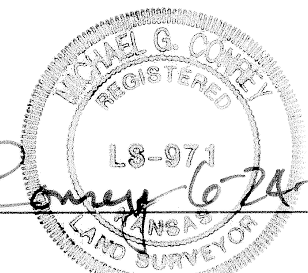


FALCON FALLS 2ND ADDITION WICHITA, SEDGWICK COUNTY, KANSAS

State of Kansas) SS We, Baughman Company, P.A., Surveyors in Sedgwick County) aforesaid county and state do hereby certify that we have surveyed and platted "FALCON FALLS 2ND ADDITION", Wichita, Sedgwick County, Kansas and that the accompanying plat is a true and correct exhibit of the property surveyed, described as a tract of land in the NE1/4 and SE1/4, Sec. 22, Twp. 26-S, R-1-E of the 6th P.M., Sedgwick County, Kansas described as follows: Beginning at the NW corner of Lot 1, Block 1, Falcon Falls Addition to Wichita, Sedgwick County, Kansas; thence S00°17'24"E along the west line of Lot 1, in said Block 1, and as extended south, 194.00 feet to the SE corner of Kite as dedicated in said Falcon Falls Addition; thence S89°57'09"E along the south right-of-way line of said Kite, 66.00 feet to the NW corner of Lot 1, Block 2 in said Falcon Falls Addition; thence S00°17'24"E along the west line of said Block 2, 683.98 feet to a deflection corner in said west line; thence S24°45'09"W along said west line of said Block 2, 131.82 feet to a deflection corner in said west line; thence S00°00'00"W along the west line of said Block 2, 172.92 feet to the SW corner of Lot 45 in said Block 2; thence southerly along the westerly right-of-way line of Lanners Cir. as dedicated in said Falcon Falls Addition, being a curve to the left, having a central angle of 107°41'00" and a radius of 50.00 feet, an arc distance of 93.97 feet, (having a chord length of 80.74 feet bearing S00°00'00"W), to the NW corner of Lot 1, Block 6, in said Falcon Falls Addition; thence S00°00'00"W along the west line of Lot 1 in said Block 6, and as extended south, 480.07 feet; thence S65°49'40"W, 42.45 feet; thence S21°46'19"E, 120.76 feet to a point on a curve to the left; thence southwesterly along said curve, having a central angle of 26°58'18" and a radius of 132.00 feet, an arc distance of 62.14 feet, (having a chord length of 61.57 feet bearing S54°44'32"W); thence N48°44'37"W, 133.15 feet; thence S62°27'52"W, 83.11 feet; thence S00°25'46"E, 664.38 feet; thence S89°34'14"W, 174.17 feet to a point on a curve to the right; thence southwesterly, westerly, northwesterly, northerly, and northeasterly along said curve, having a central angle of 219°29'15" and a radius of 75.00 feet, an arc distance of 287.31 feet, (having a chord length of 141.18 feet bearing N45°25'46"W); thence N00°25'46"W, 104.17 feet; thence S89°34'14"W, 648.09 feet; thence N00°25'46"W, 344.00 feet; thence S89°34'14"W, 419.00 feet to a point on the west line of said SE1/4; thence N00°25'46"W along said west line, 628.40 feet to the NW corner of said SE1/4; thence N00°32'01"W along the west line of said NE1/4, 1346.37 feet to a point 16.50 feet north of the NW corner of the S½ of said NE1/4; thence S89°57'12"E, 1449.80 feet to the point of beginning.

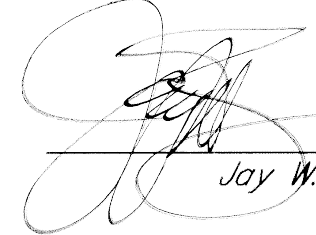
Existing public easements and dedications being vacated by virtue of K.S.A. 12-512(b).

Baughman Company, P.A.


Michael G. Conrey, Surveyor
 Michael G. Conrey

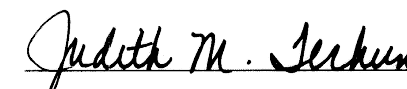
Know all men by these presents that we, the undersigned, have caused the land in the surveyors certificate to be platted into Lots, Blocks, Streets, and Reserves to be known as "FALCON FALLS 2ND ADDITION", Wichita, Sedgwick County, Kansas. The utility easements are hereby granted as indicated for the construction and maintenance of all public utilities. The drainage and utility easements are hereby granted as indicated for drainage purposes and for the construction and maintenance of all public utilities. The drainage easements are hereby granted as indicated for drainage purposes. The drainage and pedestrian access easements are hereby granted as indicated for drainage purposes and for pedestrian access to or from Reserve "B" and no fences or other obstructions shall be constructed or placed on or within these easements. The temporary cul-de-sac easements are hereby granted as indicated for the construction and maintenance of a temporary cul-de-sac and shall expire at such time as Thunder is extended further west or terminated as a permanent cul-de-sac. The streets are hereby dedicated to and for the use of the public. Reserve "A" is reserved for landscaping, open space, pedestrian access, drainage purposes, and utilities as confined to easements. Reserve "B" is reserved for landscaping, swimming pools and related uses, playgrounds, open space, lakes, drainage purposes, and utilities as confined to easements. Reserve "C" is reserved for entry monuments, landscaping, streets, drainage purposes, and utilities. Reserves "A", "B", and "C" shall be owned and maintained by the homeowners association for the addition. The Minimum Building Pad Elevations for the lowest opening to the structures shall be as indicated on the face of the plat.

Heights, LLC


 Jay W. Russell, Member

State of Kansas) SS The foregoing instrument acknowledged before Sedgwick County) me, this 22ND day of JULY, 2005, by Jay W. Russell, Member of Heights, LLC, on behalf of the limited liability company.


 My Appl. Expires 11-7-05


 Judith M. Terhune, Notary Public

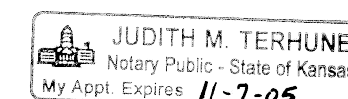
My App't. Exp. 11-7-05

We the undersigned holders of a mortgage on the above described property, do hereby consent to this plat of "FALCON FALLS 2ND ADDITION", Wichita, Sedgwick County, Kansas.

Chisholm Trail State Bank


 ELMER S. PETERS, JR., E.V.P. (Title)

State of Kansas) SS The foregoing instrument acknowledged before Sedgwick County) me, this 25TH day of JULY, 2005, by ELMER S. PETERS, JR. EXEC. V.P. of Chisholm Trail State Bank, on behalf of the bank.

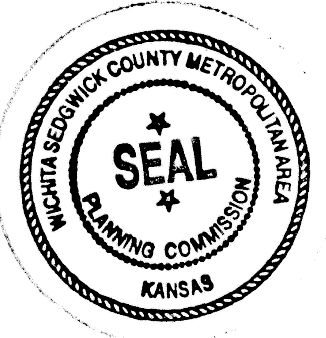

 My Appl. Expires 11-7-05


 Judith M. Terhune, Notary Public

My App't. Exp. 11-7-05

This plat of "FALCON FALLS 2ND ADDITION", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.


Dated this 12TH day of MAY, 2005.
Wichita-Sedgwick County Metropolitan Area Planning Commission




 Morris K. Dunlap, Chair


 John L. Schlegel, Secretary


This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this 22ND day of AUGUST, 2005.


 Carlos Moyans, Mayor

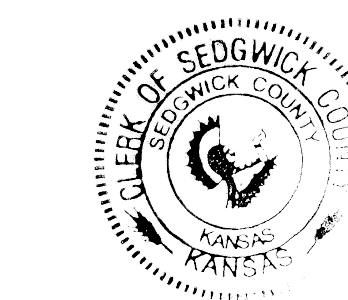

 Karen Sublett, Clerk


Reviewed in accordance with K.S.A. 58-2005 on this 23RD day of JULY, 2005.




 Tricia L. Robello, L.S. #1246
 Deputy County Surveyor
 Sedgwick County, Kansas

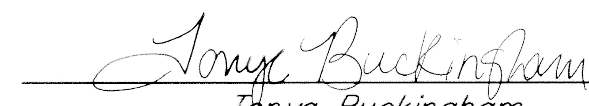
Entered on transfer record this 13TH day of SEPTEMBER, 2005.


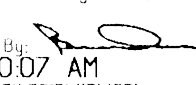



 Don Brace, County Clerk

State of Kansas) SS This is to certify that this plat has been Sedgwick County) filed for record in the office of the Register of Deeds, this 14TH day of SEPTEMBER, 2005 at 7:00 o'clock A.M. and is duly recorded.


 Bill Meek, Register of Deeds


 Tonya Buckingham, Deputy


 Sedgwick County Register of Deeds Bill Meek
 DDC #/FLM-PG: 28714101 Recording Fee \$40.00
 Received & Indexed Pages Recorded: 2
 Cashier Initials: DT Authorized By: 
 Date Recorded: 9/14/2005 9:00:07 AM