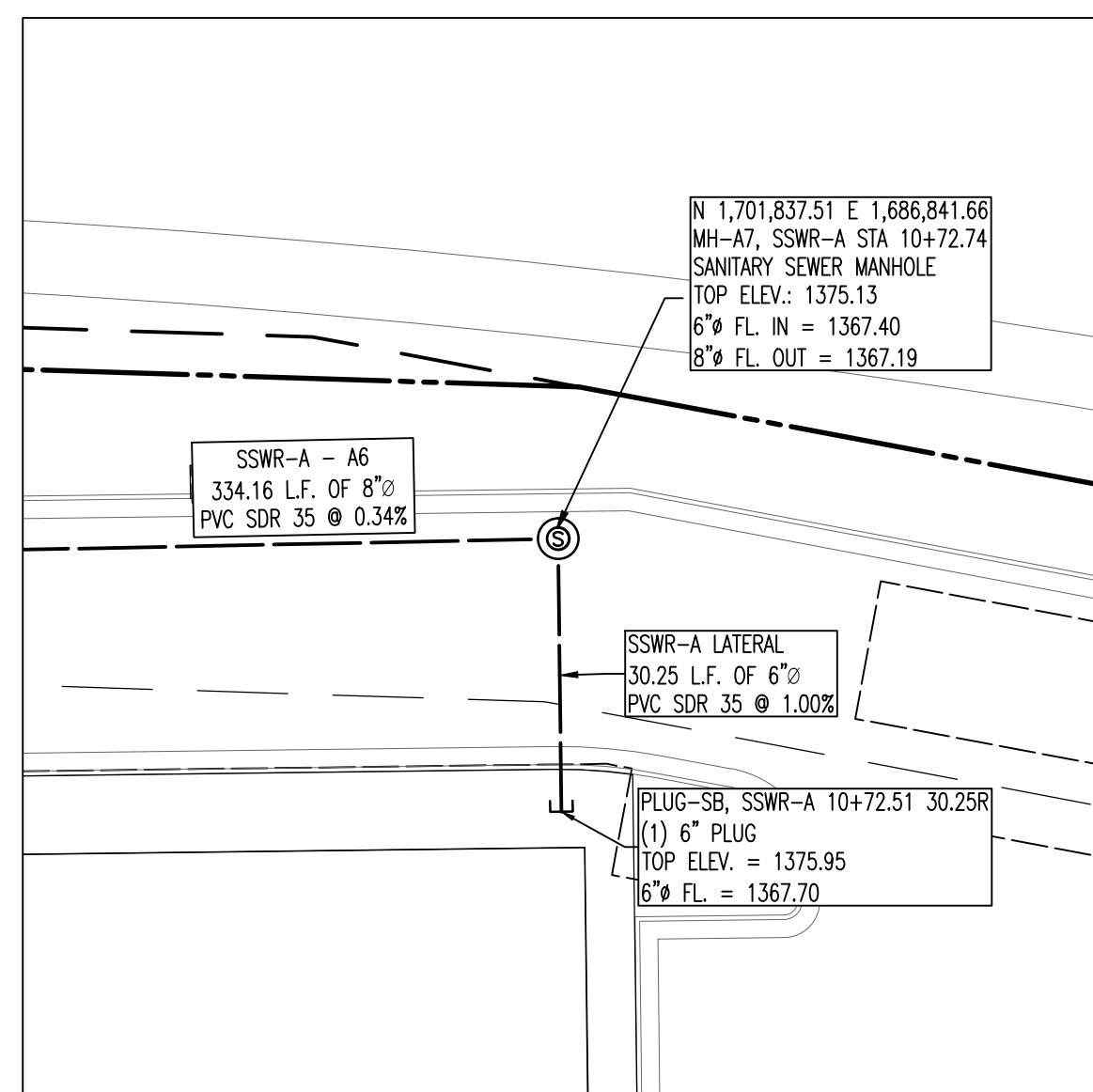
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SSWR-B STA 0+00 TO 0+70
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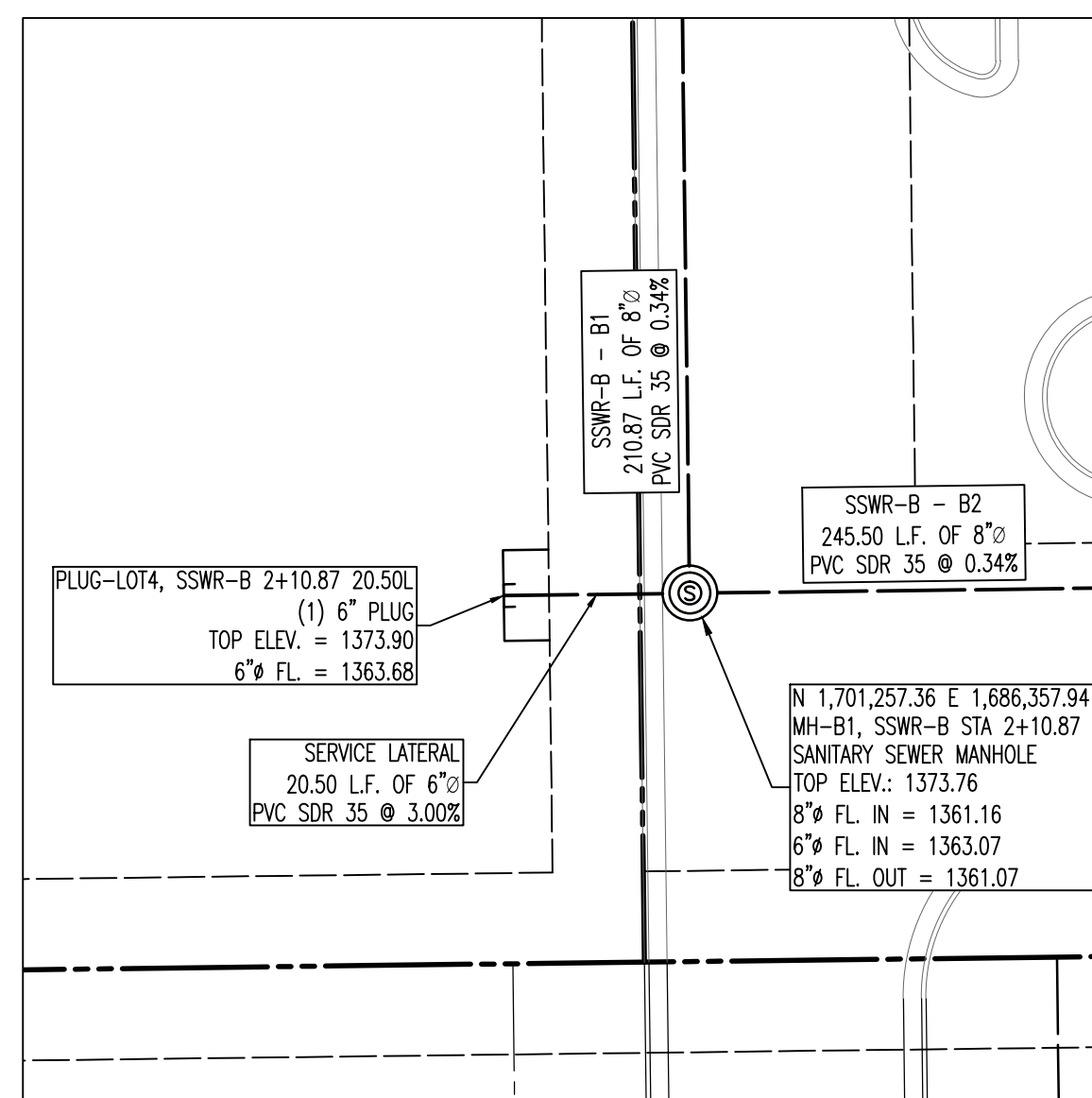
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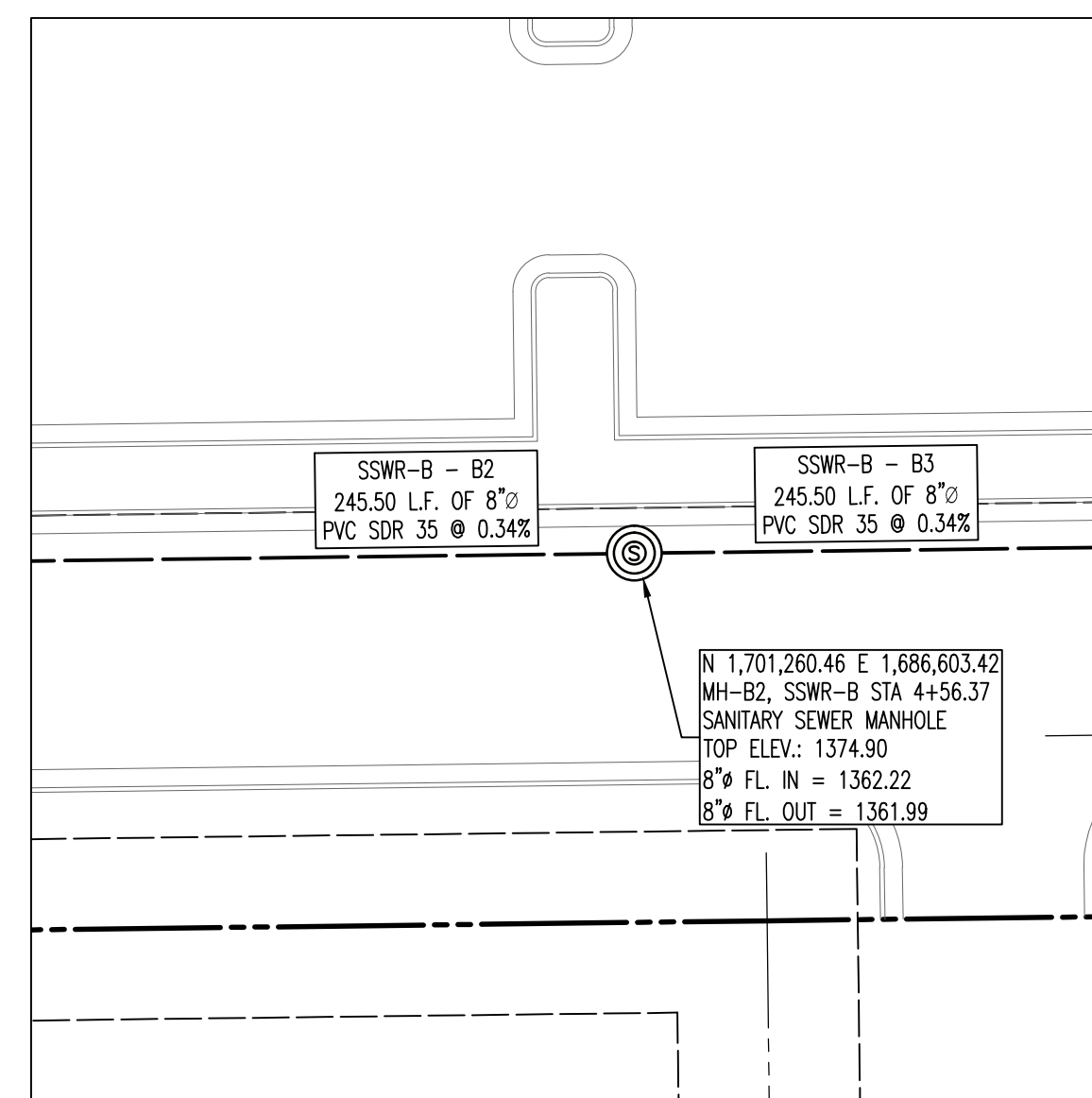
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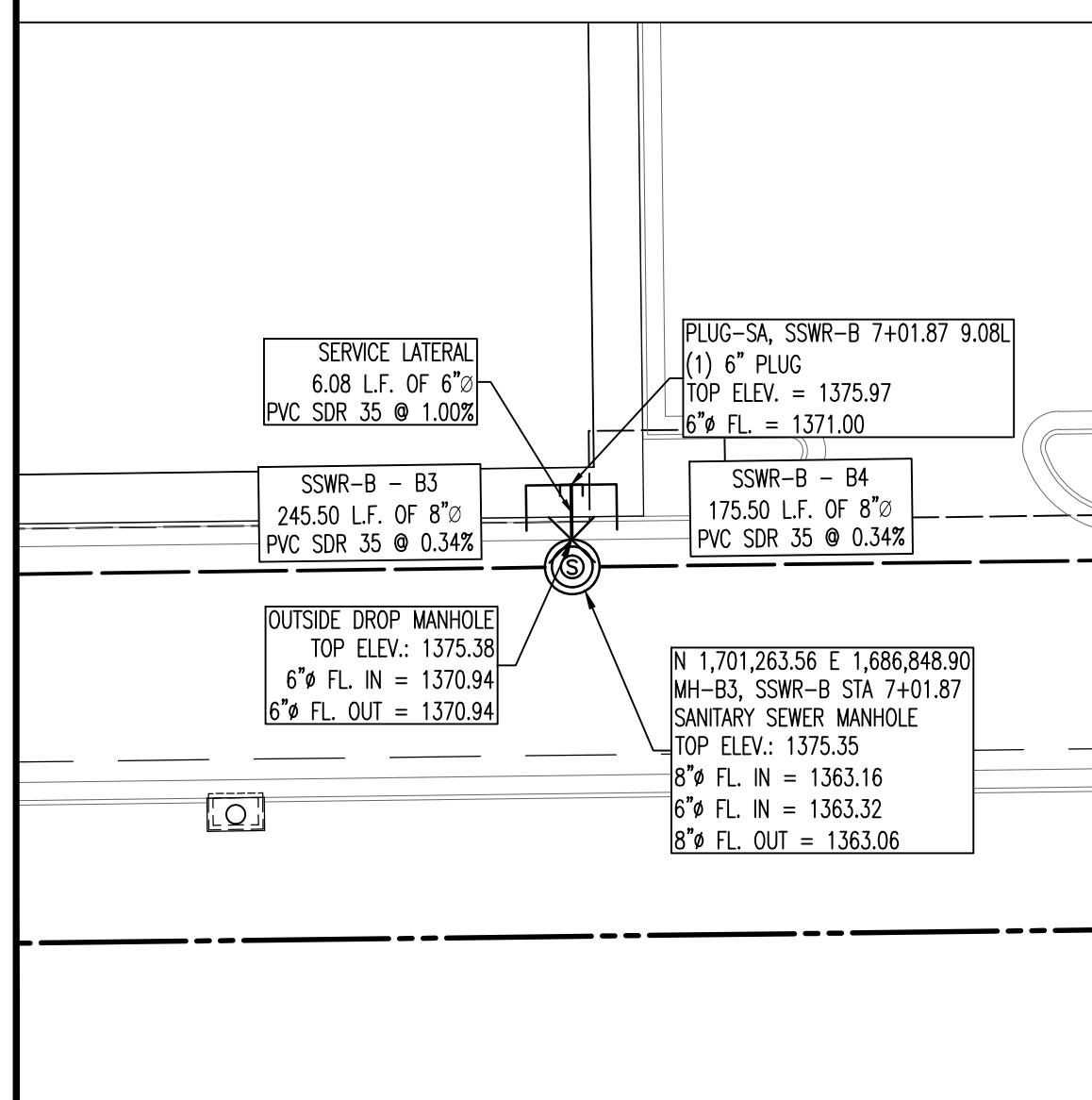
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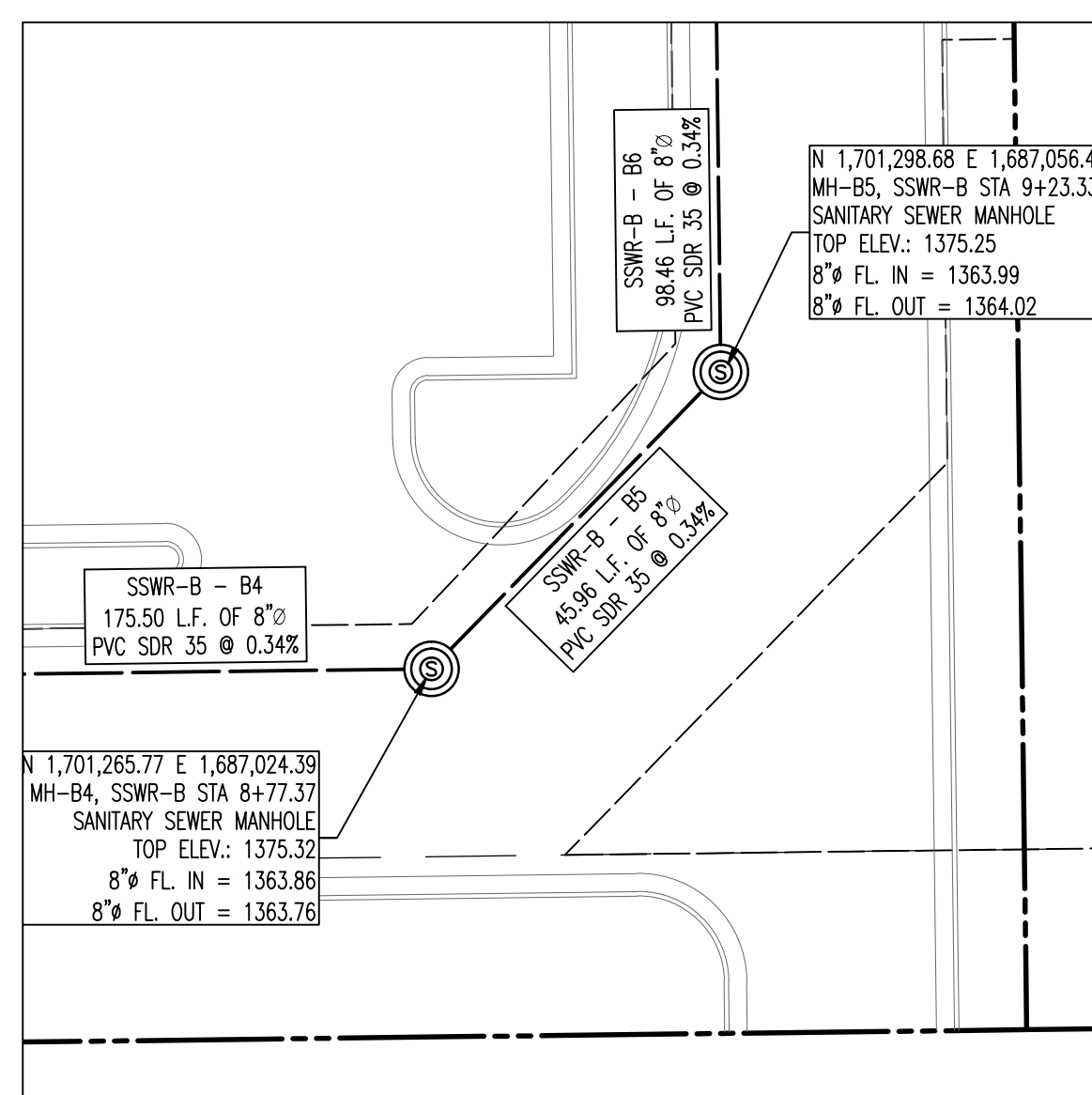
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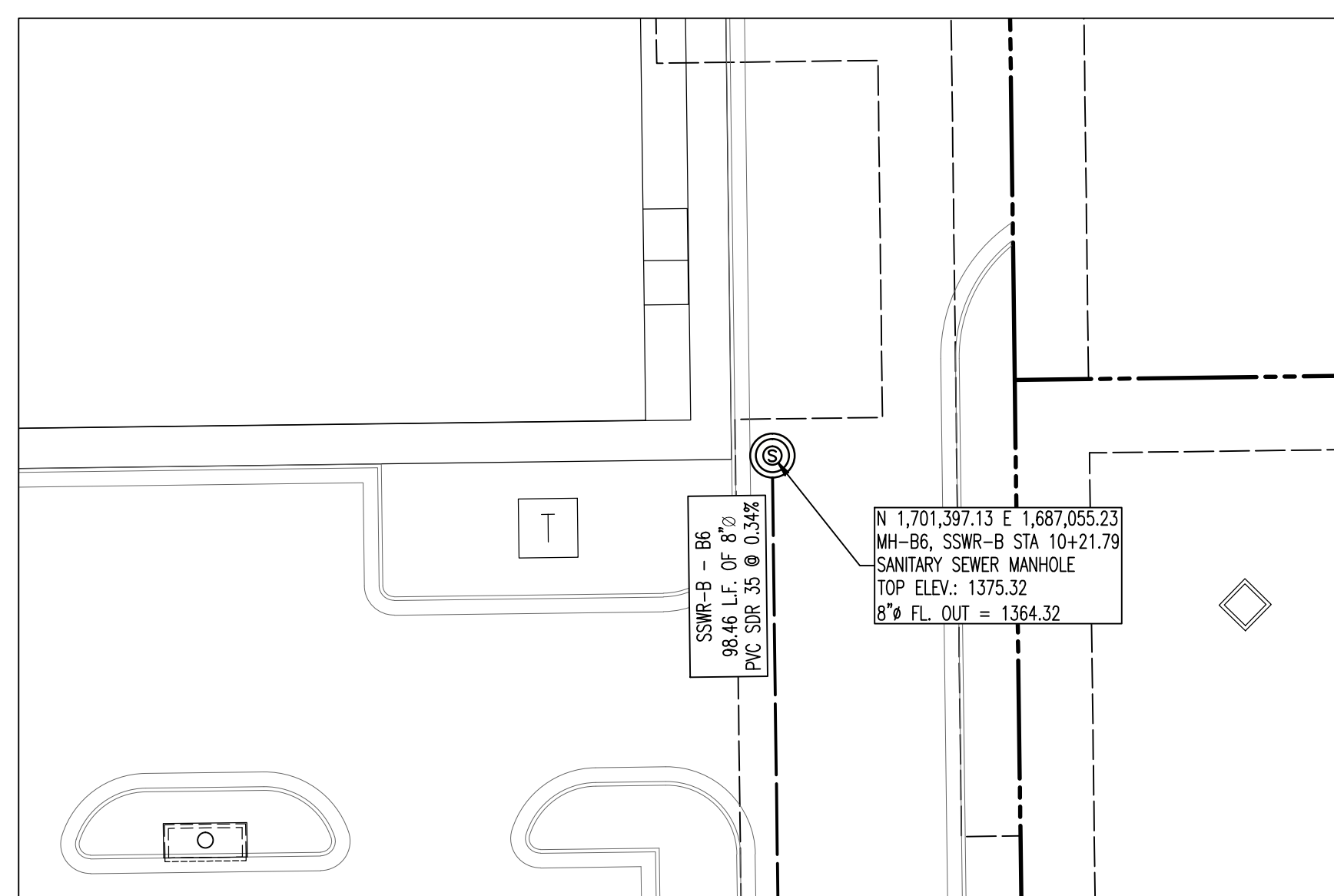
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SCALE: 1"=20'-0"



9 SSWR-B STA 6+40 TO 7+60
SCALE: 1"=20'-0"



10 SSWR-B STA 8+25 TO 9+60
SCALE: 1"=20'-0"



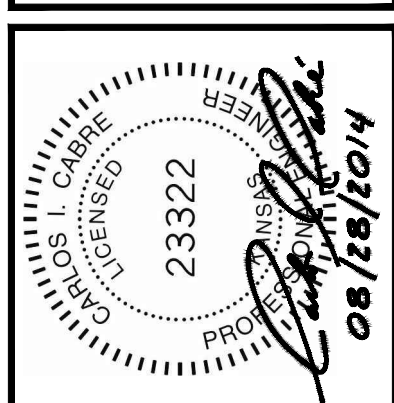
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SCALE: 1"=20'-0"

AS-BUILT DRAWINGS
Contractor: Mccullough Excavation
Inspector: Dakota Zimmerman
Ruggles & Bohm
PDF By: DGZ 04/06/2015

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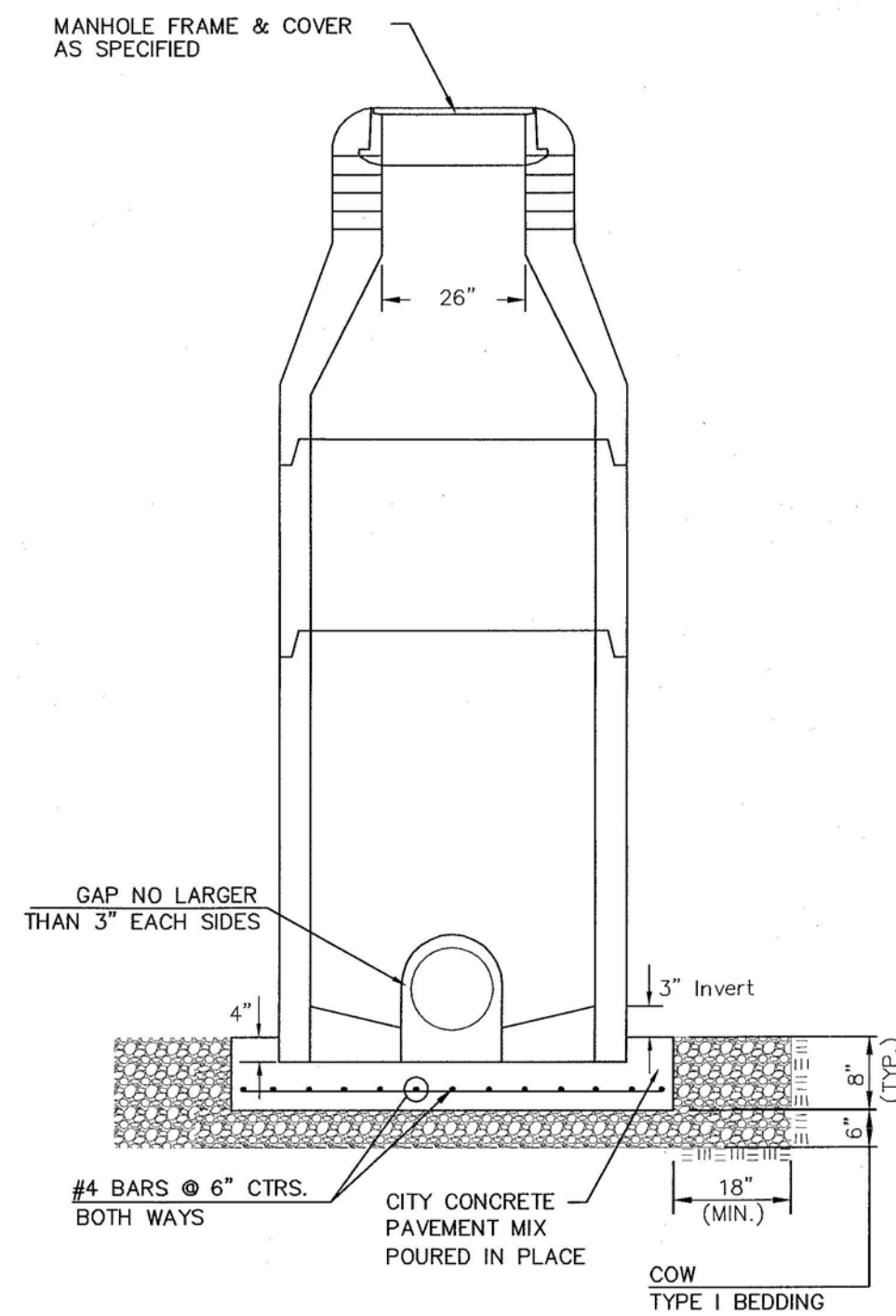
THE SEITZ GROUP
Development & Site of Rural Properties
5729 LEBANON ROAD, SUITE 144
FRISCO, TX 75034
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WICHITA CROSSING
A PORTION OF LOT 1 AND RESERVE "A",
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CITY OF WICHITA, SEDGWICK COUNTY, KANSAS

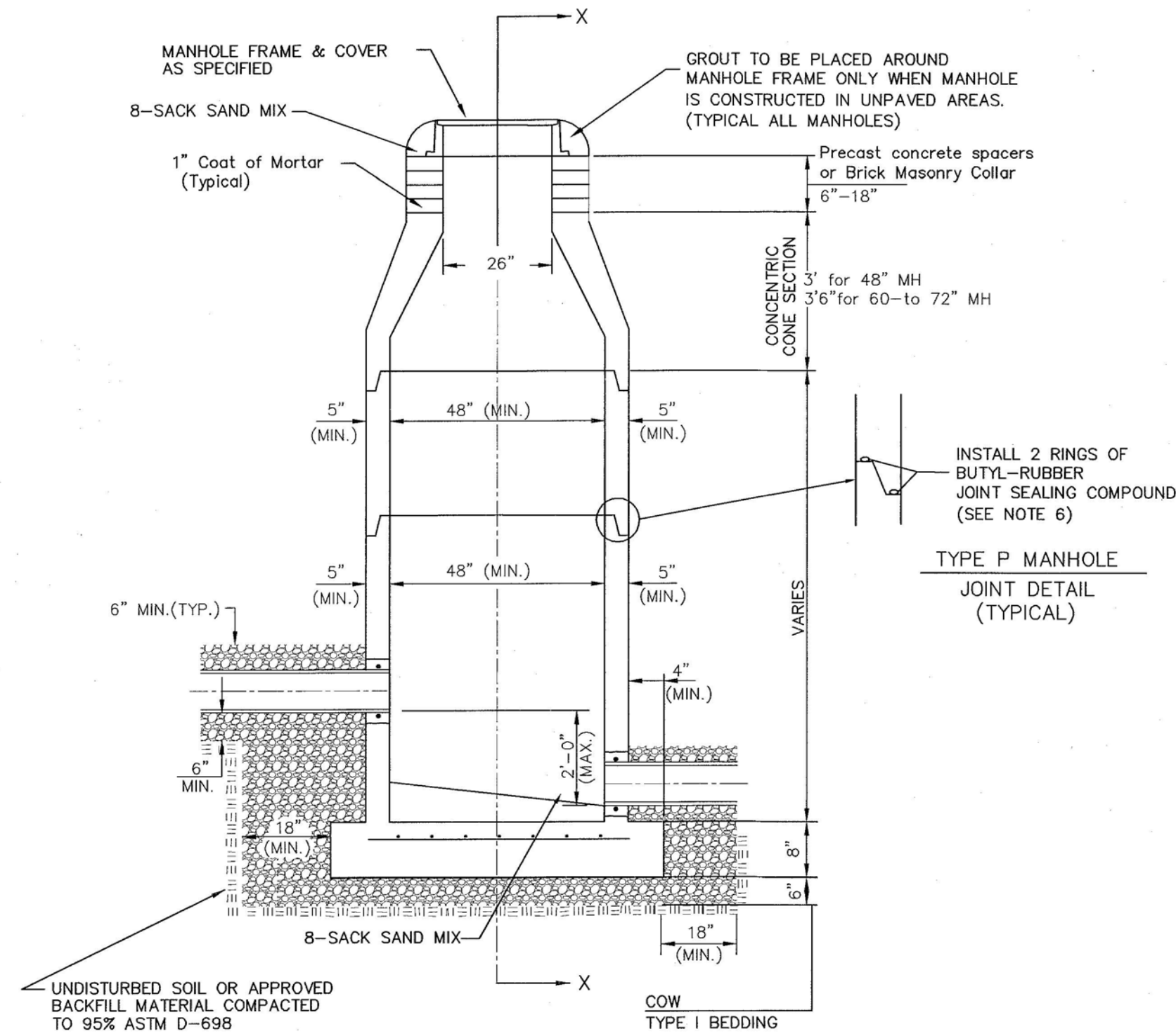


SANITARY SEWER BLOW-UPS
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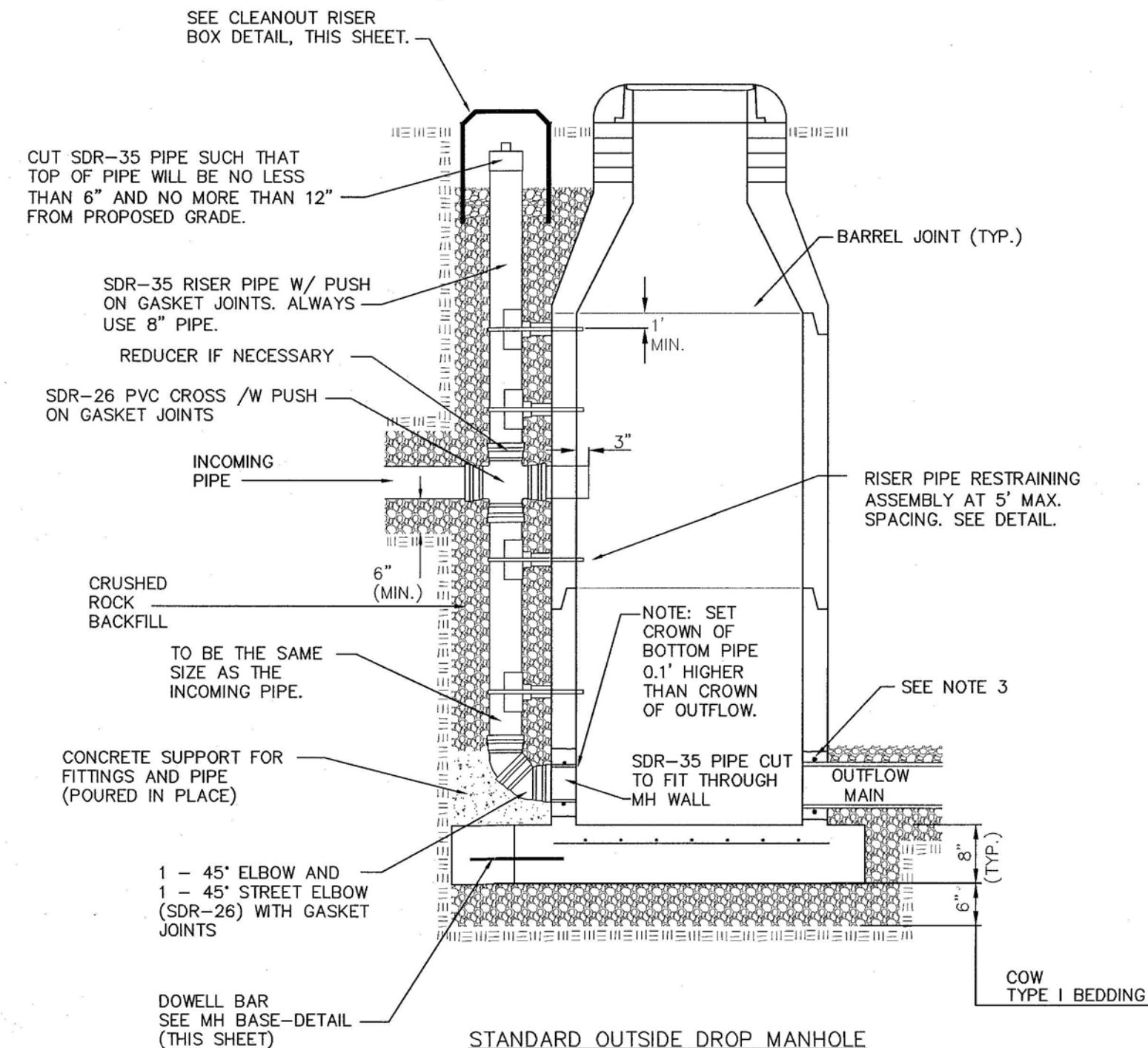
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DATE: AUGUST 28, 2014
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DRAWING NUMBER: **C-6.3**



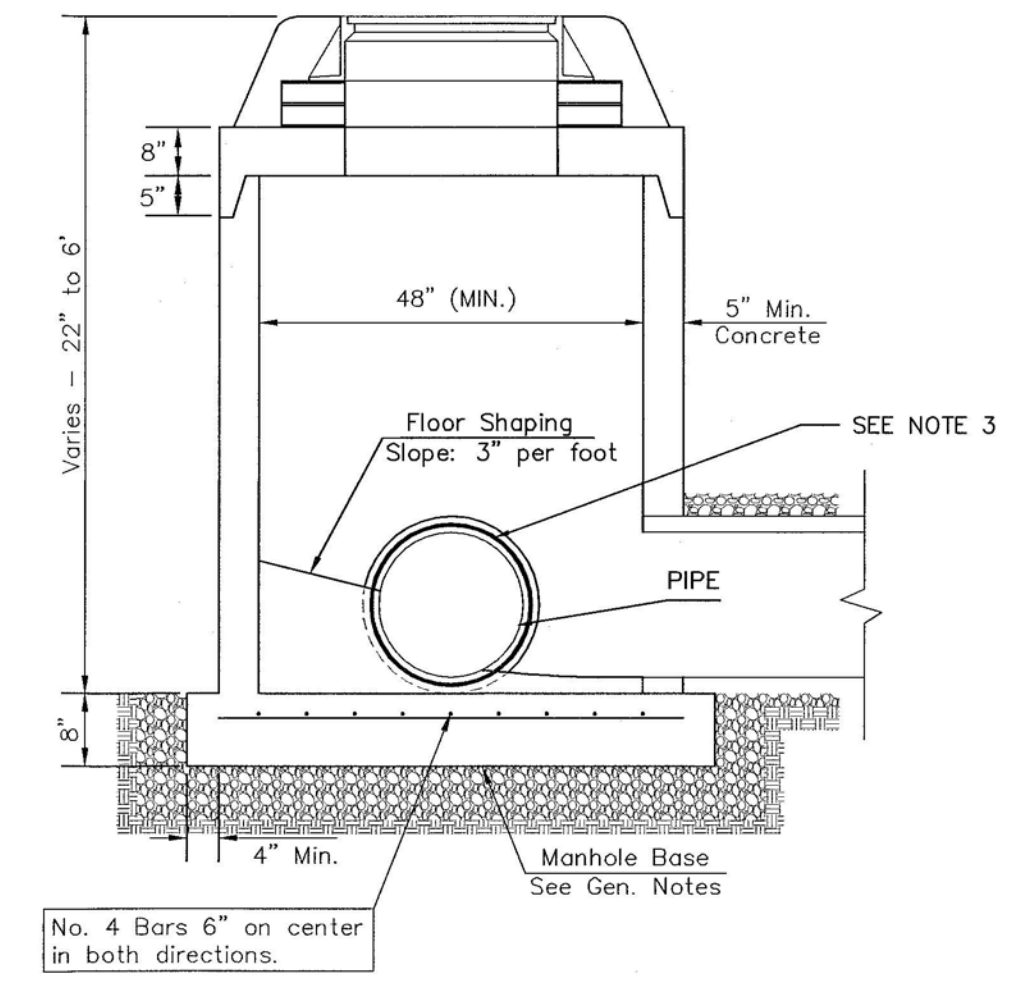
DOG HOUSE MANHOLE
(OVER EXISTING PIPE)
Not to Scale



STANDARD MANHOLE
Not to Scale



STANDARD OUTSIDE DROP MANHOLE
Not to Scale

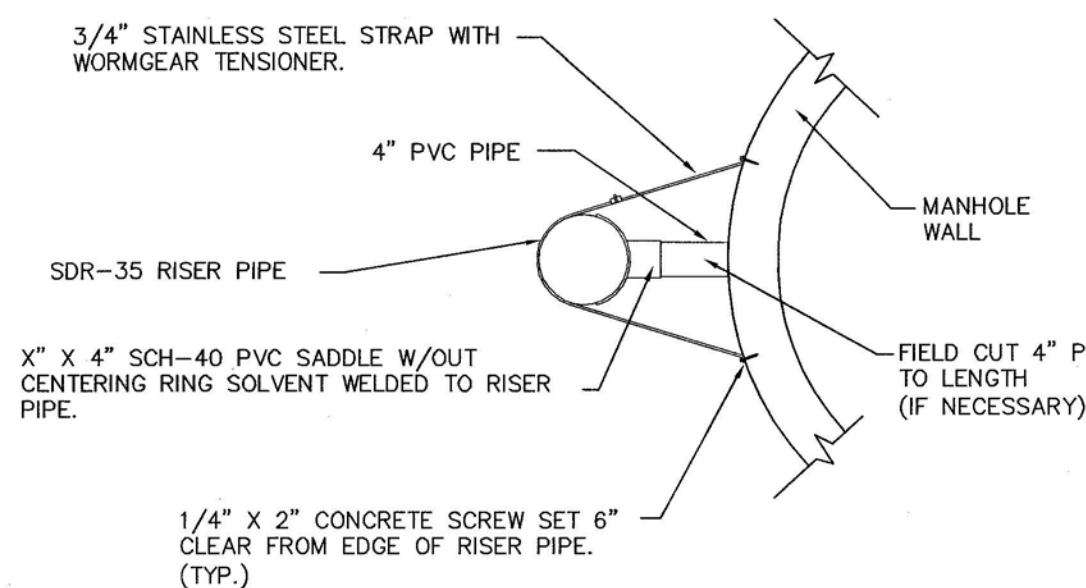


SHALLOW MANHOLE
Not to Scale

= COW TYPE I BEDDING
 = UNDISTURBED SOIL

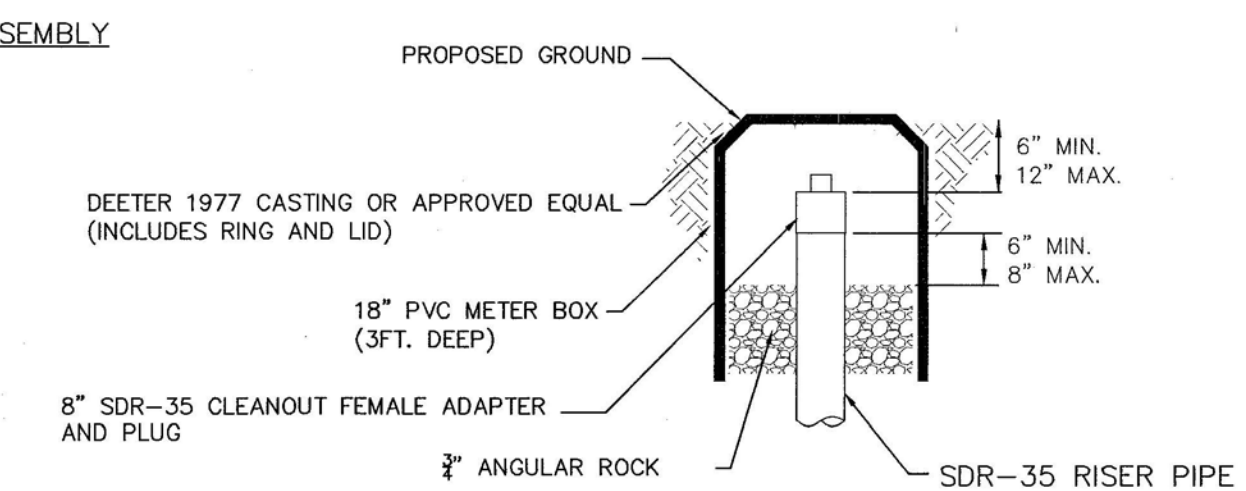
PRECAST MANHOLE GENERAL NOTES

- ALL PRECAST CONCRETE MANHOLE SECTIONS SHALL CONFORM TO THE LATEST REVISIONS OF A.S.T.M. C478 AS MODIFIED BY THE SPECIFICATIONS.
- NON-SHRINK GROUT SHALL BE NON-METALLIC TYPE.
- APPROVED FLEXIBLE WATERSTOP SHALL BE INSTALLED TO JOIN THE SEWER PIPE TO THE MANHOLE WALL. THE SEWER PIPE SHALL BE SUPPORTED WITH CRUSHED ROCK A MINIMUM OF 3 FEET FROM THE MANHOLE WALL AND TO THE FIRST JOINT FOR V.C.P. SUCH THAT THE JOINT REMAINS FLEXIBLE.
- ALL INSIDE SURFACES OF THE CONCRETE MANHOLE WHICH WOULD BE EXPOSED TO SEWER GAS SHALL BE COATED PER SECTION 804.4 OF STANDARD SPECIFICATIONS.
- EXTERIOR MANHOLE WALLS SHALL BE COATED PER SECTION 804.4 OF STANDARD SPECIFICATIONS.
- JOINT SEALING COMPOUND SHALL BE PER 804.4 OF STANDARD SPECIFICATIONS.
- ALL MANHOLE SECTION JOINTS THAT WILL BE IN GROUNDWATER OR GREATER THAN 12' DEEP SHALL BE WRAPPED WITH AN EXTERNAL JOINT SEAL PER SECTION 804.4 OF STANDARD SPECIFICATIONS, AS INDICATED BY THE PLANS.
- PRECAST MANHOLES SHALL BE SET AT LEAST 4 INCHES INTO THE MANHOLE BASE FOR DOG HOUSE MANHOLES.
- TOP OF MANHOLE FLOOR SLAB SHALL BE AT LEAST 3 INCHES BELOW THE FLOW LINE OF THE OUTLET PIPE TO INSURE SUFFICIENT MINIMUM THICKNESS OF SHAPED INVERT.
- LIFTING HOLES SHALL BE FILLED WITH NON-SHRINK GROUT AND THE INTERIOR SURFACE COATED AS SPECIFIED.
- MORTAR USED IN MASONRY CONSTRUCTION SHALL CONTAIN 8 SACKS OF CEMENT PER CUBIC YARD. CONCRETE USED IN MANHOLE BASES SHALL CONFORM TO THE REQUIREMENTS OF CONCRETE FOR CONCRETE PAVEMENT CONSTRUCTION AS SPECIFIED IN THE CITY STANDARD PAVING SPECIFICATIONS USING CITY CONCRETE PAVEMENT MIX WITHOUT AIR ENTRAINING ADMIXTURE. MORTAR SHALL BE PLACED AROUND THE MANHOLE RING AS SHOWN ON THE DRAWINGS WHEN MANHOLES ARE CONSTRUCTED IN UNPAVED AREAS. COMPLETED MANHOLE SHALL BE WITHOUT LEAKS AND WATER TIGHT.
- REINFORCING STEEL SHALL BE INSTALLED IN THE MANHOLE BASES AND SHALL CONSIST OF NO.4 BARS PLACED ON 6" CENTERS IN BOTH DIRECTIONS. THE MANHOLE BASE REINFORCEMENT SHALL BE PLACED AT LEAST 3" ABOVE THE BOTTOM OF THE MANHOLE BASE. ALL COSTS FOR FURNISHING AND INSTALLING REINFORCING STEEL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE MANHOLE.
- WALL THICKNESS SHALL BE 1" GREATER THAN MANHOLE DIAMETER IN FEET.
- OPENINGS SHALL BE CORE DRILLED INTO THE MANHOLE WALL WHEN OUTSIDE DROPS ARE CONSTRUCTED ON EXISTING MANHOLES. SUCH OPENINGS DRILLED INTO EXISTING MANHOLES SHALL BE AS SMALL AS PRACTICAL TO FACILITATE INSTALLING AND GROUTING THE NEW PIPE IN PLACE. WATERSTOP GASKETS SHALL BE USED WITH P.V.C. PIPE. THE NEW PIPE SHALL BE GROUTED INTO THE OPENING USING AN APPROVED NONSHRINK GROUT FOR THE FULL MANHOLE WALL THICKNESS. THE EXTERIOR OF THE COMPLETED CONNECTION SHALL BE SEALED WITH AN APPROVED BITUMINOUS COATING SUCH THAT THE CONNECTION WILL BE WATER TIGHT. FLOOR OF MANHOLE SHALL BE MODIFIED TO FORM NEW FLOW CHANNEL FOR THE NEW CONNECTION AS INDICATED BY THE DRAWING. THIS WORK, INCLUDING MODIFICATION OF MANHOLE FLOOR, SHALL BE PAID FOR AT THE UNIT PRICE BID FOR OUTSIDE DROP STACK CONSTRUCTED ON EXISTING MANHOLE.
- THE FLOORS OF ALL MANHOLES SHALL BE SHAPED WITH FLOW CHANNELS SUCH THAT THE MANHOLES WILL BE SELF CLEANING AND FREE OF AREAS WHERE SOLIDS COULD BE DEPOSITED AS SEWAGE FLOWS THROUGH THE MANHOLE FROM ALL INLET PIPES TO THE OUTLET PIPE. FLOW CHANNELS SHALL BE FORMED TO MATCH THE BOTTOM HALVES OF THE INFLOWING PIPES AND THE OUTFLOWING PIPE AS SHOWN BY THE DRAWINGS. MANHOLE FLOORS SHALL HAVE SLOPES OF 3 INCHES PER FOOT IN THE AREAS OUTSIDE OF THE FLOW CHANNELS SLOPED TOWARD THE FLOW CHANNELS. PIPES LAID THROUGH MANHOLES SHALL HAVE THE TOP HALF REMOVED TO NEAT LINES FOR THE FULL INSIDE DIAMETER OF THE MANHOLE. MANHOLE FLOORS SHALL THEN BE SHAPED AROUND THE BOTTOM HALF OF THE PIPE WHICH FORMS THE FLOW CHANNEL.
- MANHOLE COVER CASTINGS AND MANHOLE FRAME CASTINGS SHALL CONFORM TO THE REQUIREMENTS AS INDICATED IN THE STANDARD SPECIFICATIONS AND AS SHOWN IN THE STANDARD DETAIL DRAWING.
- THE VERTICAL DROP IN STANDARD MANHOLES SHALL NOT EXCEED 2' REGARDLESS OF PIPE SIZE. THE CROWNS OF INFLOWING PIPES SHALL NEVER BE SET LOWER THAN THE CROWN OF THE OUTFLOWING PIPE.
- STANDARD MANHOLES SHALL BE BID AS STANDARD MANHOLES FOR THE TYPE AND DIAMETER INDICATED. OUTSIDE DROP MANHOLES SHALL BE BID AS STANDARD OUTSIDE DROP MANHOLES FOR THE TYPE AND DIAMETER INDICATED. ALL MANHOLE DIAMETERS WILL BE 4' UNLESS INDICATED OTHERWISE.
- PRECAST CONCRETE SPACERS OR BRICK MASONRY COLLAR SHALL BE INSTALLED BETWEEN THE CAST IRON FRAME AND THE CONCENTRIC CONE. THE COLLAR WILL HAVE 8" WALLS AND A VERTICAL HEIGHT OF 6" MINIMUM AND 18" MAXIMUM. A 1" COAT OF MORTAR WILL BE PLASTERED ON THE OUTSIDE OF THE COLLAR. THE USE OF PRE-CAST CONCRETE SPACERS FOR MANHOLE TOP ADJUSTMENT IS ALSO ALLOWED.
- THE FULL DIAMETER OF THE MANHOLE SHALL EXTEND THE ENTIRE DEPTH OF THE MANHOLE TO THE CONE SECTION. NO REDUCTION IN MANHOLE DIAMETER WILL BE ALLOWED.
- REFER TO PLANS FOR SIZE OF OUTSIDE DROP RISER, SADDLES AND CROSS.

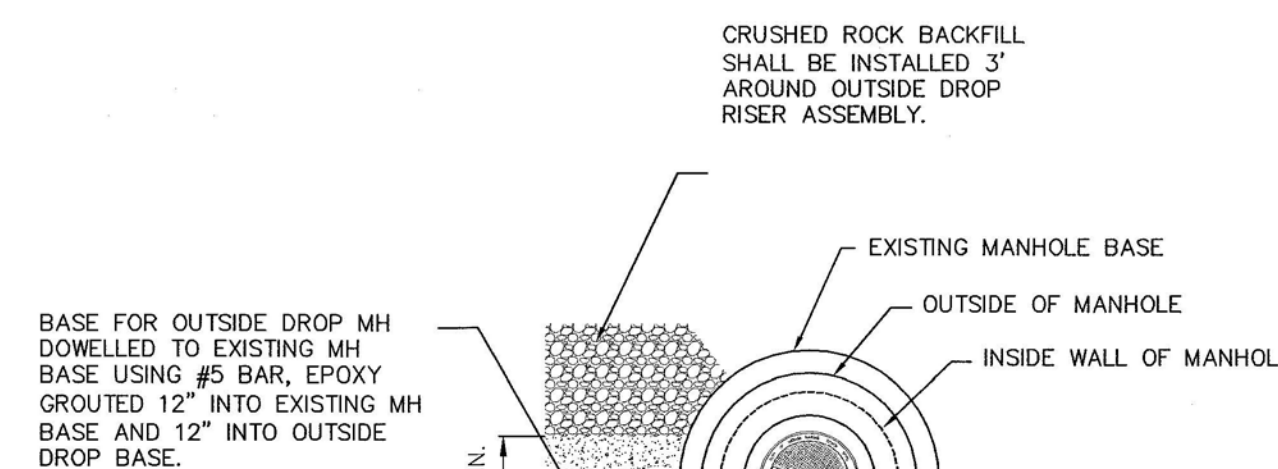


RISER PIPE RESTRAINING ASSEMBLY
Not to Scale

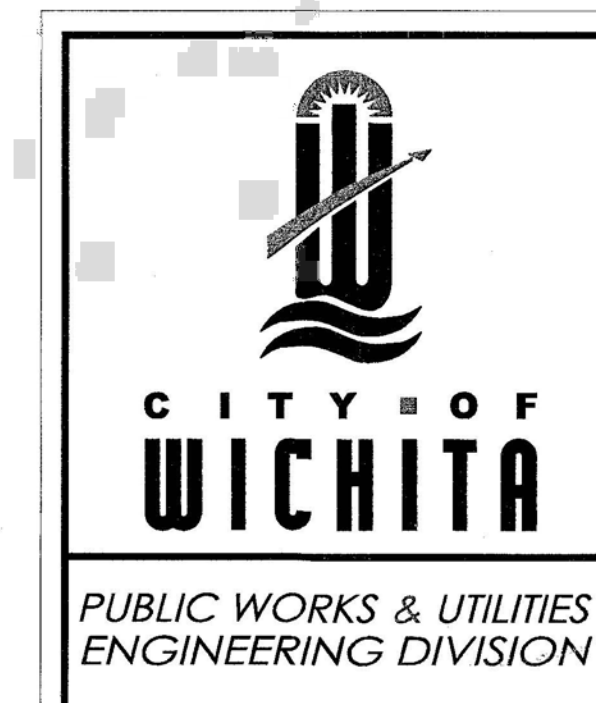
SANITARY SEWER MANHOLE DIAMETERS		
DIAMETER	DEPTH	PIPE SIZE
4'	0'-15'	8"-18"
5'	15'-30'	21"-30"
6'	>30'	36"-60"



CLEANOUT RISER BOX DETAIL
Not to Scale



MH BASE DETAIL
Not to Scale



PRECAST
SANITARY SEWER
MANHOLE

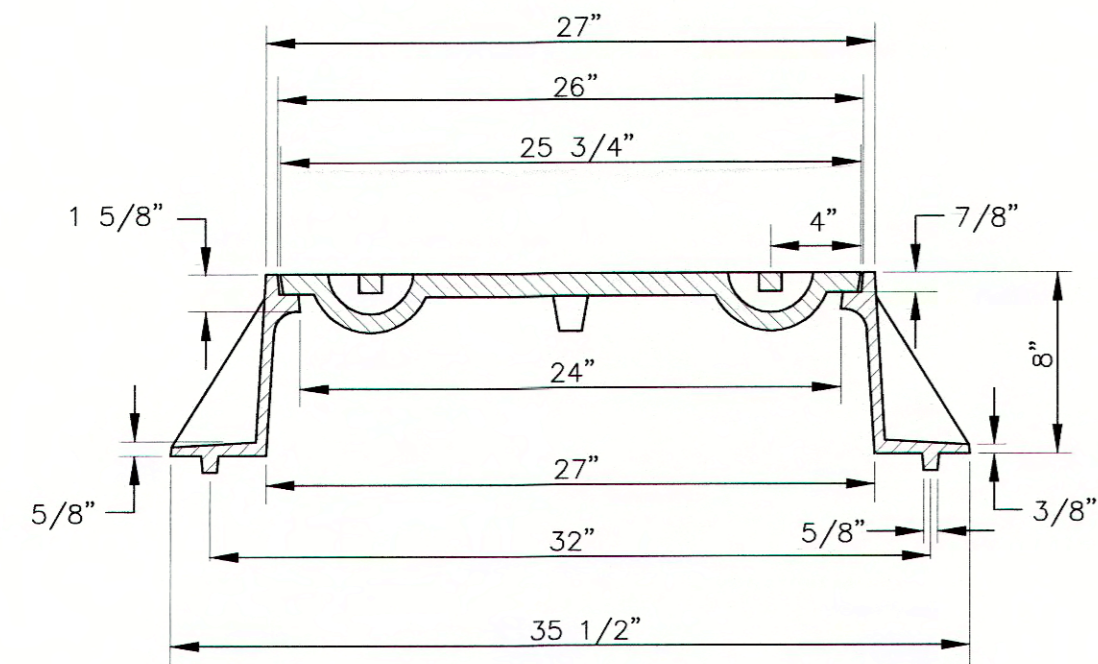
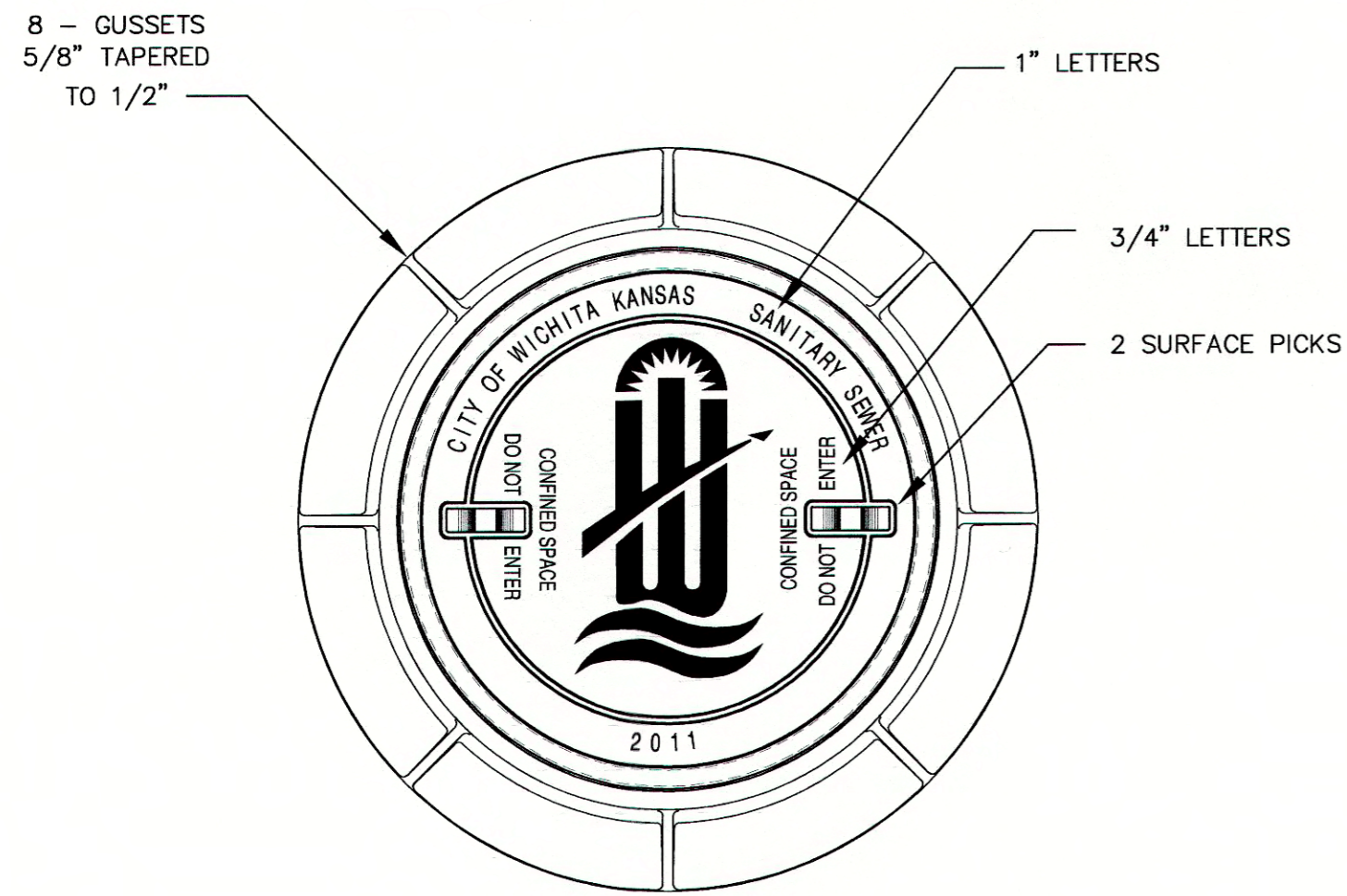
CITY ENGINEER
GARY JANZEN, P.E.

PROJECT NUMBER OCA NUMBER DATE

CITY ENGINEER'S OFFICE
CITY HALL - SEVENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202-1620
(316) 268-4501

REVISED JANUARY 2014

SHEET

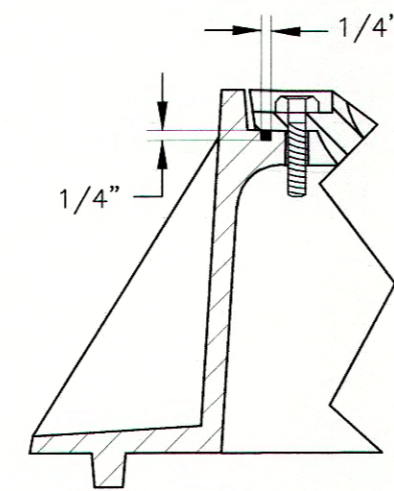
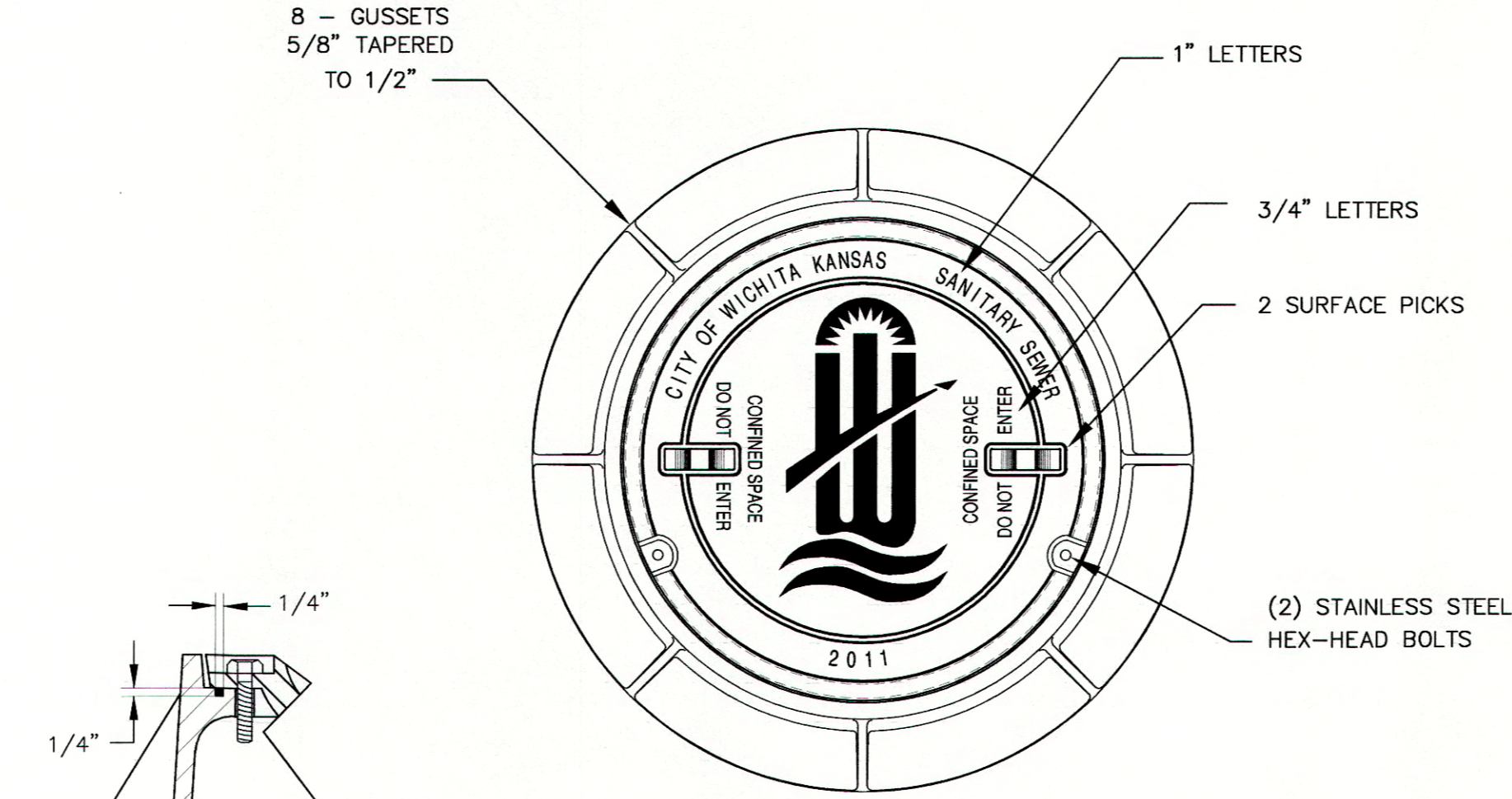


STANDARD MANHOLE FRAME & COVER

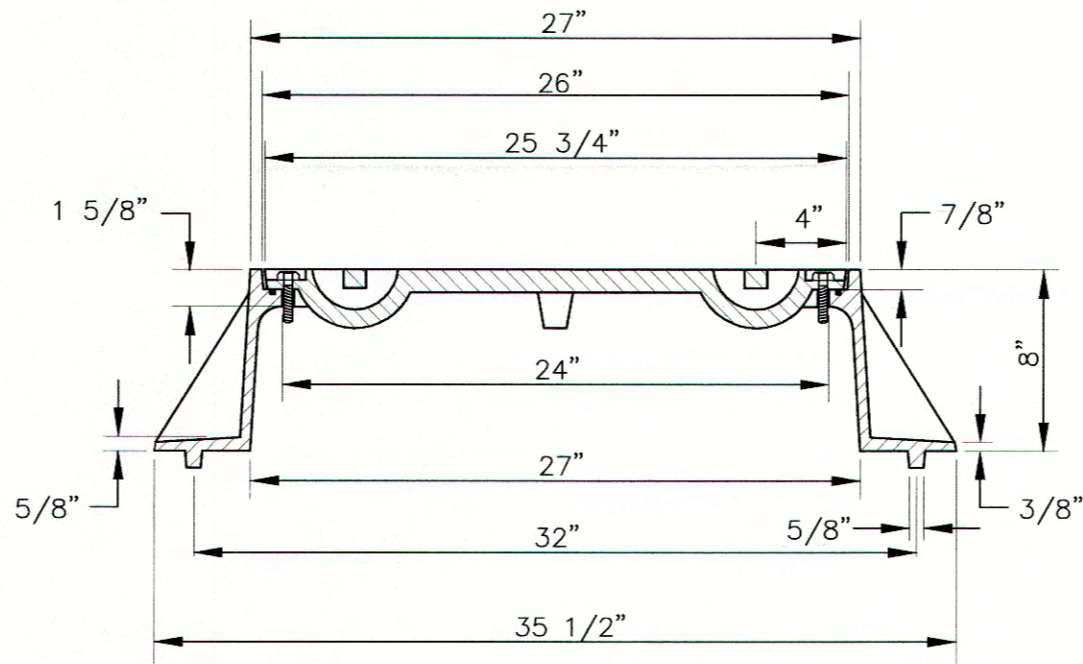
DEETER #1261 OR EJIW #1936-Z1

NOTE:

1. FURNISHED WITH MACHINED HORIZONTAL BEARING SURFACE.



DETAIL OF T-GASKET

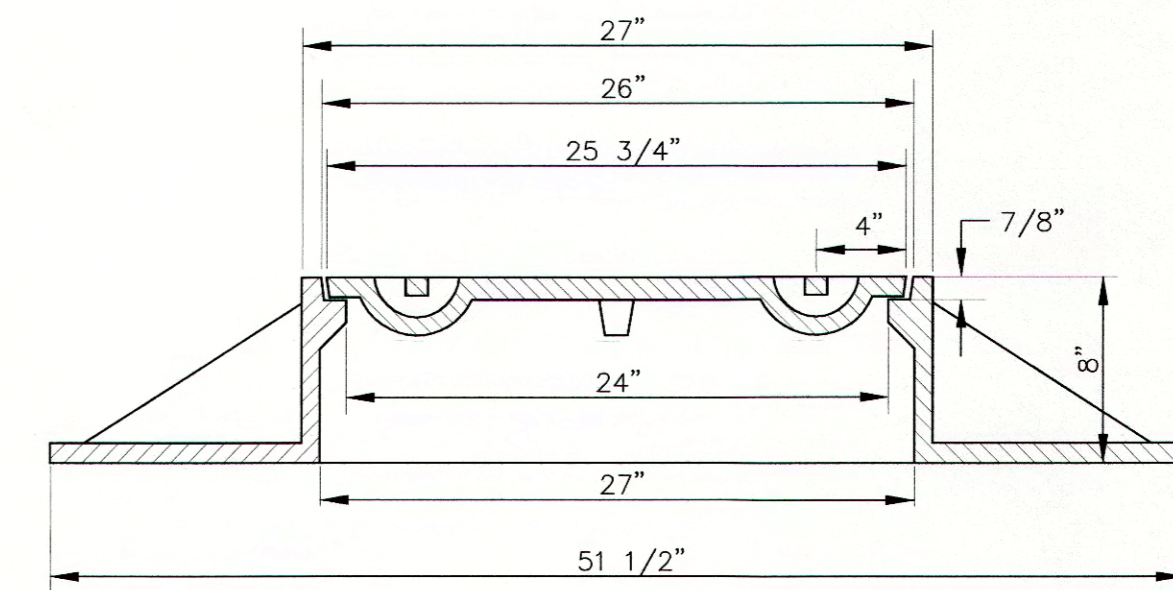
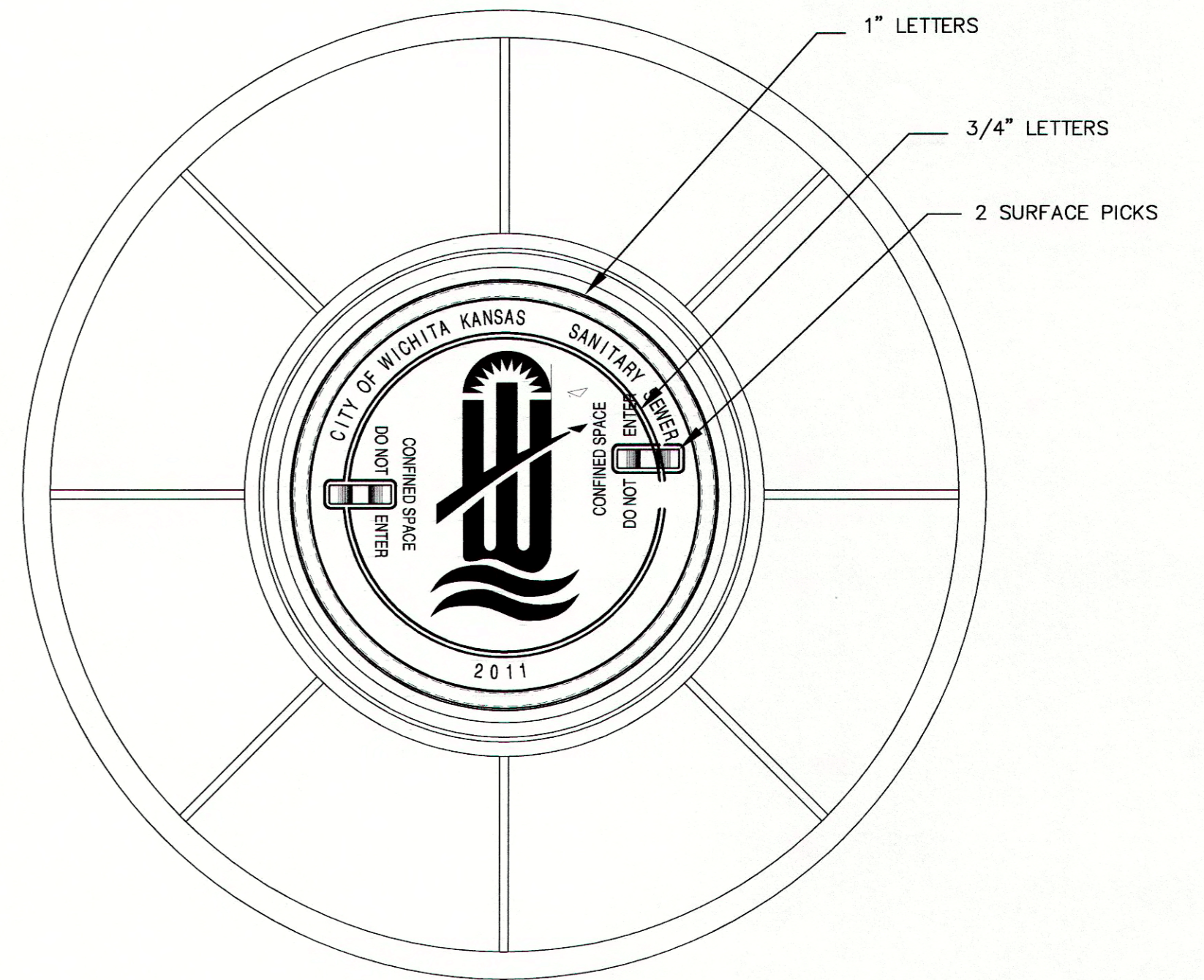


BOLT DOWN MANHOLE FRAME & COVER

DEETER #1261 OR EJIW #1936-Z1

NOTE:

1. FURNISHED WITH MACHINED HORIZONTAL BEARING SURFACE.
2. FURNISHED WITH A T-GASKET IN THE FRAME.



WIDE FLANGED FRAME & COVER

DEETER #1261A

NOTE:

1. FURNISHED WITH MACHINED HORIZONTAL BEARING SURFACE.

GENERAL NOTES

1. MANHOLE CASTINGS SHALL BE MANUFACTURED USING GOOD QUALITY GRAY IRON CONFORMING TO CLASS 30 OF A.S.T.M. DESIGNATION A-48. DIMENSIONS SHOWN ON THE DETAILED DRAWINGS SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS AND ANY DEVIATIONS FROM THE DIMENSIONS SHOWN MUST BE SPECIFICALLY APPROVED. THE FINISHED CASTINGS SHALL BE OF UNIFORM QUALITY, FREE FROM BLOWHOLES, POROSITY, HARD SPOTS, SHRINKAGE DISTORTIONS OR OTHER DEFECTS.
2. MANHOLE CASTINGS SHALL BE MANUFACTURED SUCH THAT A COVER MANUFACTURED BY ANY ONE FOUNDRY WILL FIT INTERCHANGEABLY INTO A FRAME MANUFACTURED BY ANOTHER FOUNDRY AND STILL MEET ALLOWABLE CLEARANCES AND NON-ROCKING REQUIREMENTS. THIS WILL REQUIRE MANUFACTURING OF THE MATCHING FACES ON THE COVER AND THE FRAME TO CLOSE TOLERANCES.
3. THE OUTSIDE CIRCUMFERENCE OF THE VERTICAL FACE OF THE COVER AND THE INSIDE CIRCUMFERENCE OF THE VERTICAL FACE IN THE FRAME RECESS SHALL BE MANUFACTURED TO TOLERANCES SUCH THAT THE CLEARANCE BETWEEN THE COVER AND FRAME WILL NOT EXCEED 1/8" AT ANY POINT AROUND THE CIRCUMFERENCE OF THE COVER. THE SEATING SURFACES BETWEEN THE COVER AND FRAME SHALL BE MACHINED SUCH THAT THESE SEATING SURFACES SHALL MAKE FULL CONTACT FOR THEIR FULL CIRCUMFERENCE TO PRECLUDE THE COVER FROM ROCKING IN THE FRAME.
4. THE MANHOLE FRAME AND COVER SHALL BE MARKED WITH LETTERING INDICATING THE NAME OF THE MANUFACTURER AND THE YEAR WHEN THE COVER OR FRAME WAS CAST. THE COVER SHALL BE FURTHER IDENTIFIED WITH REGARDS TO OWNERSHIP USING LETTERS AT LEAST 1 INCH IN HEIGHT. THIS IDENTIFICATION SHALL BE "CITY OF WICHITA SANITARY SEWER". THE TOP SURFACE OF THE COVER SHALL BE MANUFACTURED IN WITH CITY OF WICHITA DESIGN AS INDICATED ON THE DRAWINGS. SMOOTH BLOCKOUTS SHALL BE UTILIZED TO HIGHLIGHT THE LETTERING ON THE COVER SURFACE. THE TOTAL AREA OF SMOOTH SURFACE BLOCKOUT SHALL NOT EXCEED THE AREA AS INDICATED ON THE DRAWING. POSITIONING OF SMOOTH BLOCKOUTS AND LETTERING MAY VARY FROM THAT SHOWN ON THE DETAILED DRAWING.



MANHOLE FRAME AND COVER (SANITARY SEWER)

CITY ENGINEER

GARY JANZEN, P.E.

PROJECT NUMBER OCA NUMBER DATE
12/2011

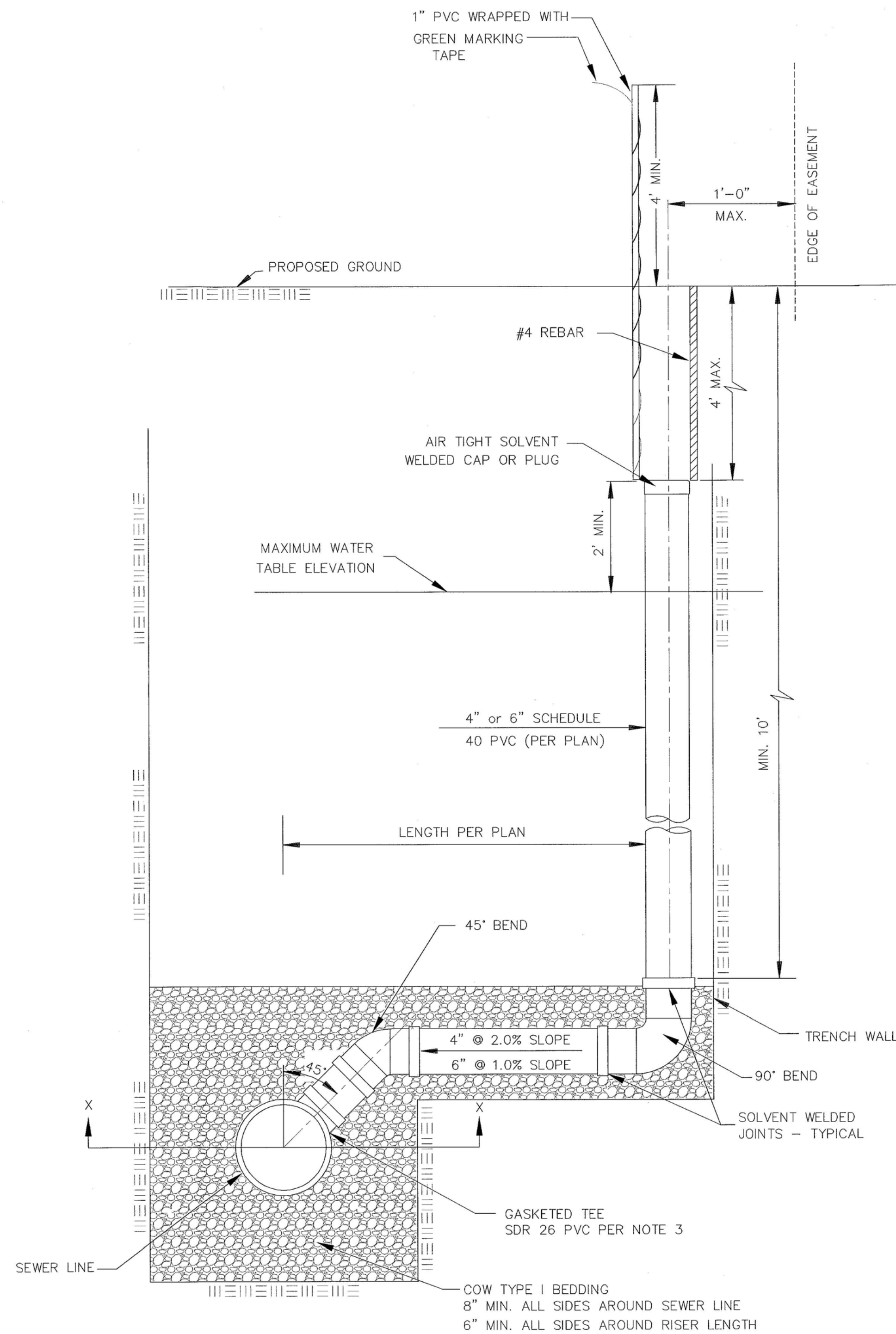
CITY ENGINEER'S OFFICE
CITY HALL - SEVENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202-1620
(316) 268-4501

SHEET

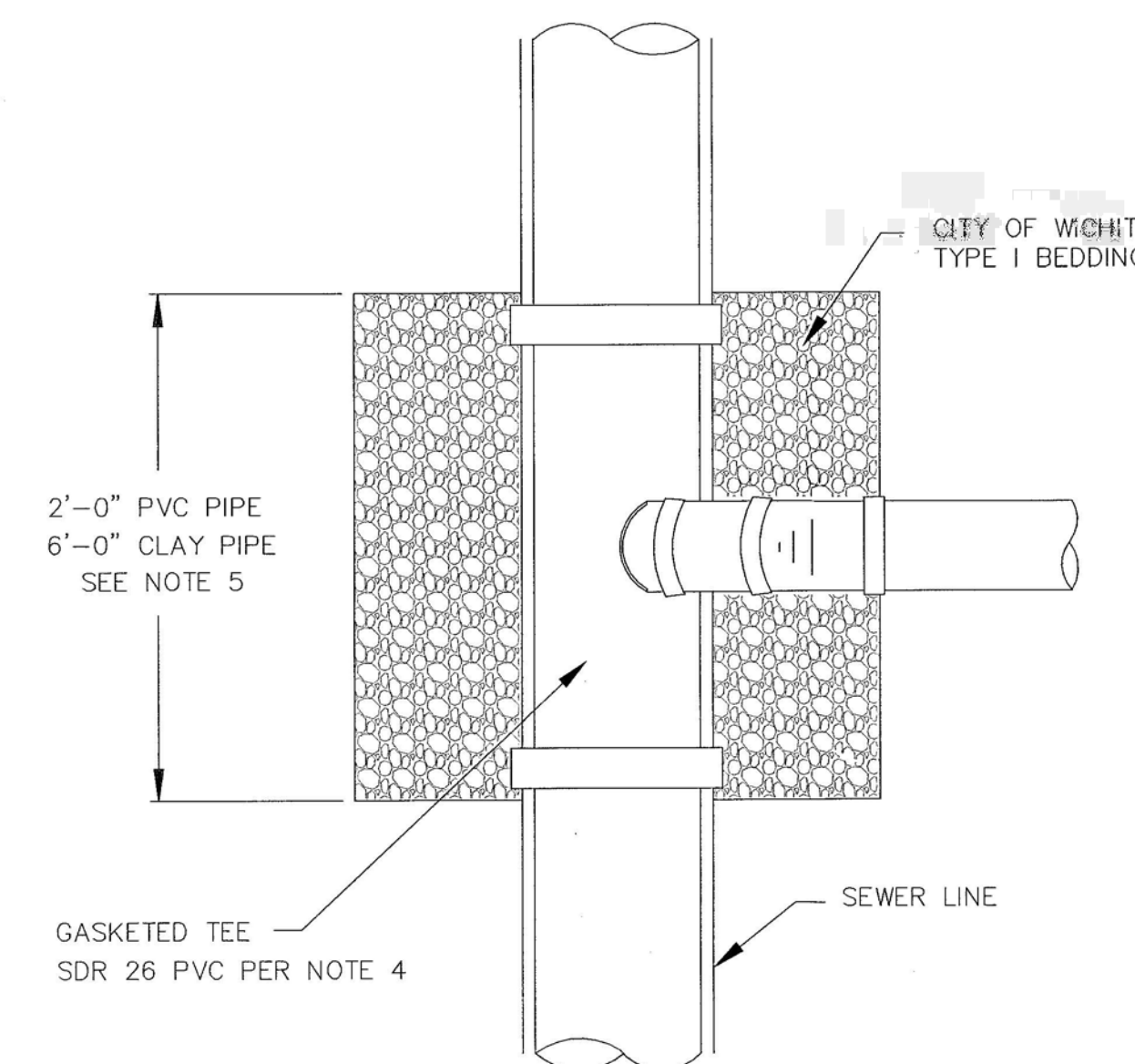
GENERAL NOTES

1. APPLICATION. Risers shall be installed to serve all lots or tracts where the sanitary sewer main is below the water table, where the sanitary sewer main depth is greater than 12' below the proposed ground elevation, where the main is adjacent to a pond or wherever service lines would have to cross under storm sewer pipe. Installation of risers because of field conditions shall be as approved by the City Engineer. The location of the risers to serve developed property shall be approved by the property owner and the Construction Engineer.
2. MANHOLE STUB RISERS. Manhole stub risers shall be installed in manholes where locations of manholes will provide satisfactory service connection as determined by the Construction Engineer. The vertical distance between the flowline of the manhole stub and the flowline of the sanitary sewer line out of the manhole shall not exceed 2'. Risers shall be utilized at manholes as indicated in Note 1. Manhole stub riser shall be set such that the top of the stub is not lower than the top of the sanitary sewer line.
3. SIZING. Risers shall be sized according to the plans and riser table where risers are indicated by the plans. Where risers are required because of field conditions, the risers shall be 6" diameter for commercial or industrial properties and 4" or 6" diameter for residential properties, based on lot size and sanitary sewer main depth. Sizing of risers shall be approved by the construction Engineer prior to installation.
4. RISER MATERIAL. Risers shall be constructed of Schedule 40 PVC Pipe, meeting the requirement of the latest revision of A.S.T.M.. All pipe joints shall be solvent welded. Full body tee shall be SDR 26 PVC pipe.
5. ROCK ENCASUREMENT. Riser connection to clay pipe sanitary sewers shall be rock encased both ways from the riser centerline. The rock encasement shall extend three feet from the riser centerline or stop at the first sanitary sewer pipe joint within three feet of the riser centerline. Riser connections to PVC Sanitary sewer mains shall be rock encased one foot each way from the riser centerline. Crushed rock shall conform to ASTM C-33, Gradation No. 67, and shall meet all requirements for Portland Cement Concrete pavement Coarse Aggregate, Section 406.2, City of Wichita Standard Specifications.
6. BEDDING. Beyond the limits of the rock encasement, bedding around the sanitary sewer riser shall be compacted Pipe Bedding Type 1 or 2. The bedding shall be placed and compacted from the depth of the sanitary sewer main to the top of the sanitary riser pipe. Compacted Pipe Bedding Type 1 or 2 shall be required for all risers whether constructed in vertical wall or sloped wall trenches. Bedding material and construction practices shall be approved by the Construction Engineer prior to installation.
7. SUPPORT OF RISERS. Sanitary sewer riser pipe shall be supported during trench backfill. The riser pipe shall be held in a vertical position at all times until trench backfill and compaction has been completed. Contractor's methods for supporting and back filling the riser pipe shall be approved by the Construction Engineer.
8. PLUGGING. The ends of the riser pipes and manhole stubs shall be plugged using an airtight solvent welded cap or plug. Cap or plug fittings shall be approved by the Construction Engineer prior to installation. Caps or plugs which do not provide an airtight seal will not be accepted.
9. TOP OF THE RISER PIPE. The top elevation of the sanitary sewer riser pipe shall be built per plan elevations, unless otherwise directed by the Construction Engineer, where riser elevations are not shown on the plans, the top of the risers shall be set at an elevation four feet below the proposed ground surface. If ground water is encountered, the top of the riser pipe shall be set at an elevation 2' (min.) above the maximum water table elevation, regardless of the riser elevation shown on the plans.
10. MARKING. Locations of the ends of the sanitary sewer riser pipe shall be marked by installing 1" PVC from the top of the riser to a minimum of 4" above the top of finished grade. No. 4 rebar shall be placed centered over the riser from the cap to the existing ground. The 1" PVC pipe shall be wrapped with green colored plastic tape, for the full length above ground surface. The green tape shall be 4 mil Polyethylene film with a minimum width of three inches, specifically manufactured for the purpose of identification of underground sewers.
11. LOCATION MEASURES. The project inspector shall record and document the location of all risers constructed as measured from the nearest manhole, indicate the direction from the manhole, the direction and distance from the main, riser size, and elevation of the top of the riser in tabular format.
12. RISER LOCATION. The riser shall be located per plan if shown. If not shown on the plan, the riser shall be located at the center of the lot, within one foot of the property side of the easement for the lot being served. All riser locations shall be approved by the Construction Engineer prior to installation.
13. PAYMENT. "Riser Assembly, Vertical" shall be paid for at the contract unit price per each, which shall be full compensation for all pipe, fittings, marking tape, length of backfill, labor, site restoration, and any other items necessary to complete the work.

"Riser Assembly, Manhole Stub" shall be paid for at the contract unit price per each, which shall be full compensation for all labor material and incidentals necessary to complete the work including all pipe, fittings, rock encasement, and all other items as required and listed for "Riser Assembly, Vertical"



NOTE:
NON SHEAR COUPLING TO BE USED
WHEN HOOKING TO CLAY PIPE.



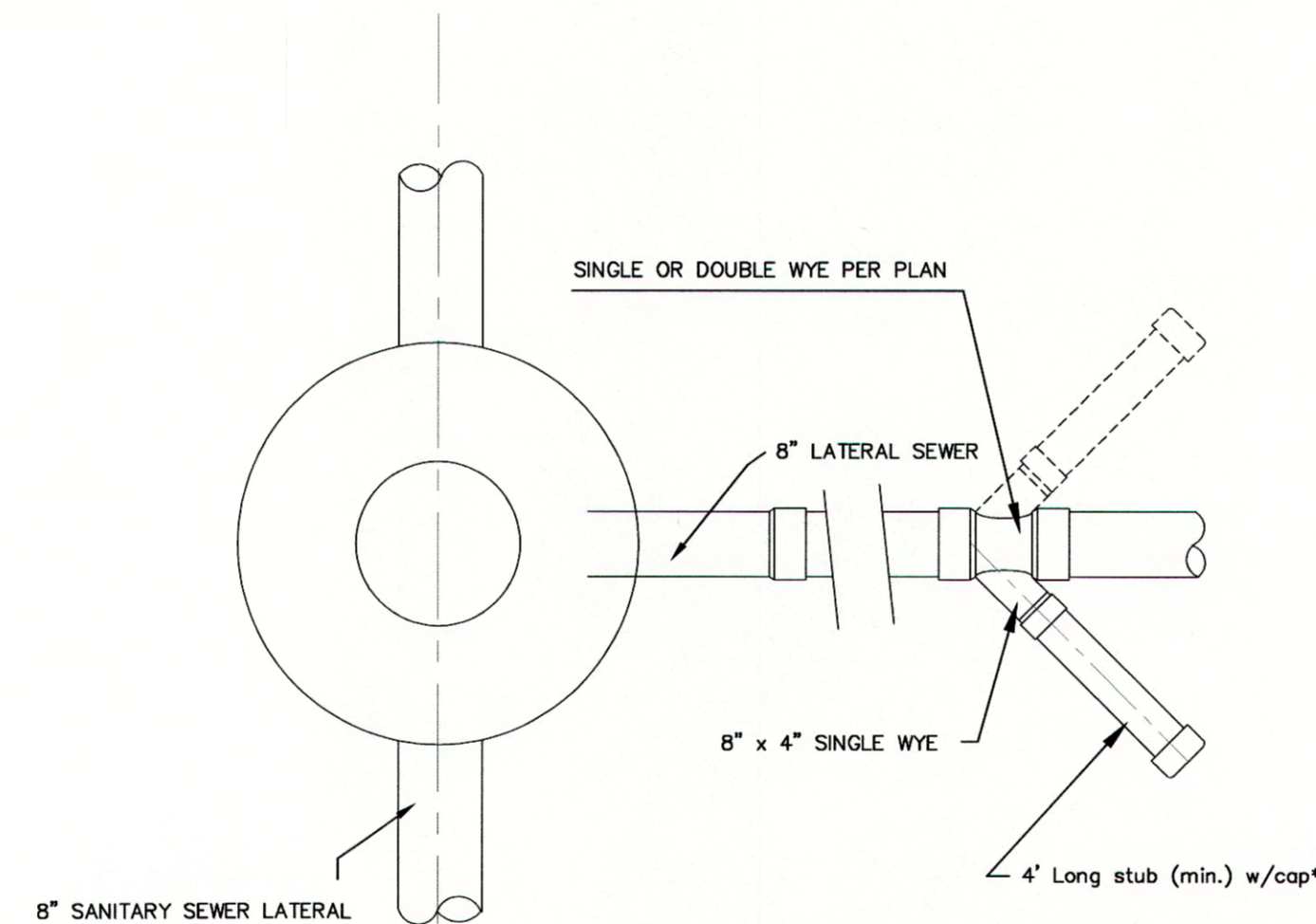
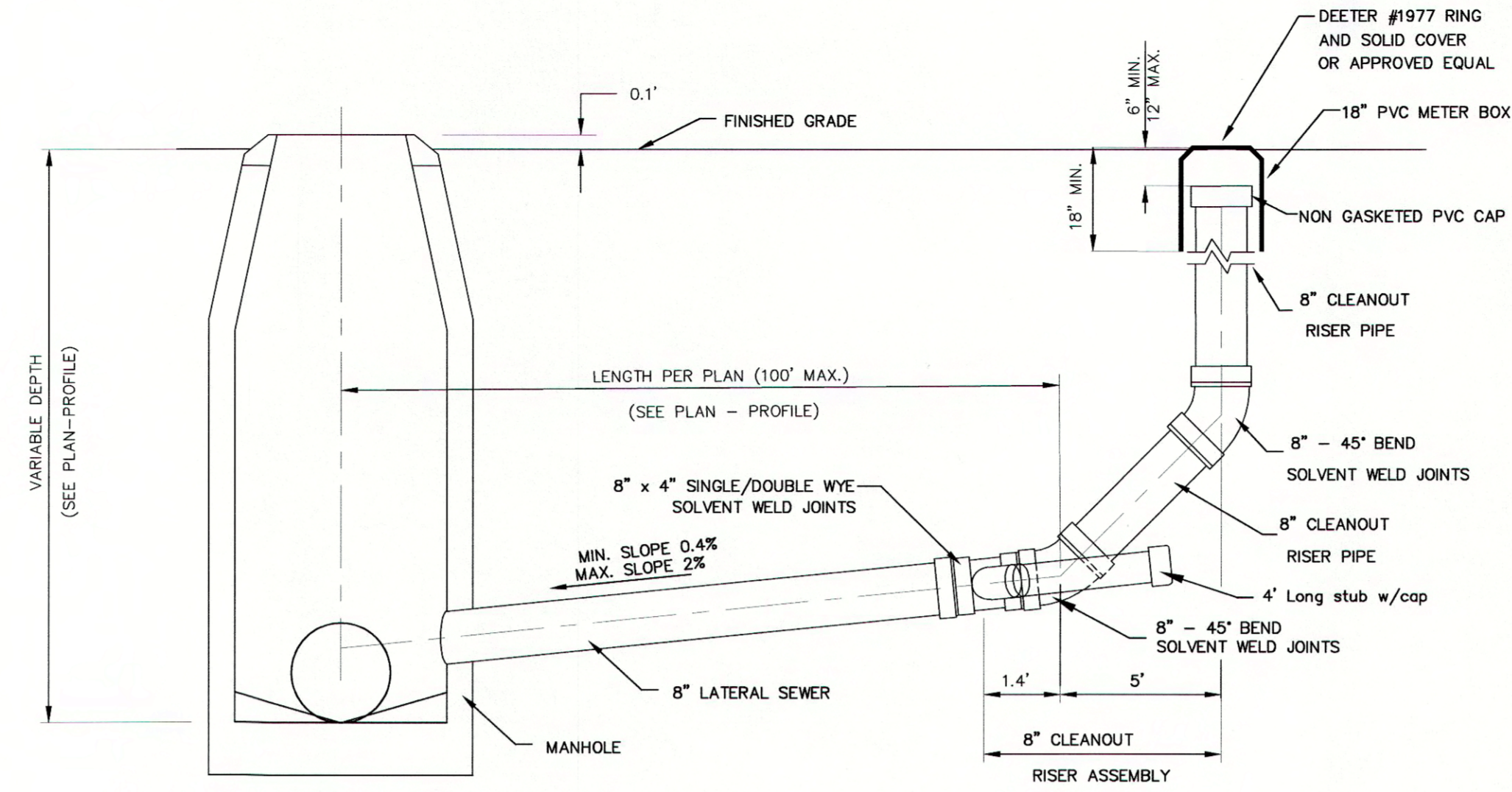
TYPICAL SECTION X-X

NOTE: RISER PIPE REQUIREMENTS AT MANHOLE STUBS SHALL BE SIMILAR TO THOSE SHOWN ABOVE.



CITY OF WICHITA
PUBLIC WORKS & UTILITIES
ENGINEERING DIVISION

VERTICAL RISER ASSEMBLY SEWER DETAIL		
CITY ENGINEER GARY JANZEN, P.E.		
PROJECT NUMBER	OCA NUMBER	DATE
		04/2014
CITY ENGINEER'S OFFICE CITY HALL - SEVENTH FLOOR 455 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501		SHEET



CLEANOUT RISER ASSEMBLY DETAIL
W/ MANHOLE CONNECTION

* 4" BRANCH (EACH SIDE) TO SERVE AS 4" STUB TEMPORARY CAP UNTIL SERVICE CONNECTION IS REQUIRED. SINGLE OR DOUBLE WYE TO BE USED WHERE INDICATED ON PLAN. WHEN IN GROUNDWATER 4" STUB NEEDS VERTICAL RISER.

** 8" LATERAL TO BE AIR-TESTED UP TO THE TOP OF PVC PIPE, PER STANDARD SPECIFICATIONS.

GENERAL NOTES:

TAPS: NO TAPS ARE PERMITTED BETWEEN THE MANHOLE/TEE AND THE CLEANOUT RISER.
 BEDDING: BEDDING AROUND THE SANITARY SEWER RISER SHALL BE COMPACTED PIPE BEDDING TYPE 2. (TYPE 1 IN GROUNDWATER).
 MATERIAL: RISER AND LATERALS SHALL BE CONSTRUCTED OF SDR-35 PVC PIPE. TEES SHALL BE SDR-26 PIPE, 4" STUBS SHALL BE SCHEDULE 40.
 CONNECTIONS: ALL SERVICE CONNECTIONS MUST BE MADE TO THE WYE PROVIDED.



CLEANOUT RISER ASSEMBLY DETAIL		
CITY ENGINEER GARY JANZEN, P.E.		
PROJECT NUMBER	OCA NUMBER	DATE 12/2011
CITY ENGINEER'S OFFICE CITY HALL - SEVENTH FLOOR 455 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501		SHEET