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Details available at City of Wichita web site at
<http://www.wichita.gov/Government/Department/PWU/StandardConstruction> or by request.

BENCHMARK

BENCH MARK #1: CHISELED SQUARE ON TOP OF MEDIAN AT THE ENTRANCE OF CASA BELLA ADDITION.
 ELEVATION = 1354.46 (NAVD88)

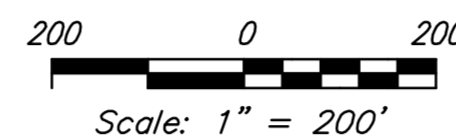
BENCH MARK #2: RAILROAD SPIKE IN WEST FACE OF POWER POLE LOCATED APPROXIMATELY 1185'± SOUTH OF THE INTERSECTION OF PAWNEE AND 127TH STREET EAST AND APPROXIMATELY 26'± EAST OF THE CENTERLINE OF 127TH STREET EAST.
 ELEVATION = 1362.34 (NAVD88)

Site ERU Information

Total Area:	±5,376,950 sq. ft. (123.44 acres)
Existing Impervious Area:	74,625 sq. ft. (±1.71 acres)
Proposed Improvements:	
Added Impervious Area:	±980,385 sq. ft. (±22.51 acres)
Proposed Impervious Area:	±1,055,010 sq. ft. (±24.21 acres)
Building Area:	±221,300 sq. ft. (±5.08 acres)
Pervious Area Disturbed:	±1,118,990 sq. ft. (±25.69 acres)
Future Improvements:	
Onsite:	
Football Field & Offsite (Sierra Pointe Addition)	3,816,570 sq. ft. (±87.62 acres)
Impervious Area:	736,990 sq. ft. (±16.92 acres)
Pervious Area:	315,860 sq. ft. (±7.25 acres)

AS BUILT PLANS

Contractor: Dondlinger
 Inspector: Fred Smith, Baughman Co.
 pdf's by: KEK, 9/25/15



PRIVATE STORM DRAIN IMPROVEMENTS

to serve, Phase TWO of

Southeast High School

Lot 1, Block 1, USD 259 4th Addition

Private Project: 0285 PPD (607861)

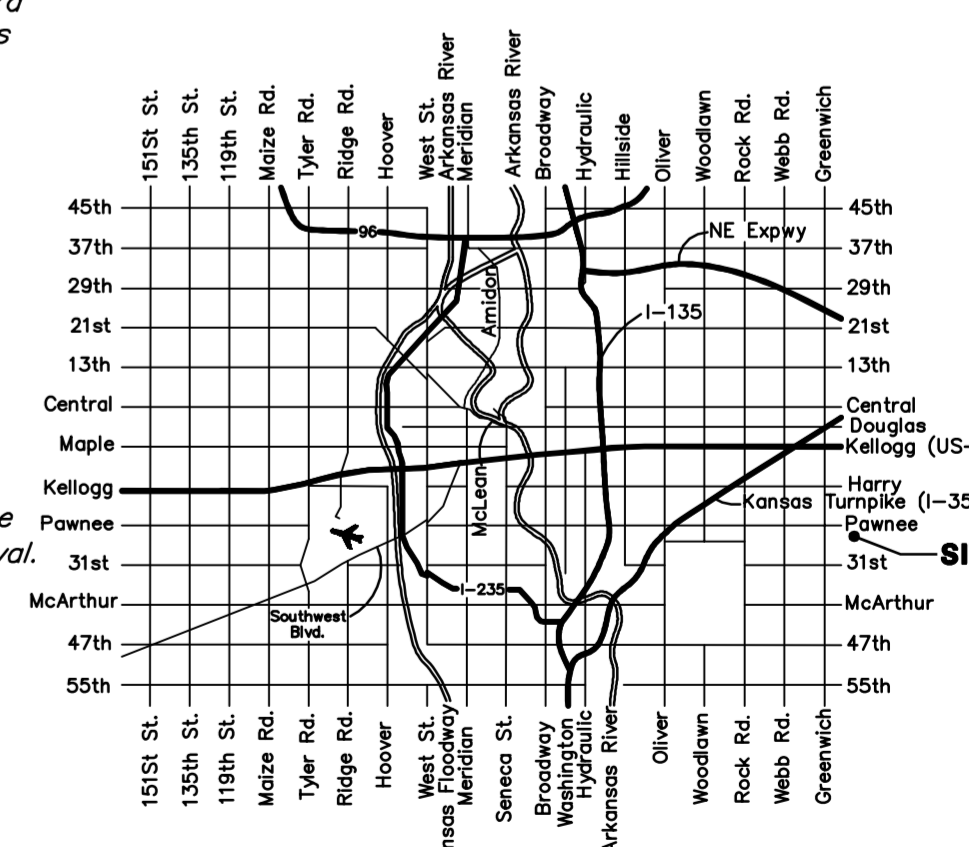
CITY OF WICHITA, KANSAS

Gary Janzen, P.E. - City Engineer

DECEMBER 2014

GENERAL NOTES:

- Contractor will be required to provide notice to utility companies a minimum of forty-eight (48) hours prior to any excavation, as follows:
 Kansas One-Call 687-2470
 The Contractor must notify the following in case of an emergency:
 Cox Communications 262-4270
 Kansas Gas Service 1-888-482-4950
 Westar Energy 383-8650
 Black Hills Energy (Gas) 1-800-303-0357
 ATT 268-2245
 City of Wichita Water Dept. 268-4563
 City of Wichita Sewer Maint. 268-4024
 City of Wichita Storm Sewer Maint. 268-4090
 City of Wichita Traffic Maint. 268-4034
- Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- All disturbed R/W areas not intended for pavement or sidewalk construction shall be hydroseeded with a Bermuda / Perennial Rye Grass Seed Mix. See Mass Grading specification sheet for seed mixture rate requirements.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- Contractor shall furnish the inspector with a copy of the manufacturer's certification for any pipe used on this project after completion of pipe installation. The engineer will not certify the project to the city until pipe certification has been received.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- All storm sewer lines and appurtenances shall be installed in accordance with the most recent edition of City of Wichita, Kansas Standard Specifications for the Construction of City Projects and special provisions.
- Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Contractor shall not start on the project until all necessary bonds and permits have been obtained. Bonds may include but are not limited to Statutory, Performance & Maintenance. Any work done without inspection will be required to be uncovered for inspection.
- Existing property & control irons are noted on the title sheet are to be used to locate the proposed improvements. The Contractor are not to assume these locations are per the state plan coordinate system.
- Contractor to remove concrete sidewalk to the nearest construction joint if within 3' of joint. Saw cut if over 3' from joint. Removal and replacement of pavement shall not be paid for directly, but shall be considered incidental to other items in the project.
- The Contractor shall be responsible for replacing shown property irons that are damaged or removed during construction. The Contractor shall procure a licensed Land Surveyor to locate and re-install the property iron.
- All Erosion Control measures will comply with City Erosion Control Standards.
- Prior to Completion of Phase 2 of these stormwater project, contractor and/or owner is to preserve or restore basin embankments & Channels. If regrading and reseeded is required, type 1 curlex is to be installed.
- The storm sewer improvements, lines and basins, are privately owned and maintained.



VICINITY MAP

Stormwater Narrative & Certification

This improvements were prepared in accordance with the current Storm Water Management Regulations as set forth in the City of Wichita's Storm Water Management Ordinance 16.32 and the policies/ guidelines presented in the Wichita/Sedgwick County Storm Water Manual.

Site Area:	5,376,950 sq. ft. (±123.44 acres)
Area Disturbed:	2,174,000 sq. ft. (±49.91 acres)
Prop. Net Impervious Area:	1,055,010 sq. ft. (±24.17 acres)
Future Offsite Impervious Area*:	736,990 sq. ft. (±16.92 acres)

WQv = 261,153 ft³
 Downstream Channel Protection Volume = 602,380 ft³

*Detention, Downstream Channel Protection & 60% of Water Quality Requirements for the adjacent 24.17 Acres of Sierra Pointe Addition are included with these improvements. This accounts for a future development including up to 70% impervious area within the disturbed 24.17 acres.

Offsite Conditions: 34.75 acres drain into the site from the West, 143.8 acres drain into the site from the South. These 2 areas and 19.88 acres at the SW corner shall be routed in a protect Channel and routed to the South at the existing outfall area. A portion of Sierra Pointe Addition will drain directly into this site's basins.

Site Detention Requirements: Extended Dry Detention Basins 1 & 3, along with Dry Detention Basin 2. will reduce peak runoff flow rates below existing calculated rates.

Water Quality Requirements: The proposed improvements will address Water quality with the use of Grass Swales and Extended Detention Basins. A supplemental PPD will address local water quality measures for phase 2.

Downstream Channel Protection: Downstream channel protection is to be addressed within Basins 1 & 3.
 Basin 1: 113,080 ft³
 Basin 3: 489,300 ft³

APPROVED AS NOTED
 BY CITY ENGINEER OF WICHITA

Engineering *Rebecca Gail* 12/31/14
 Stormwater *Jim Handberg* 12/31/14

NOTE TO CONTRACTORS

Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said Inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).

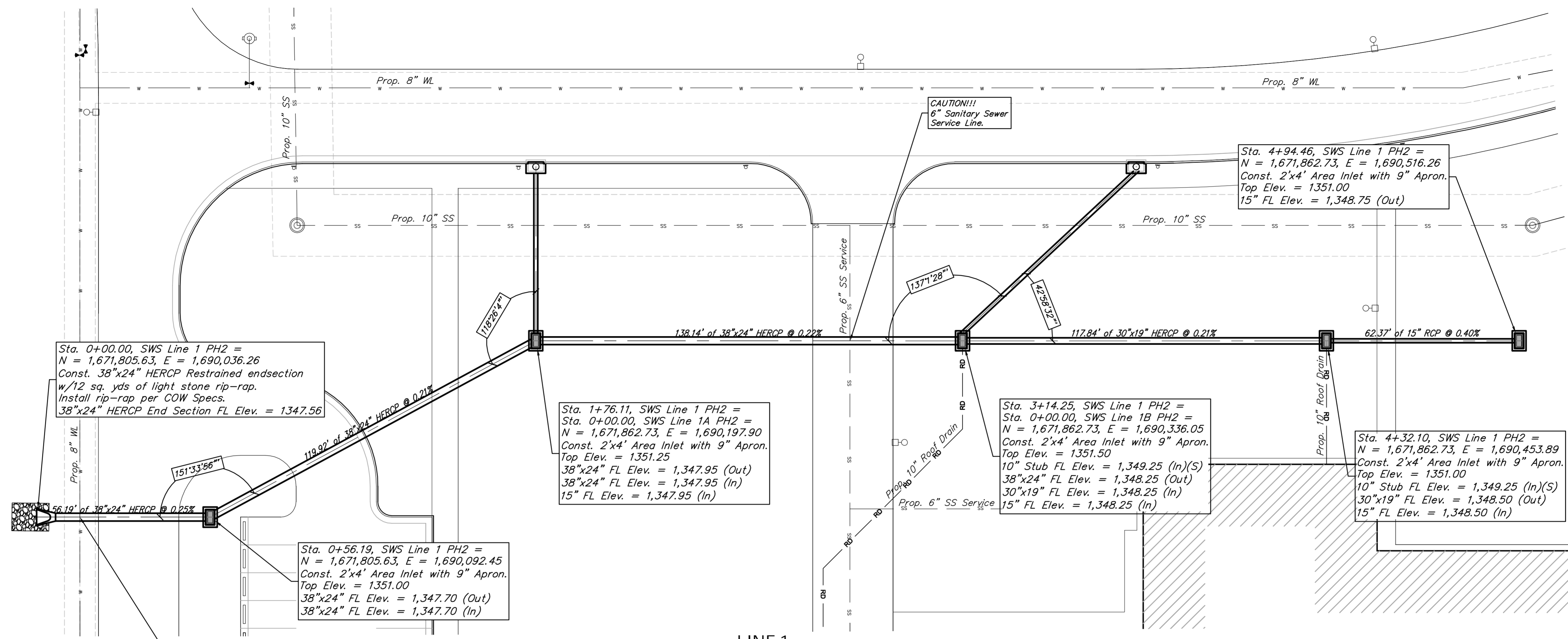
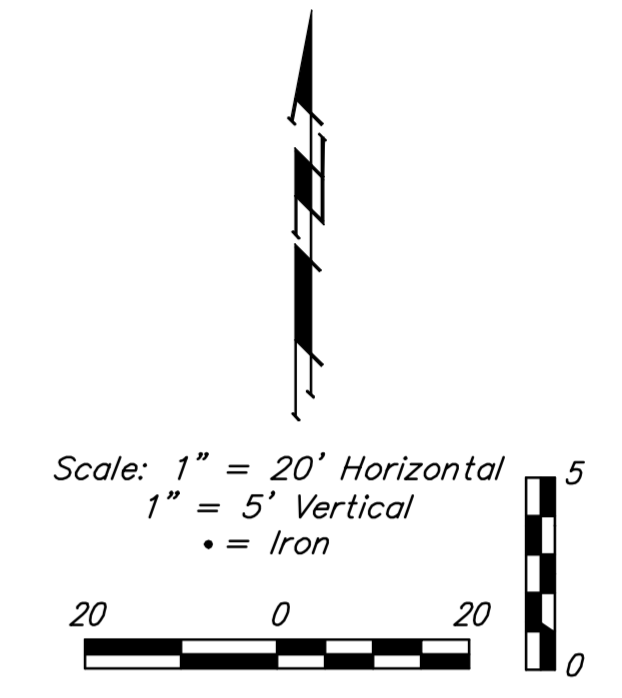


BENCHMARK

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Note: Storm sewer and detention basins will be owned and maintained, see the O&M manual developed for this system.



Sta. 0+00.00, SWS Line 1 PH2 =
N = 1,671,805.63, E = 1,690,036.26
Const. 38"x24" HERCP Restrained endsection
w/12 sq. yds of light stone rip-rap.
Install rip-rap per COW Specs.
38"x24" HERCP End Section FL Elev. = 1347.56

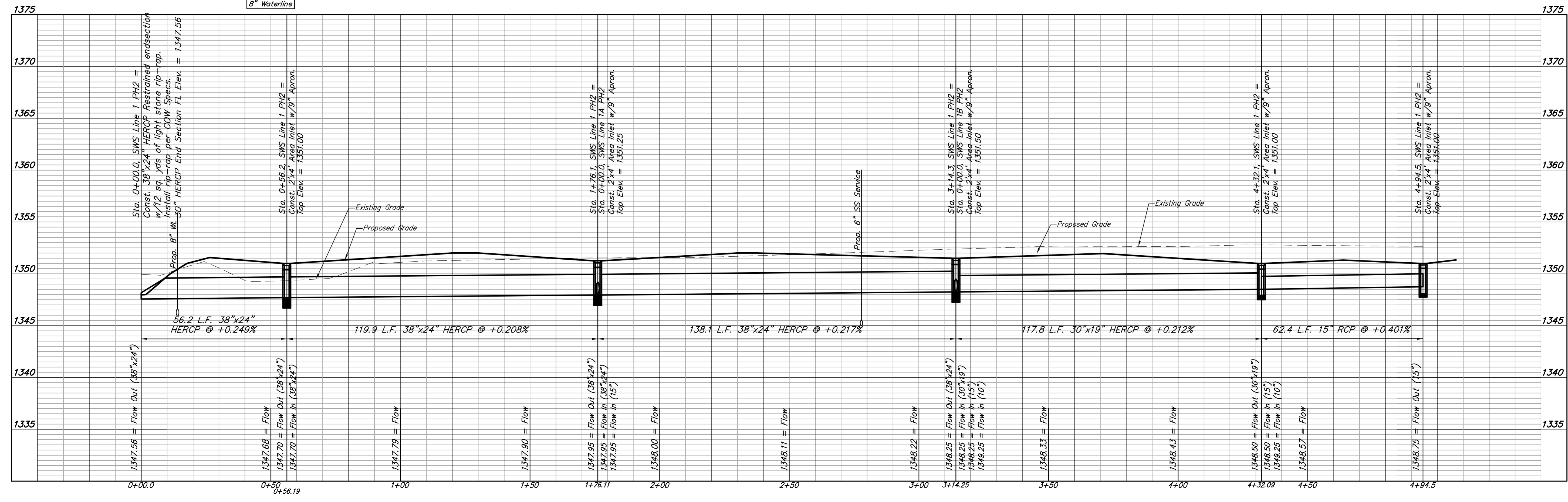
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Sta. 0+00.00, SWS Line 1A PH2 =
N = 1,671,862.73, E = 1,690,197.90
Const. 2'x4' Area Inlet with 9" Apron.
Top Elev. = 1351.25
38"x24" FL Elev. = 1,347.95 (Out)
38"x24" FL Elev. = 1,347.95 (In)
15" FL Elev. = 1,347.95 (In)

Sta. 3+14.25, SWS Line 1 PH2 =
Sta. 0+00.00, SWS Line 1B PH2 =
N = 1,671,862.73, E = 1,690,336.05
Const. 2'x4' Area Inlet with 9" Apron.
Top Elev. = 1351.50
10" Stub FL Elev. = 1,349.25 (In)(S)
38"x24" FL Elev. = 1,348.25 (Out)
30"x19" FL Elev. = 1,348.25 (In)
15" FL Elev. = 1,348.25 (In)

Sta. 4+32.10, SWS Line 1 PH2 =
N = 1,671,862.73, E = 1,690,453.89
Const. 2'x4' Area Inlet with 9" Apron.
Top Elev. = 1351.00
10" Stub FL Elev. = 1,349.25 (In)(S)
30"x19" FL Elev. = 1,348.50 (Out)
15" FL Elev. = 1,348.50 (In)

Sta. 0+56.19, SWS Line 1 PH2 =
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Const. 2'x4' Area Inlet with 9" Apron.
Top Elev. = 1351.00
38"x24" FL Elev. = 1,347.70 (Out)
38"x24" FL Elev. = 1,347.70 (In)

LINE 1

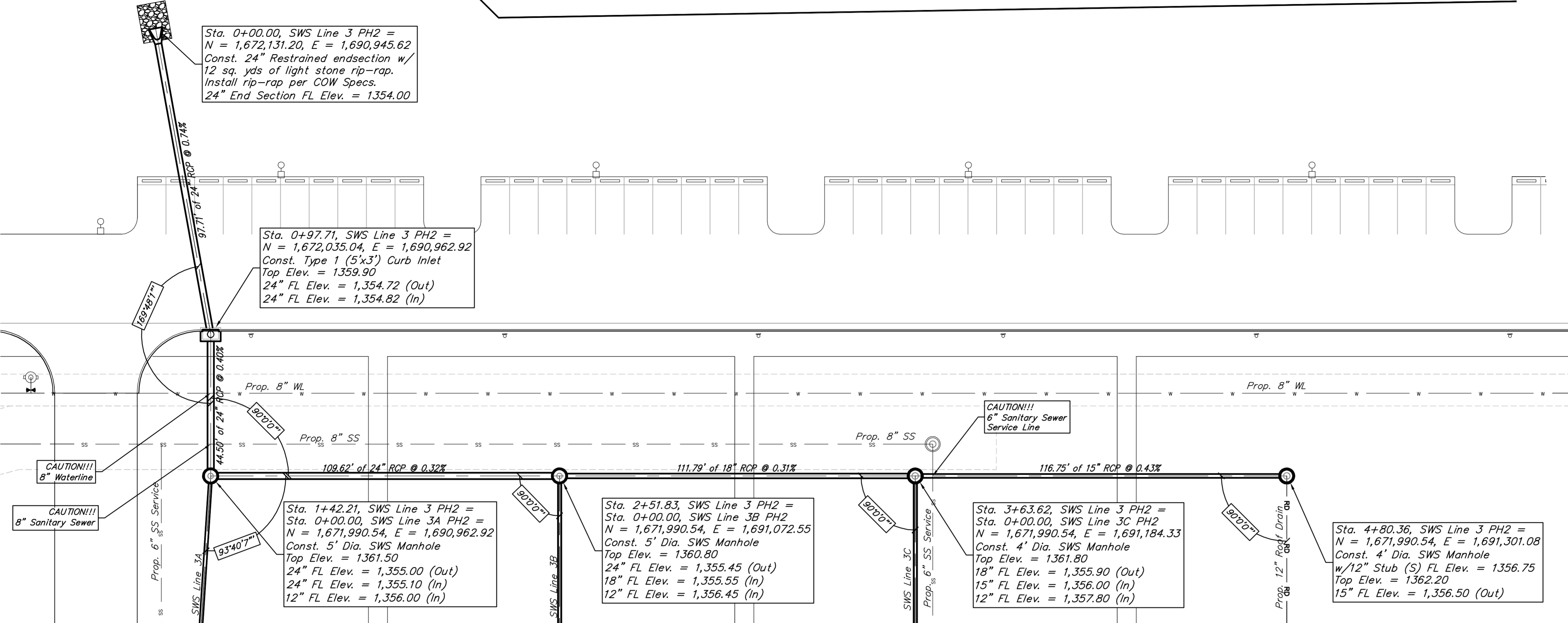
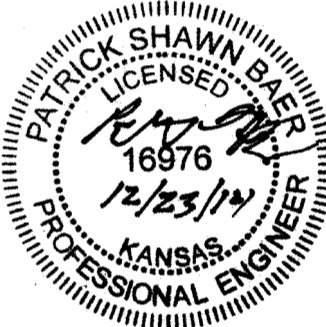
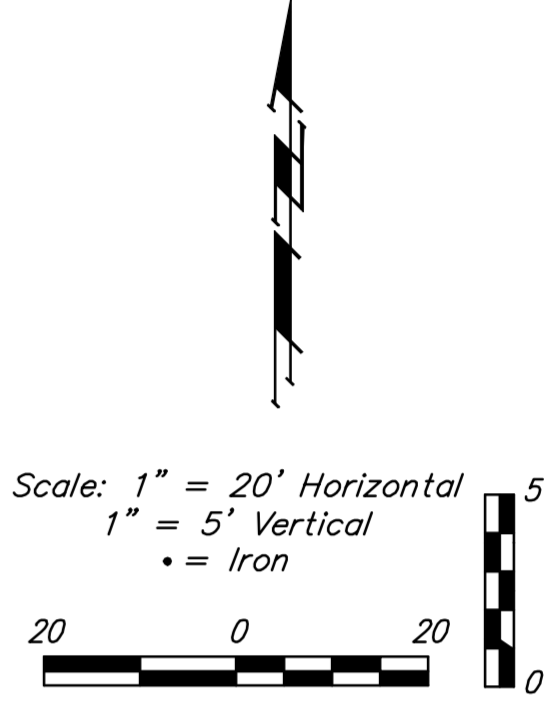


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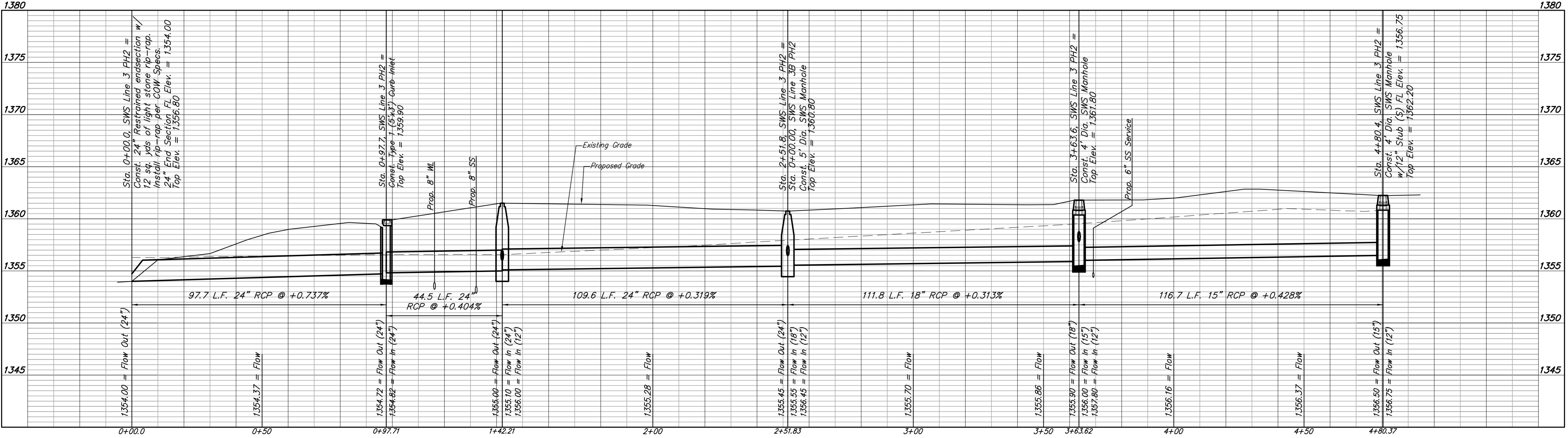
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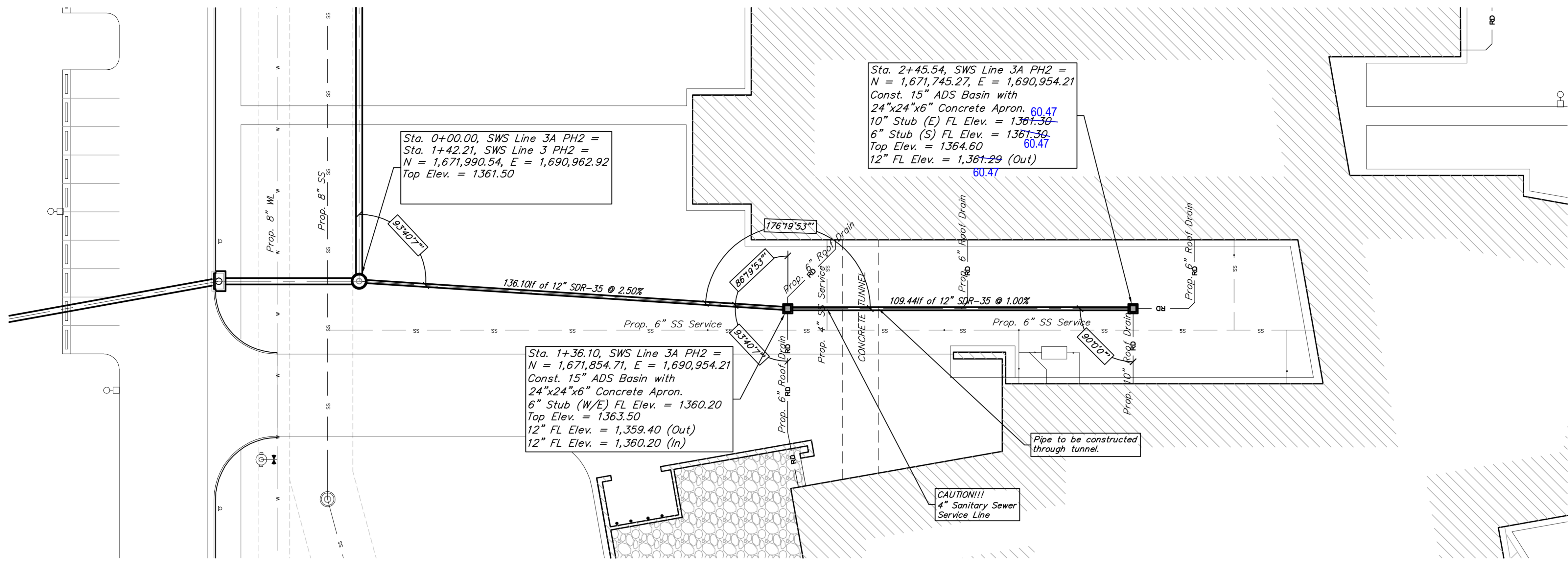


LINE 3



Baughman Company, P.A.
 315 E. 10th St., Wichita, KS 67211 P 316-262-7271 F 316-262-0149
 ANNUAL RENEWAL FEE \$100.00 LICENSE NO. 16576
Baughman

Lot 1, Blk 1, USD 259 4th Addition
LINE 3
 Storm Water Drain Improvements

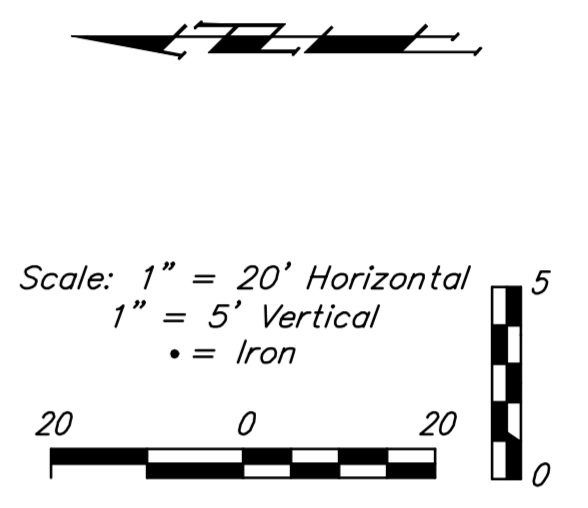


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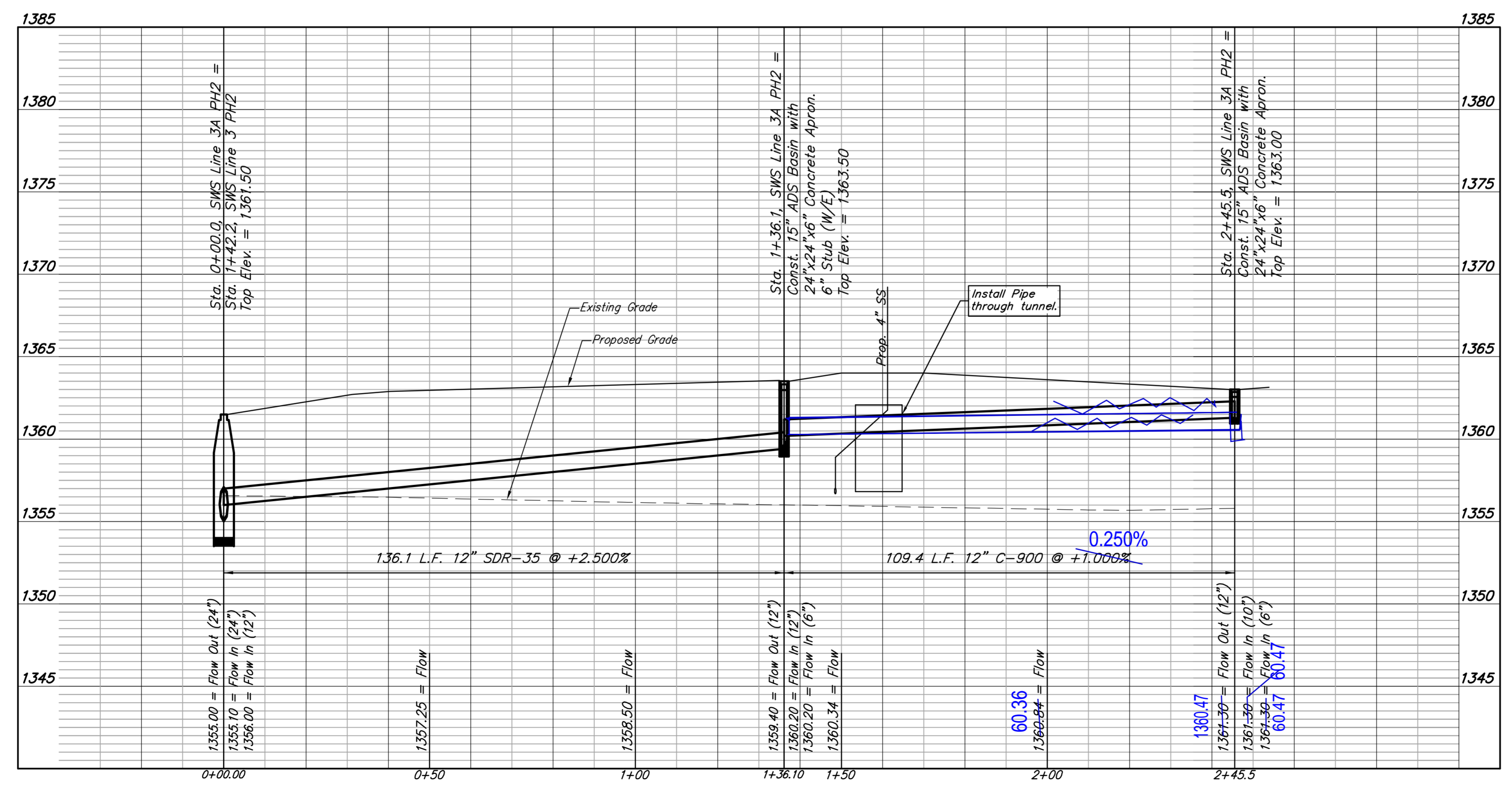
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LINE 3A

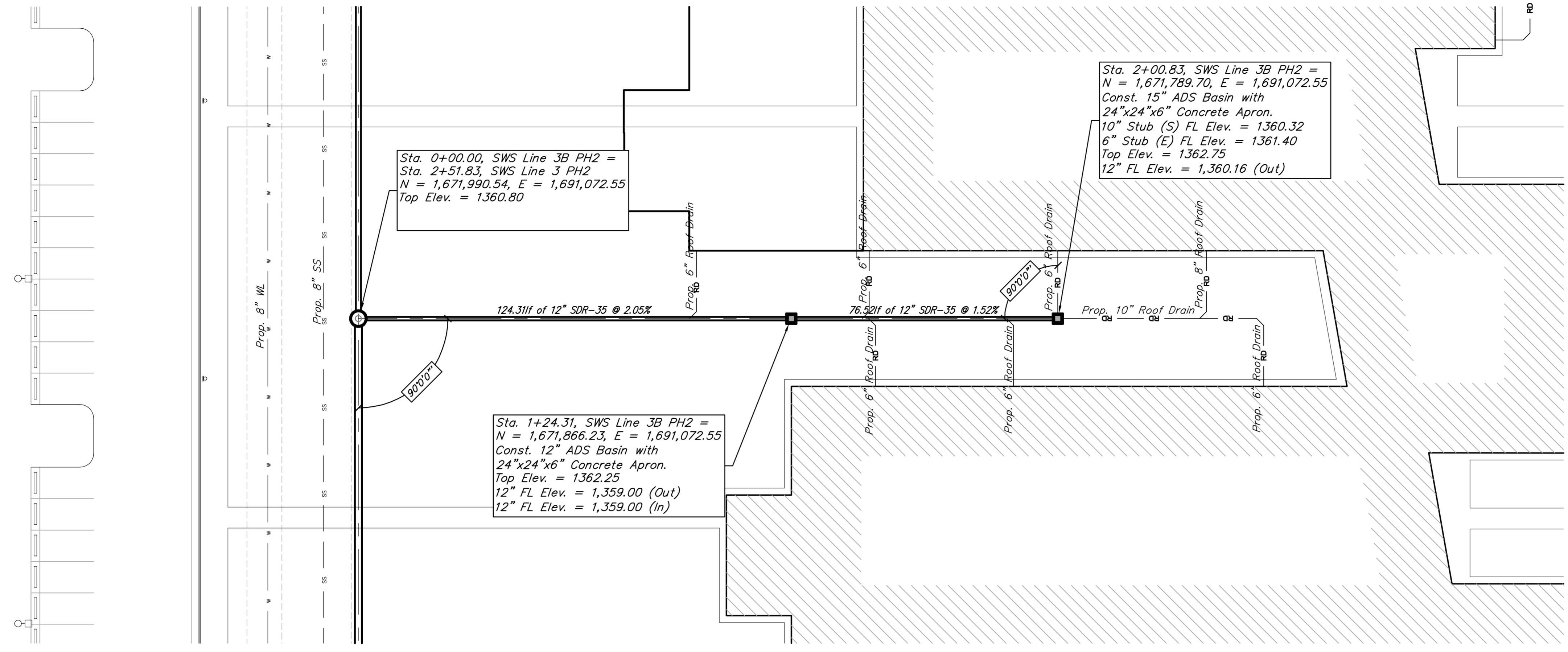
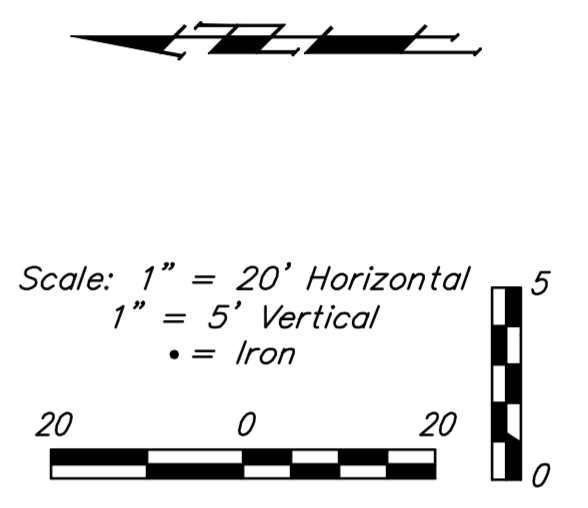


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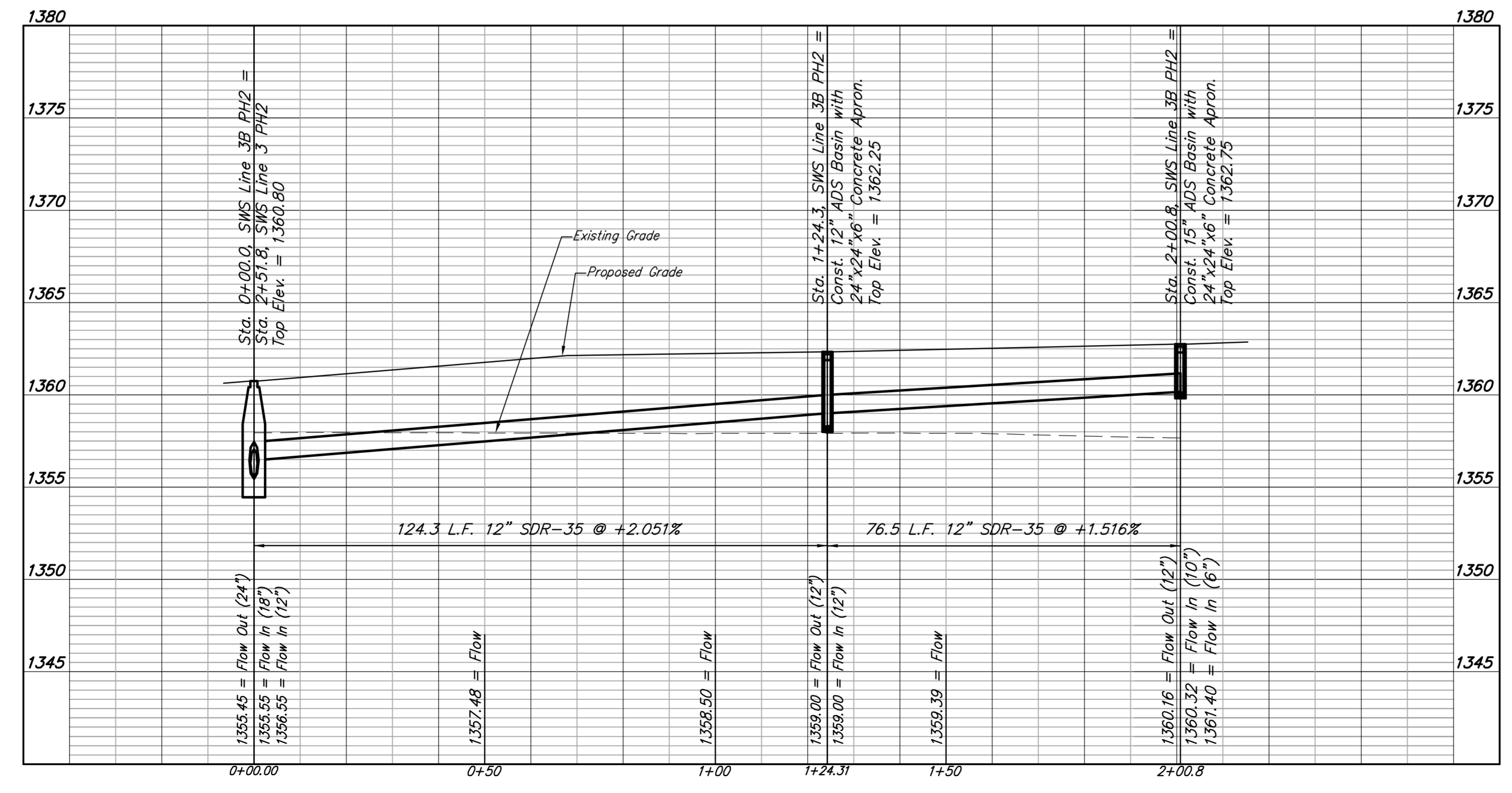
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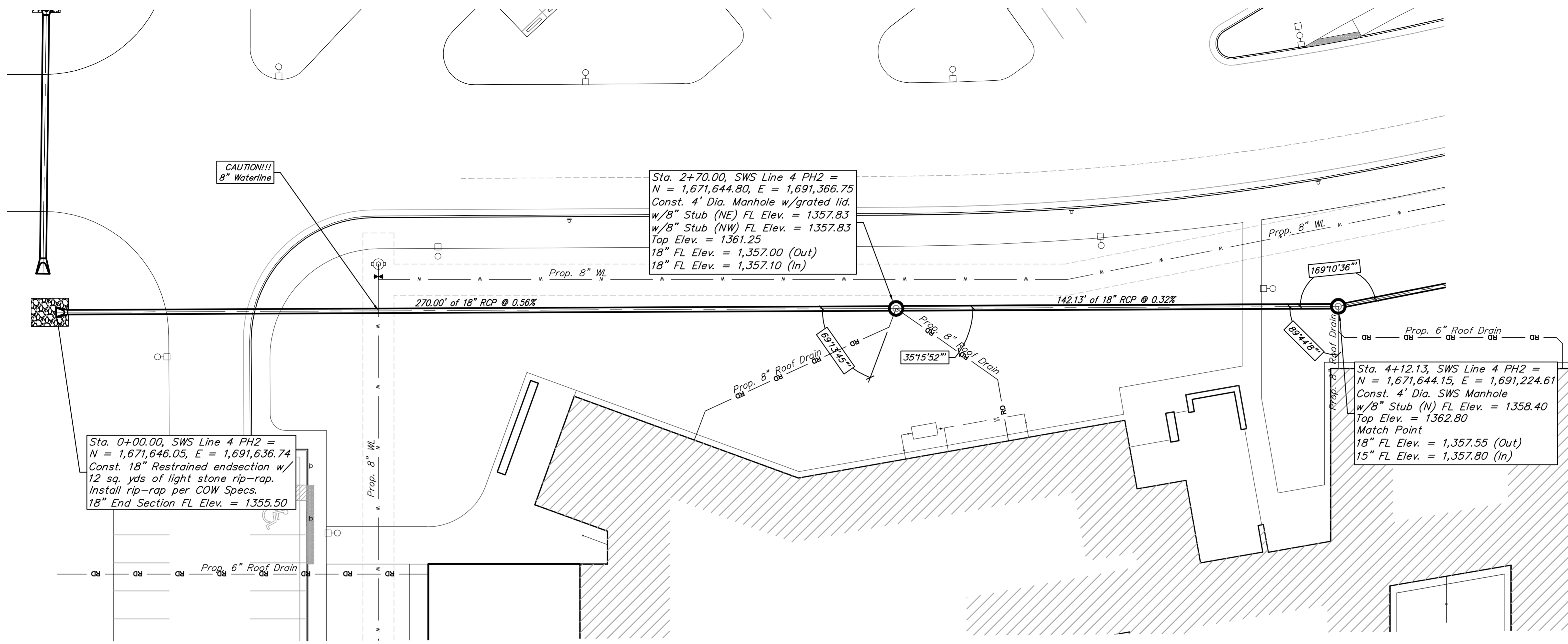
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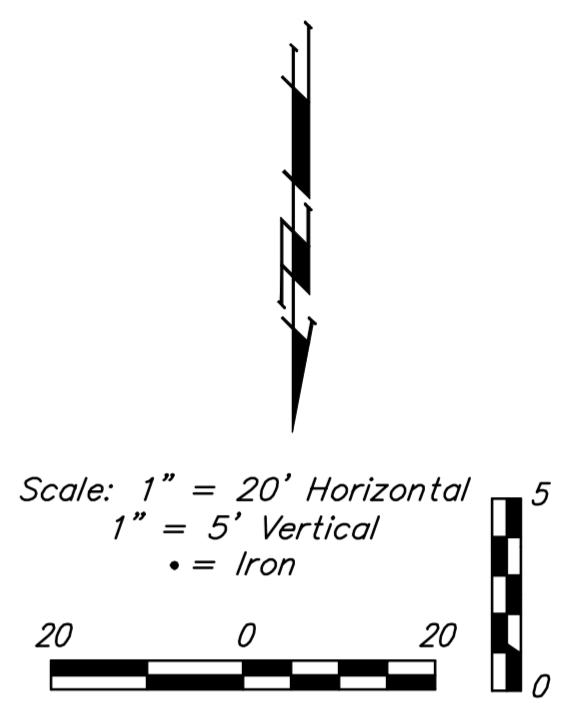
LINE 3B



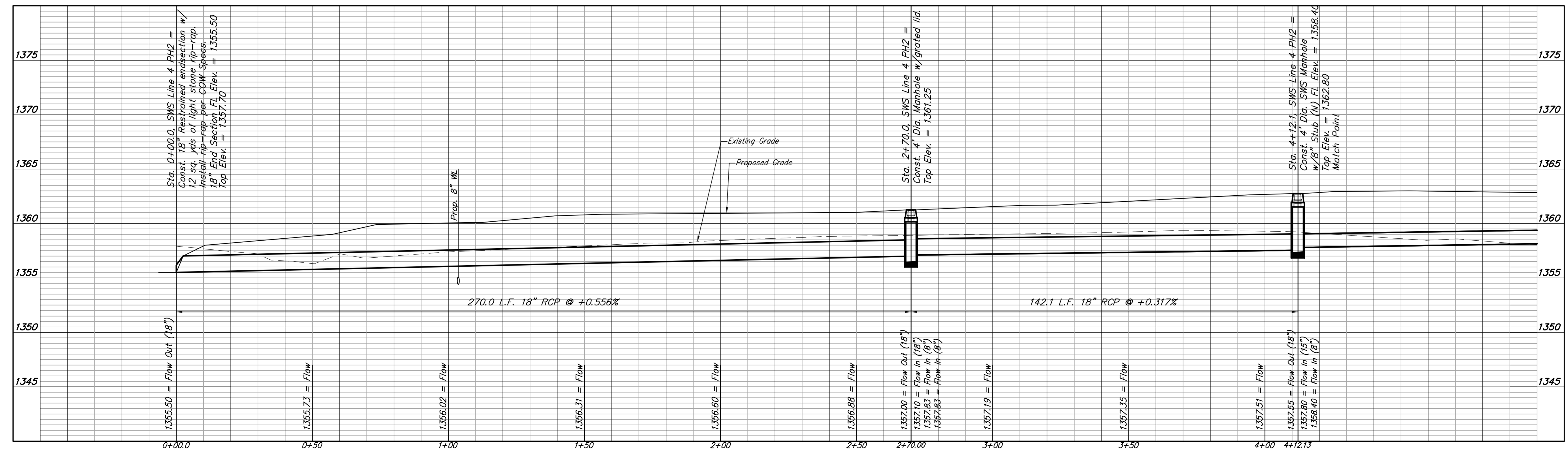


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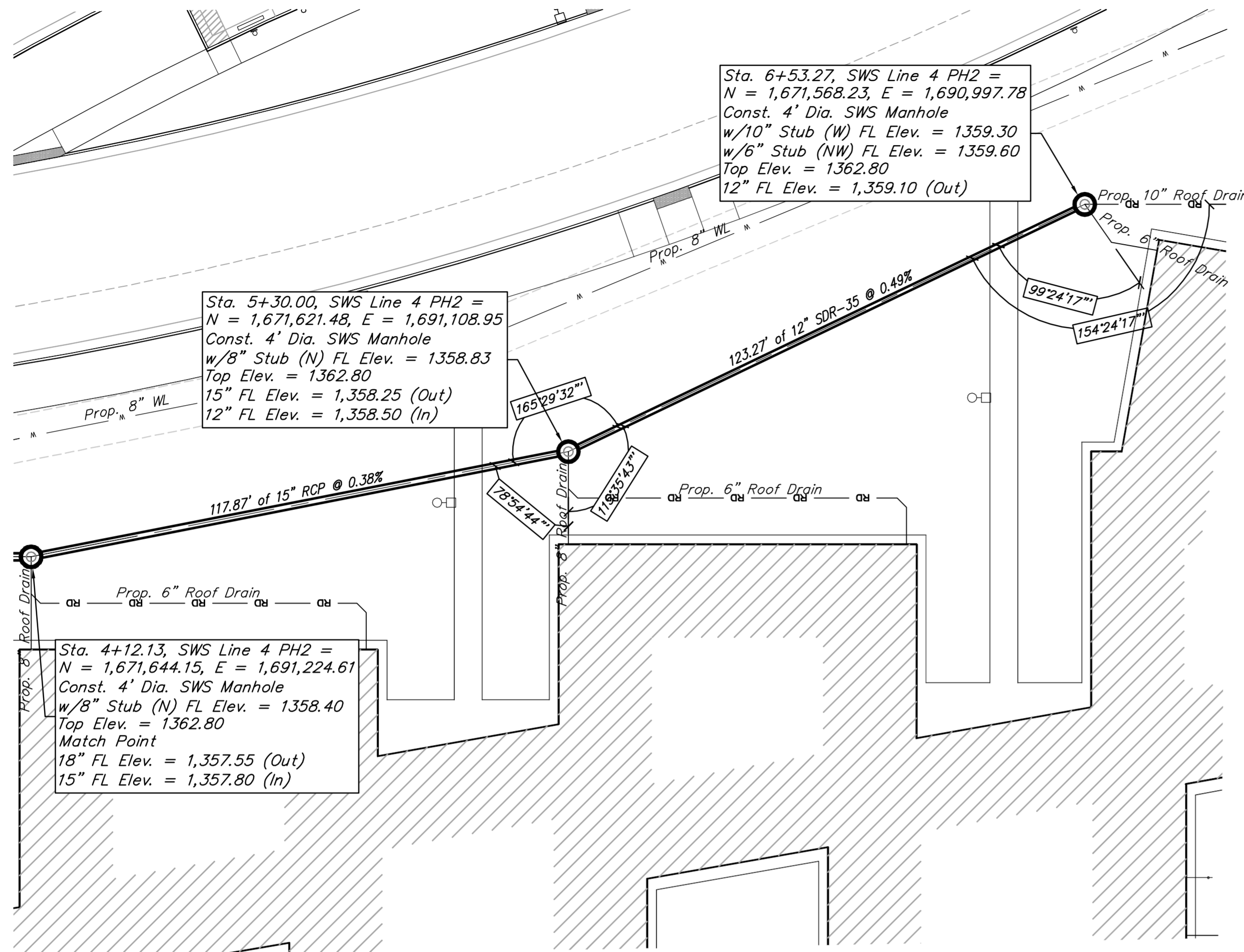


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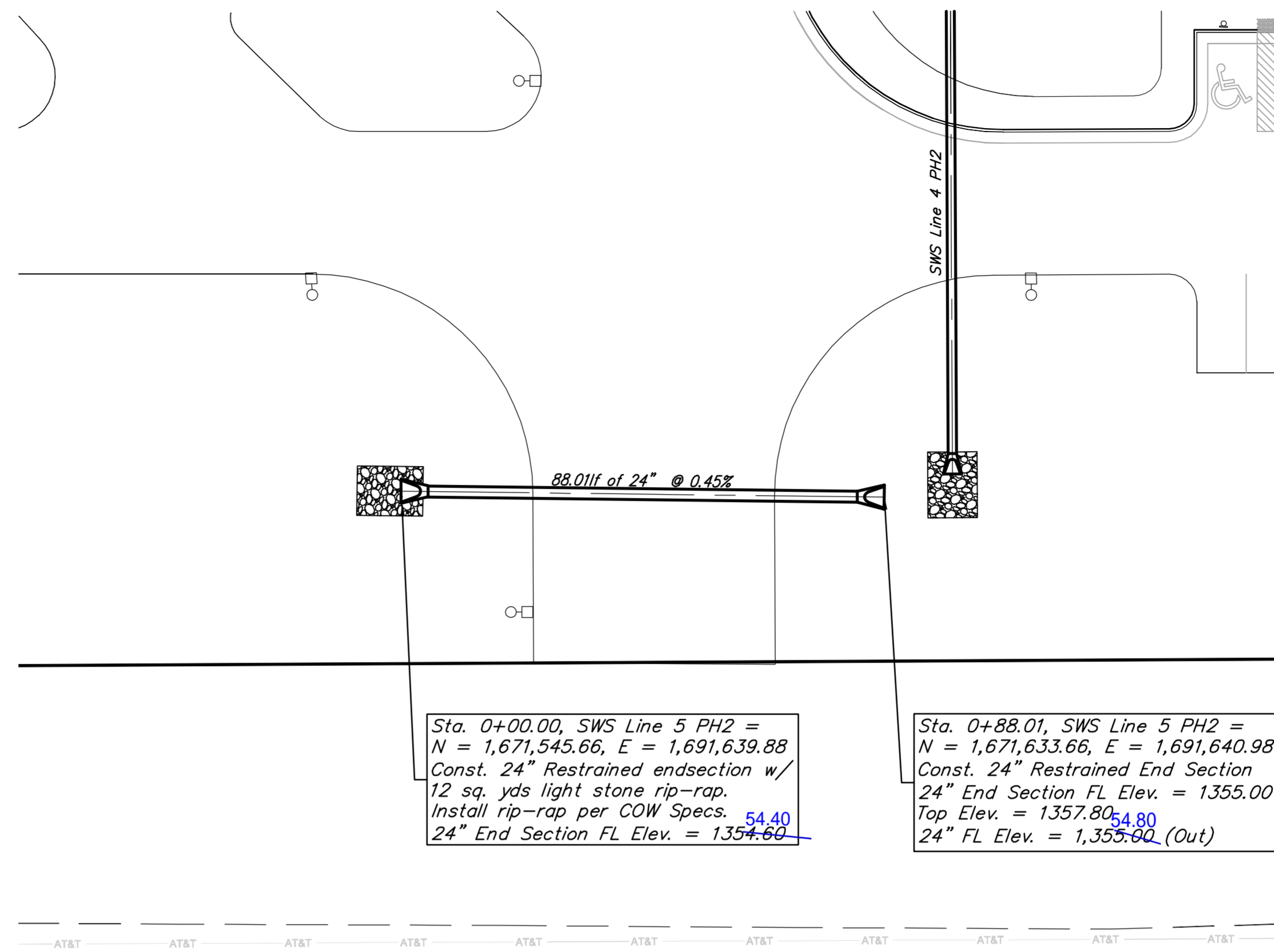


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 315 E. 10th St., Wichita, KS 67201
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Lot 1, Blk 1, USD 259 4th Addition
LINE 4
 Storm Water Drain Improvements



LINE 4



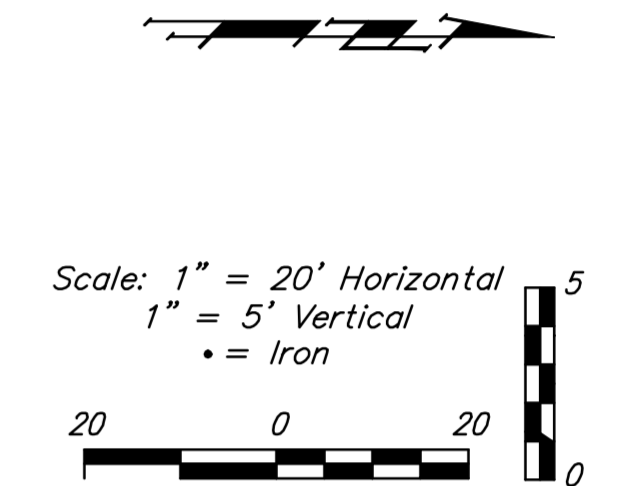
LINE 5

BENCHMARK

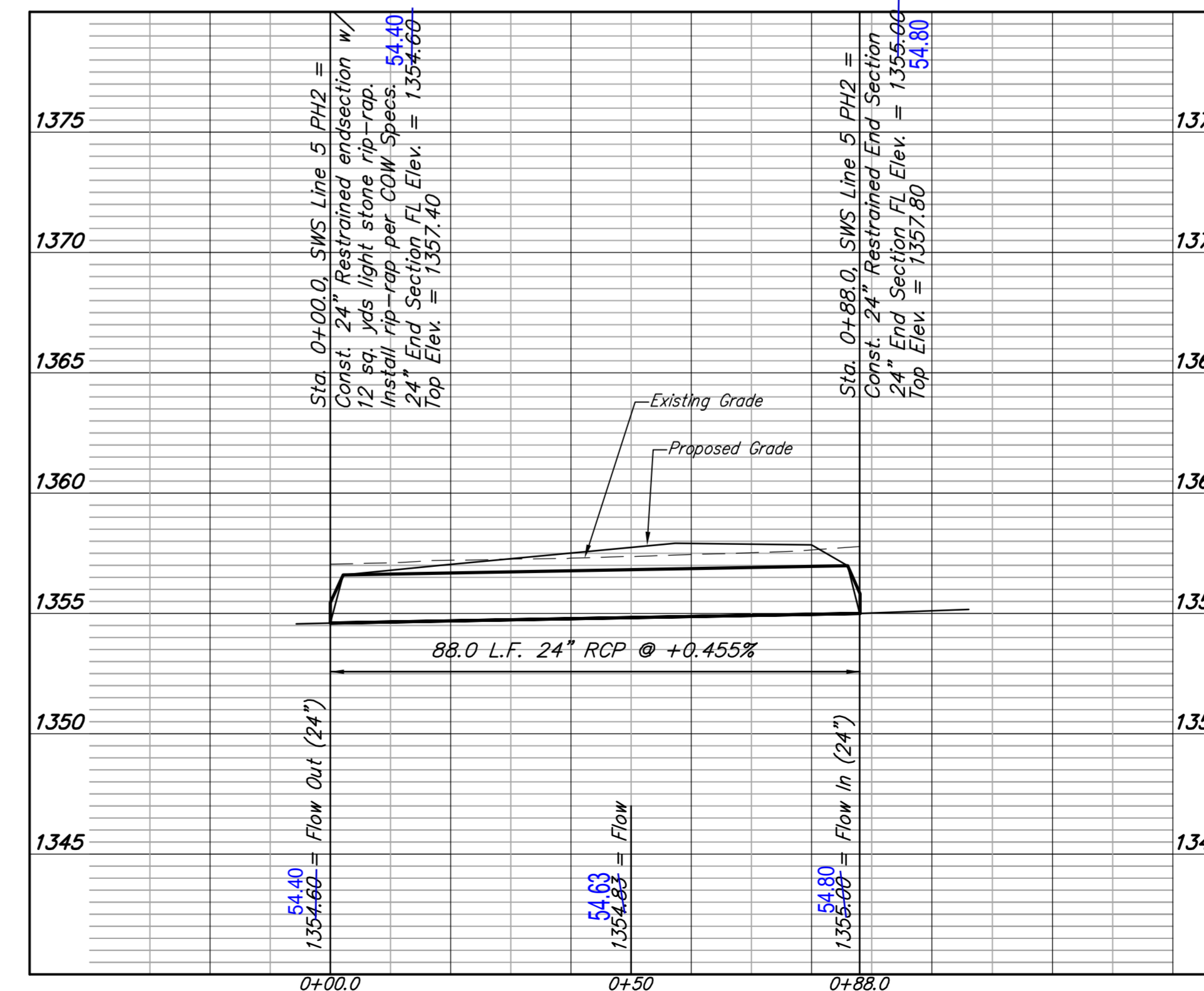
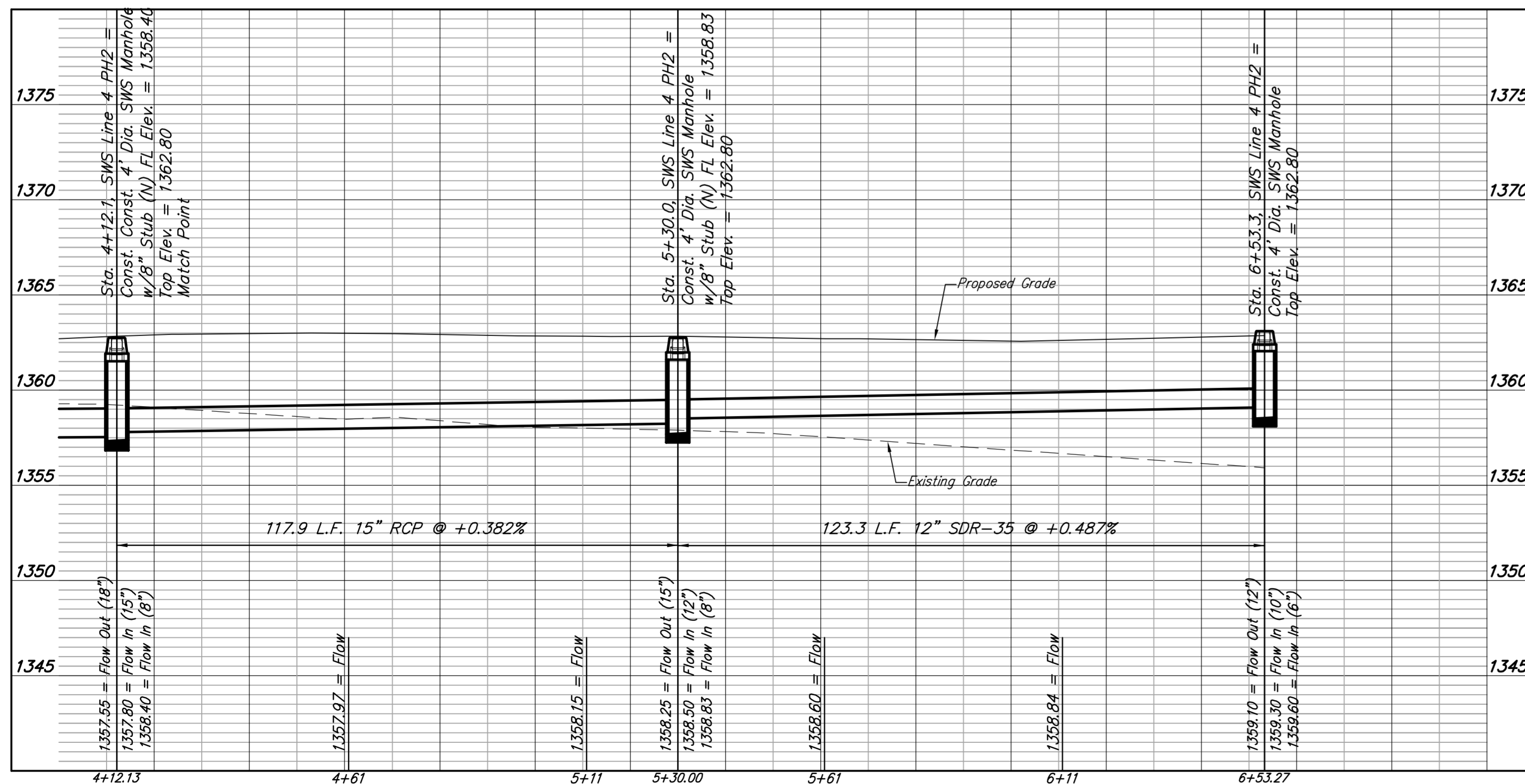
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127th Street East



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 315 Ellis St., Wichita, KS 67211 P: 316-262-3271 F: 316-262-0149
 WWW.BAUGHMAN-PA.COM
 ENGINEERING PLANNING SURVEYING LANDSCAPE ARCHITECTURE
 127th Street East Storm Sewer Improvements

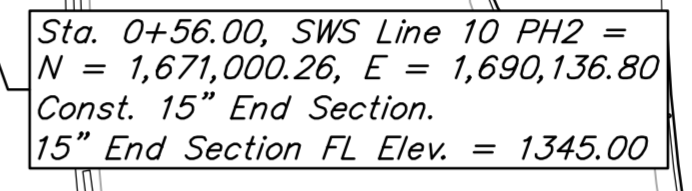
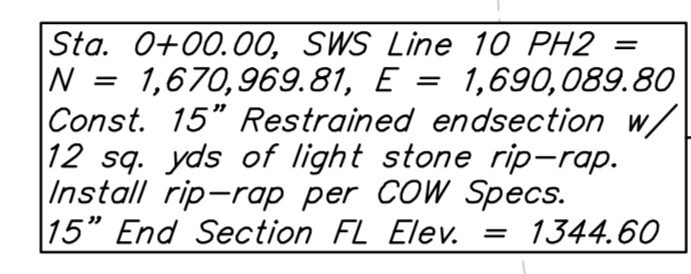
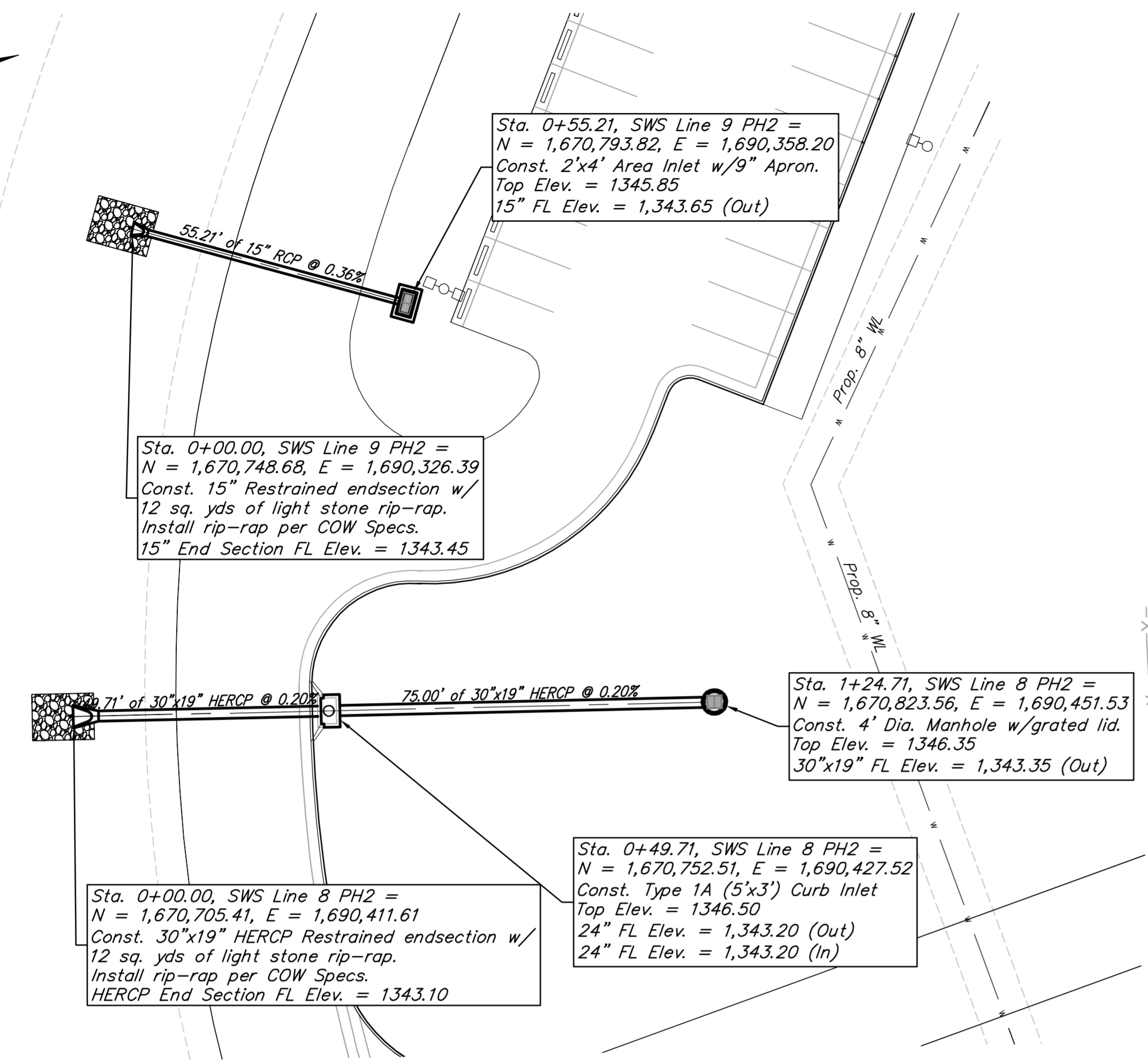
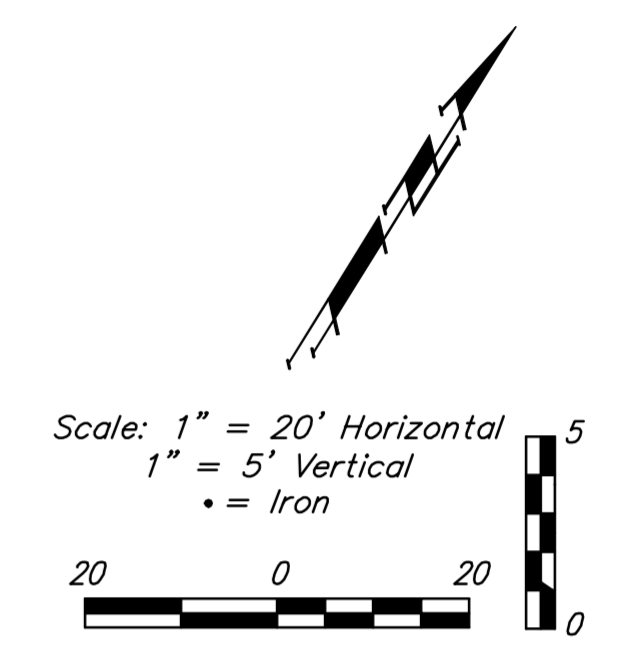
Lot 1, Blk 1, USD 259 4th Addition
LINE 4 & 5
 Storm Water Drain Improvements

BENCHMARK

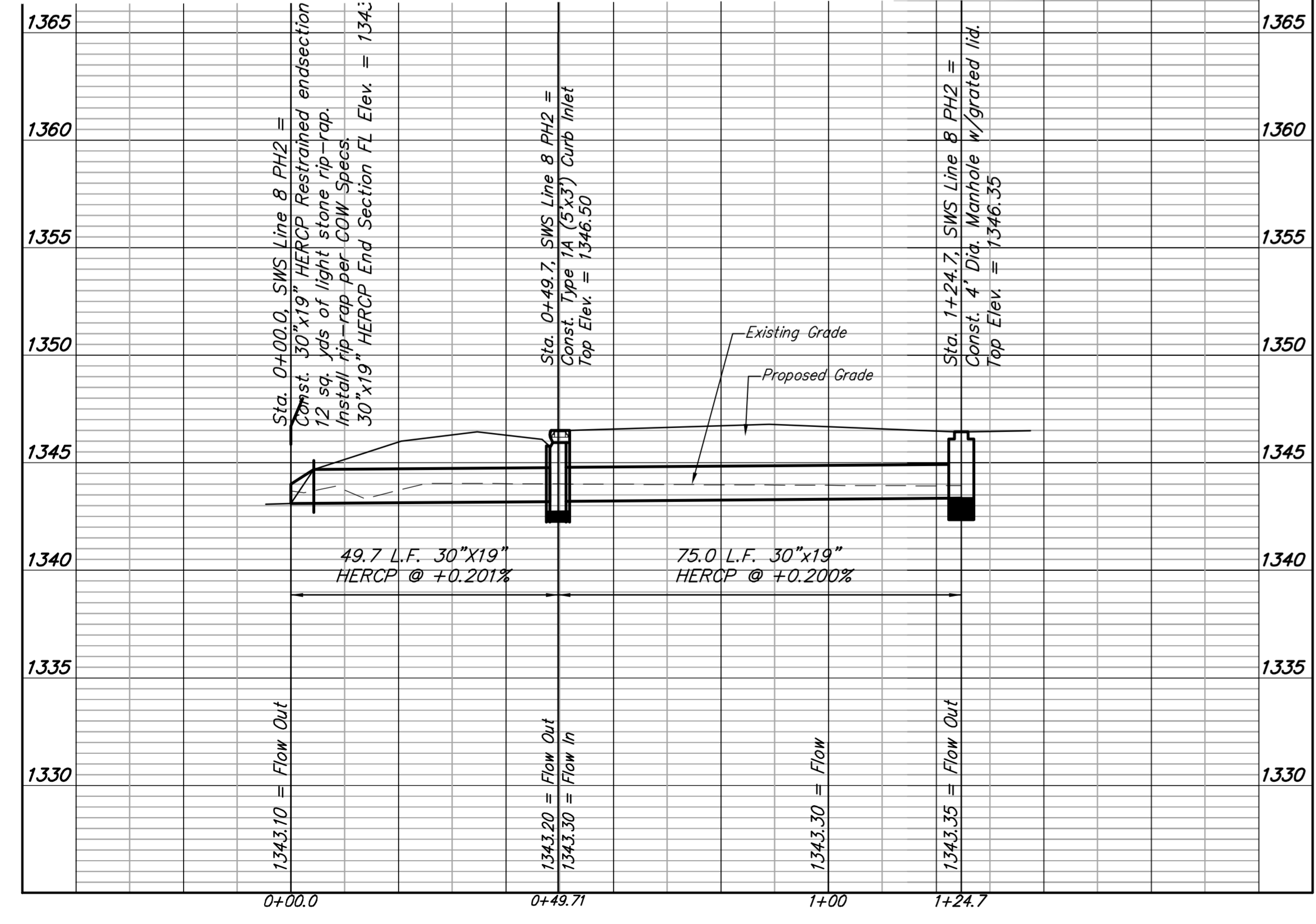
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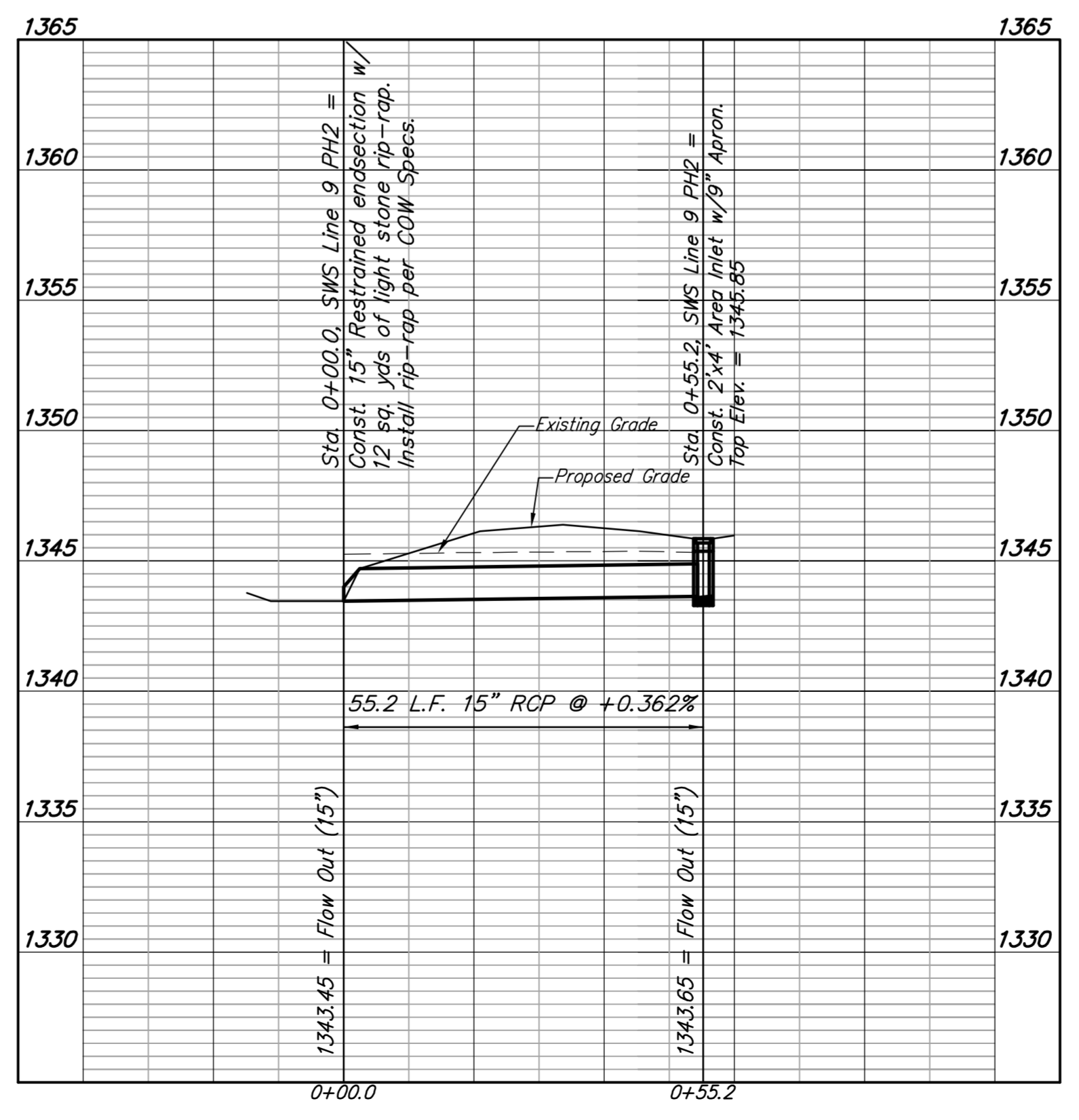
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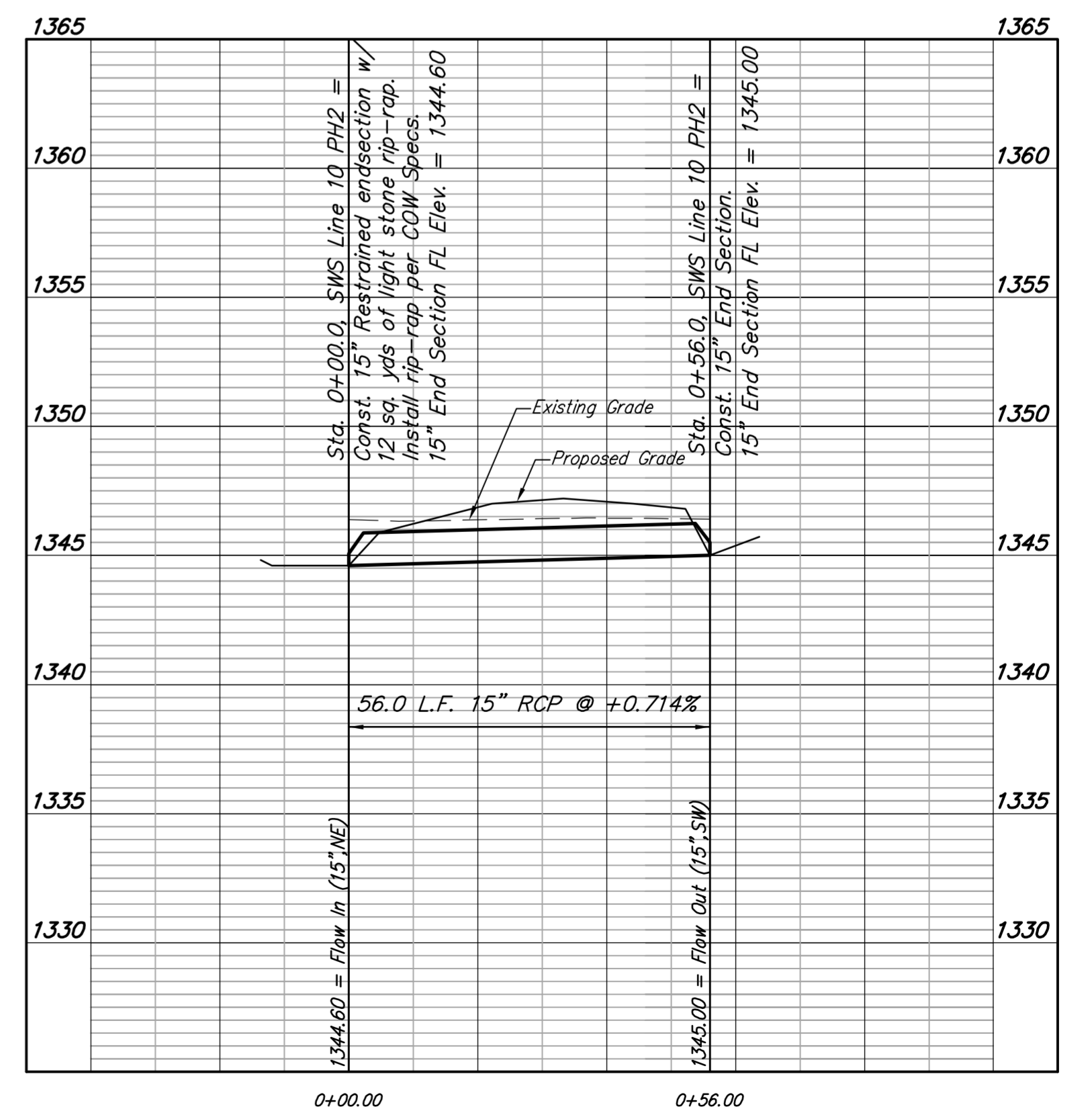
LINE 8



LINE 9

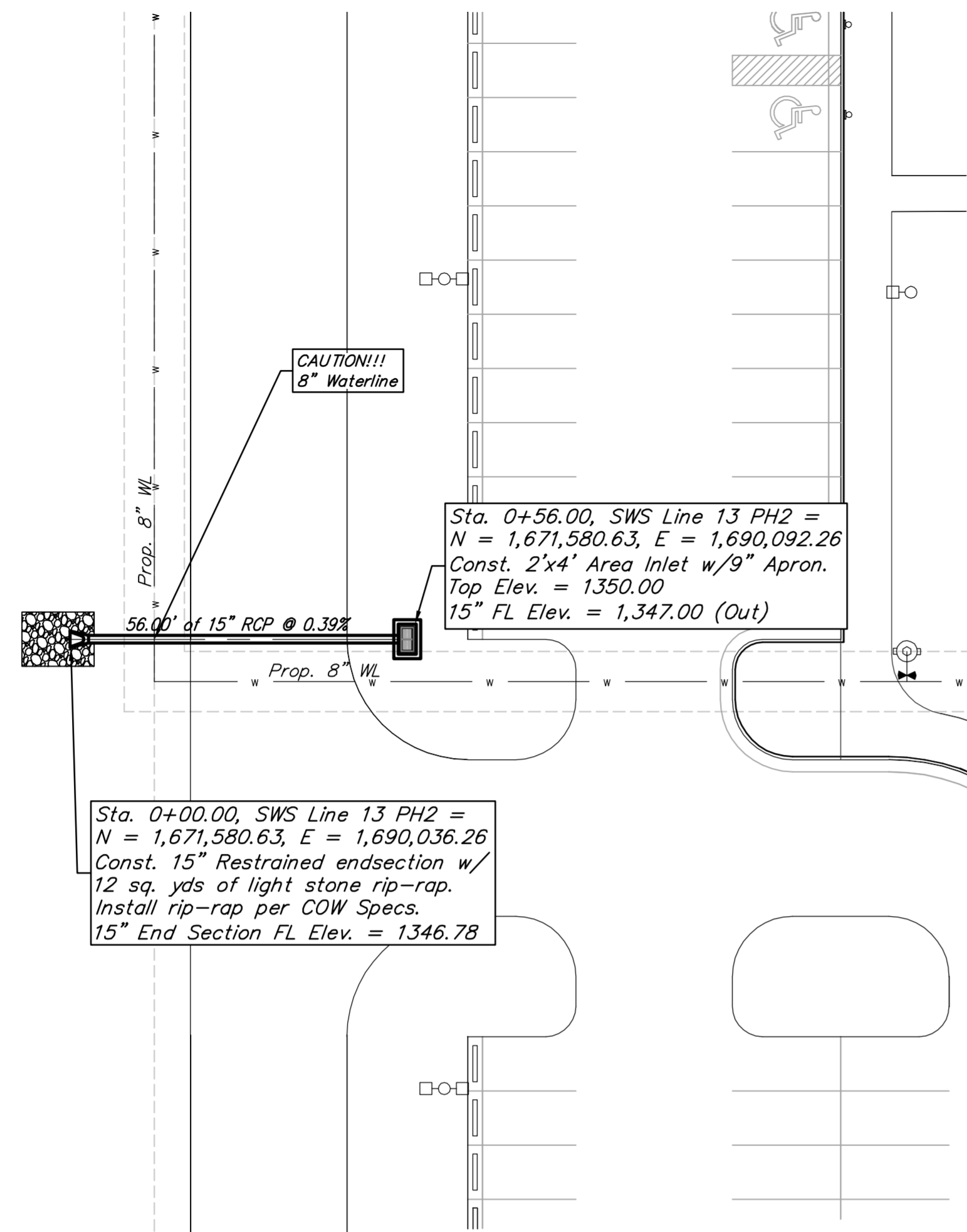


LINE 10

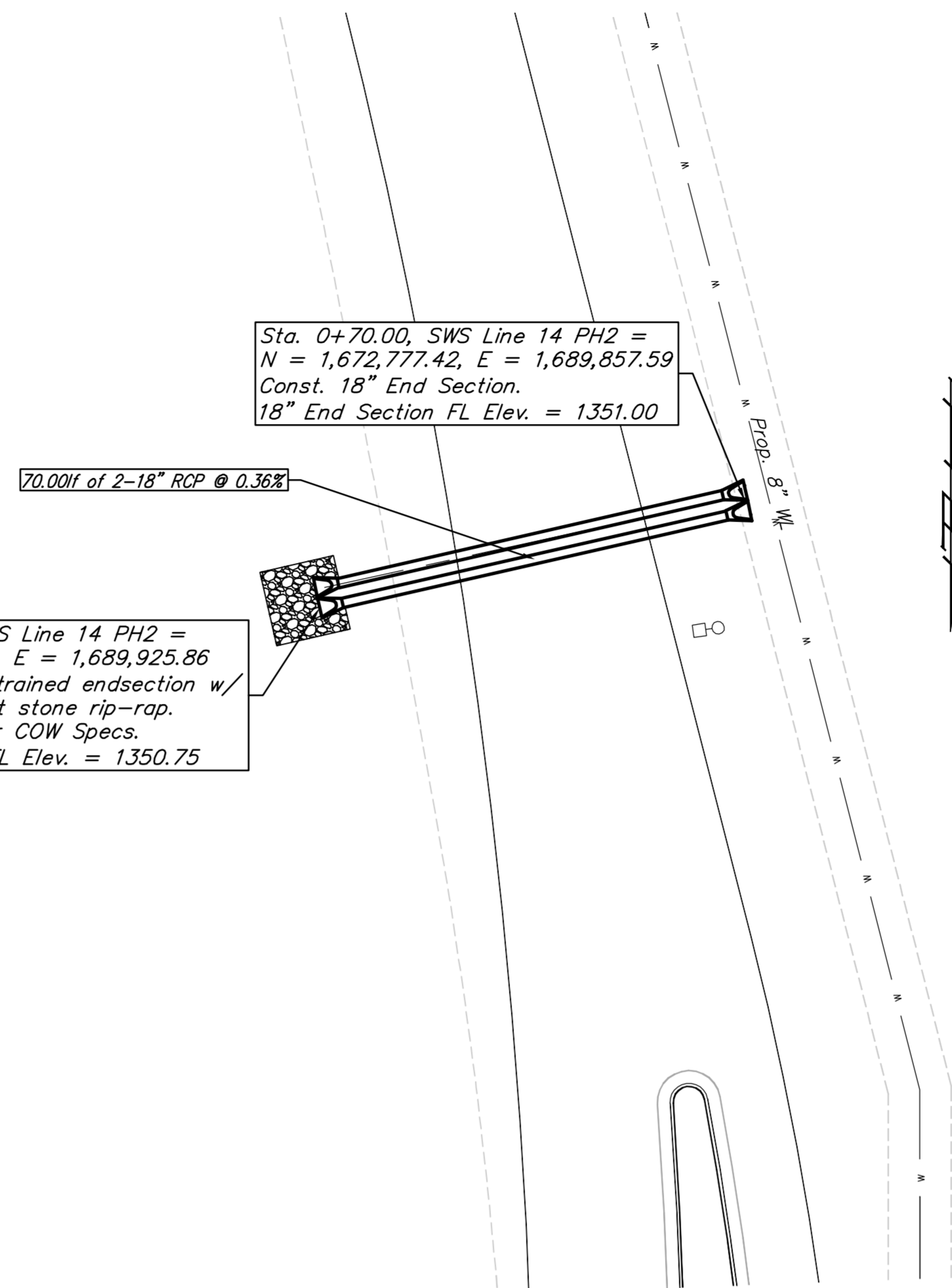
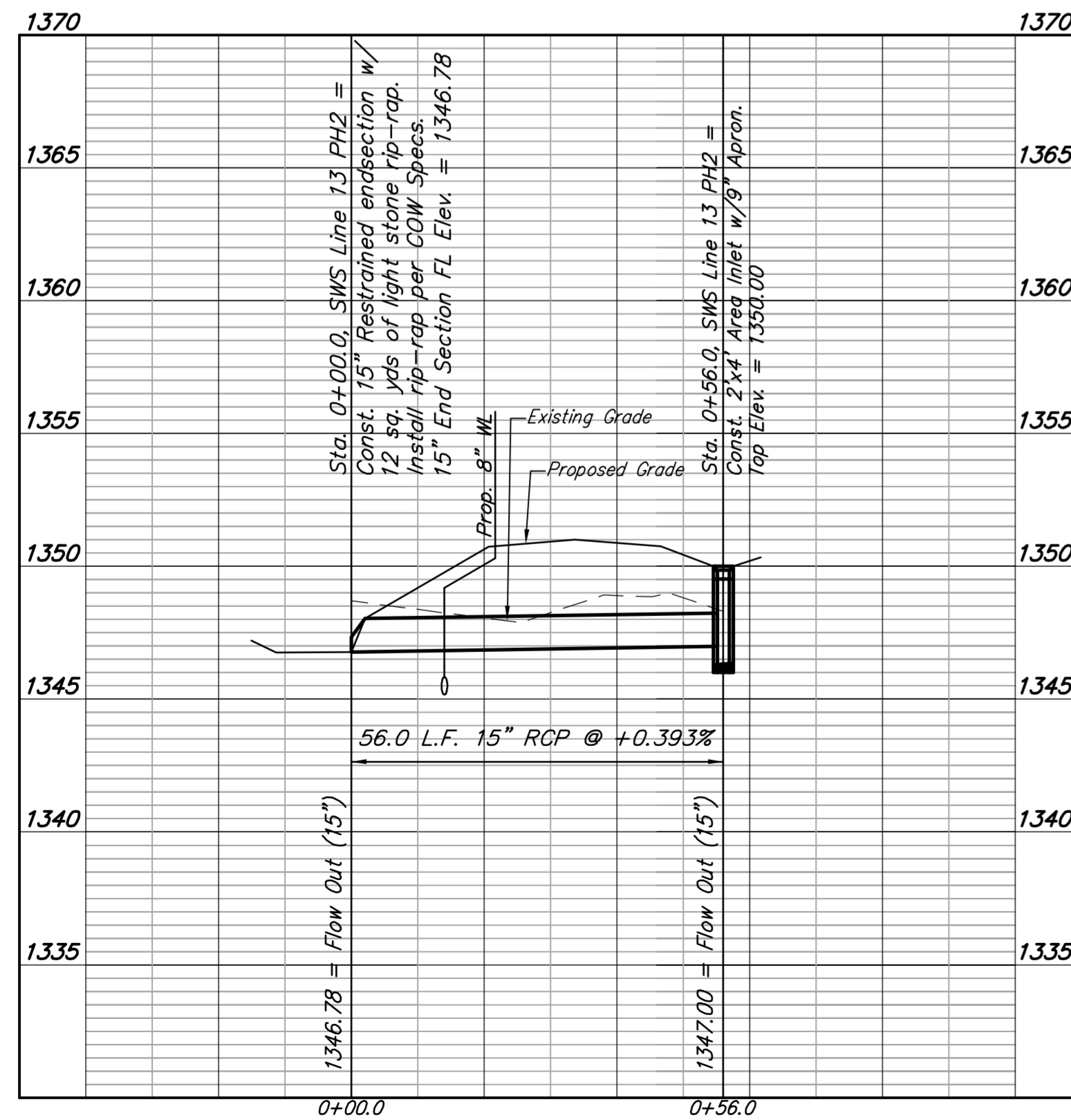


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315 E. 10th St., Wichita, KS 67211 P: 316-262-7271 F: 316-262-0149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

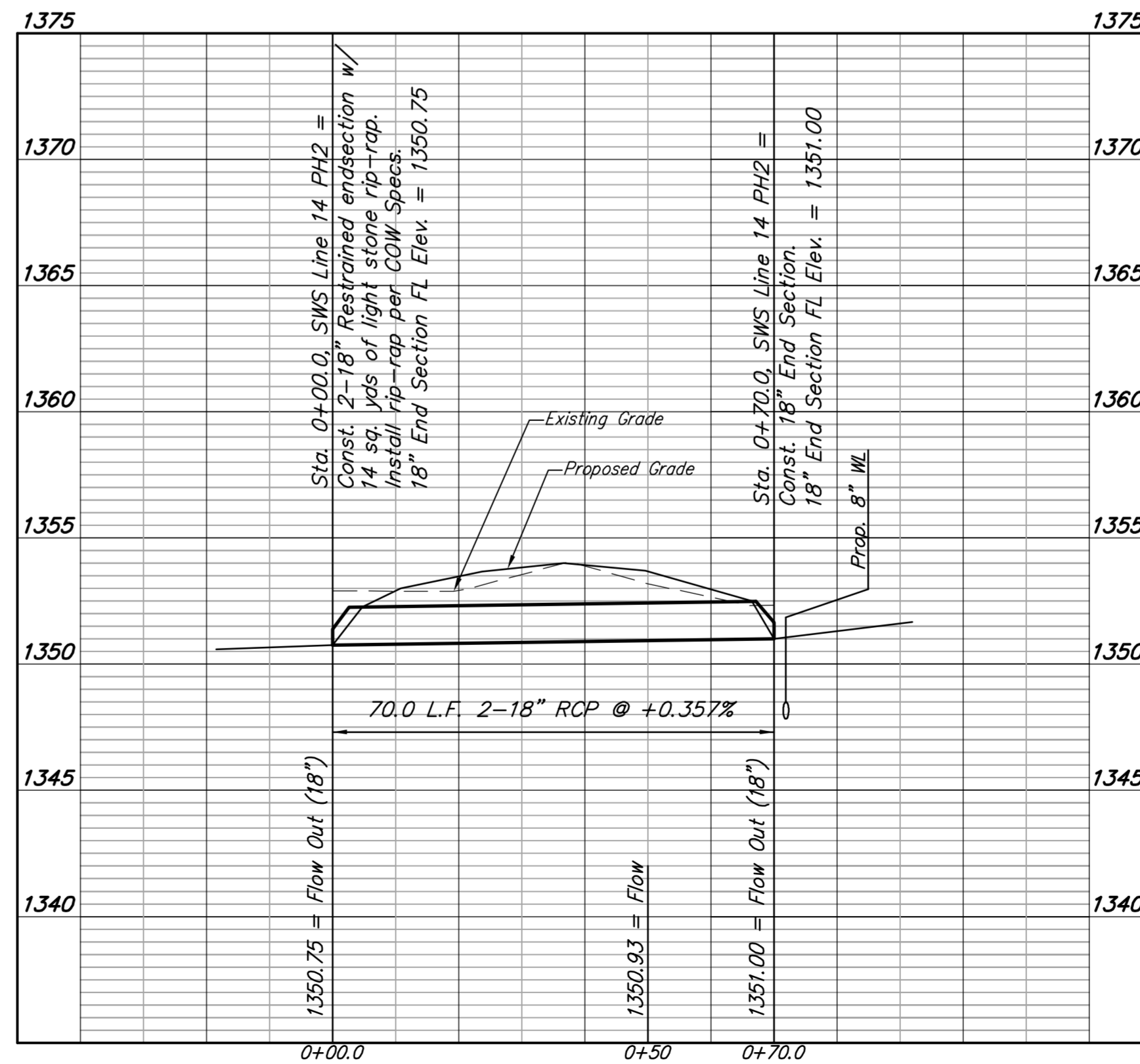
Lot 1, Blk 1, USD 259 4th Addition
LINE 8, 9 & 10
Storm Water Drain Improvements



LINE 13



LINE 14

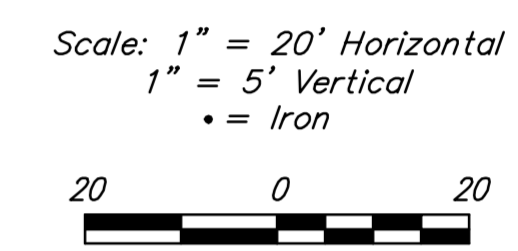


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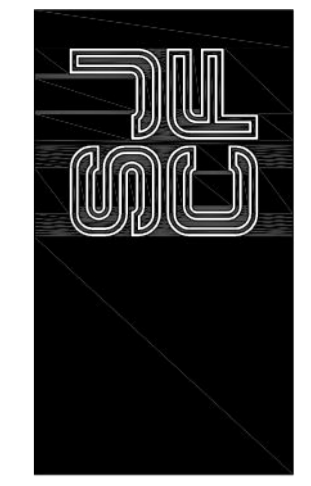
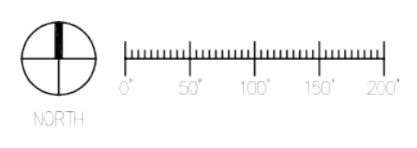
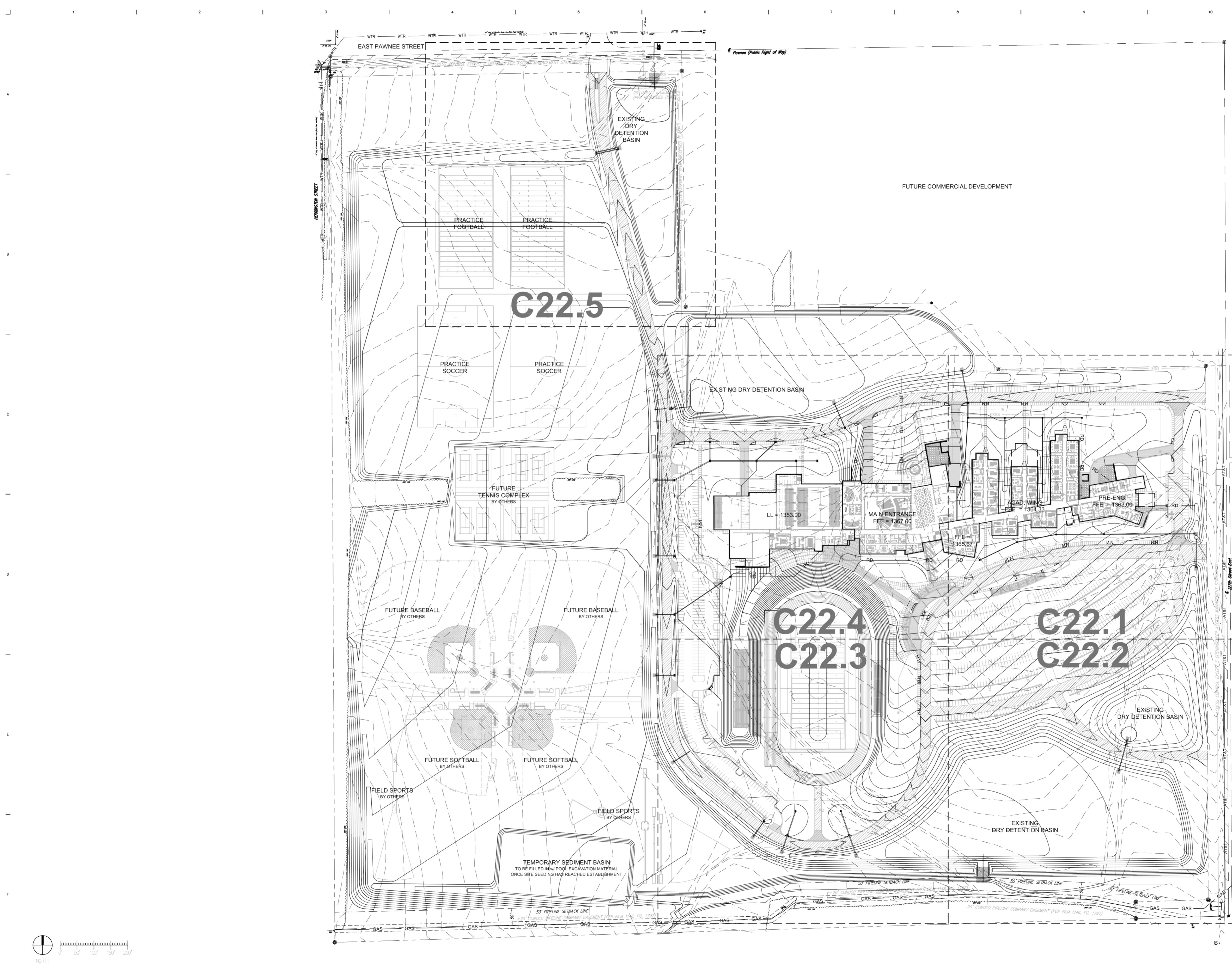
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Baughman Company, P.A.

Lot 1, Blk 1, USD 259 4th Addition
LINE 13 & 14
Storm Water Drain Improvements





SCHAEFER JOHNSON COX FREY ARCHITECTURE
 207 N. ROCKAWAY
 WICHITA, KANSAS 67202
 P. 316.864.0771
 F. 316.864.0888
 architecture@sjcf.com



BAUGHMAN CO.
 CIVIL ENGINEERS
 GRO, LLC
 LANDSCAPE ARCHITECTS

Reference Copy
 Not to Scale
 Coordinate with General Contractor for
 Installation, Excavation/Restoration
 Basins, Basins Controls & Landscaping.

USD 259
NEW SOUTHEAST HIGH SCHOOL
 BID NO. 15-25-1007
 2641 S. 127TH STREET EAST
 WICHITA, KS 67207

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 designs, details and the underlying geometry of
 the design, shall be the sole property of
 Schaefer Johnson Cox Frey Architecture, Inc. and may not
 be used or reproduced in any way without the
 written consent of SJCF.

Revisions
 (List of revision symbols)

Project Number
 SJCF# 5180.00

Date
 04 NOV 2014

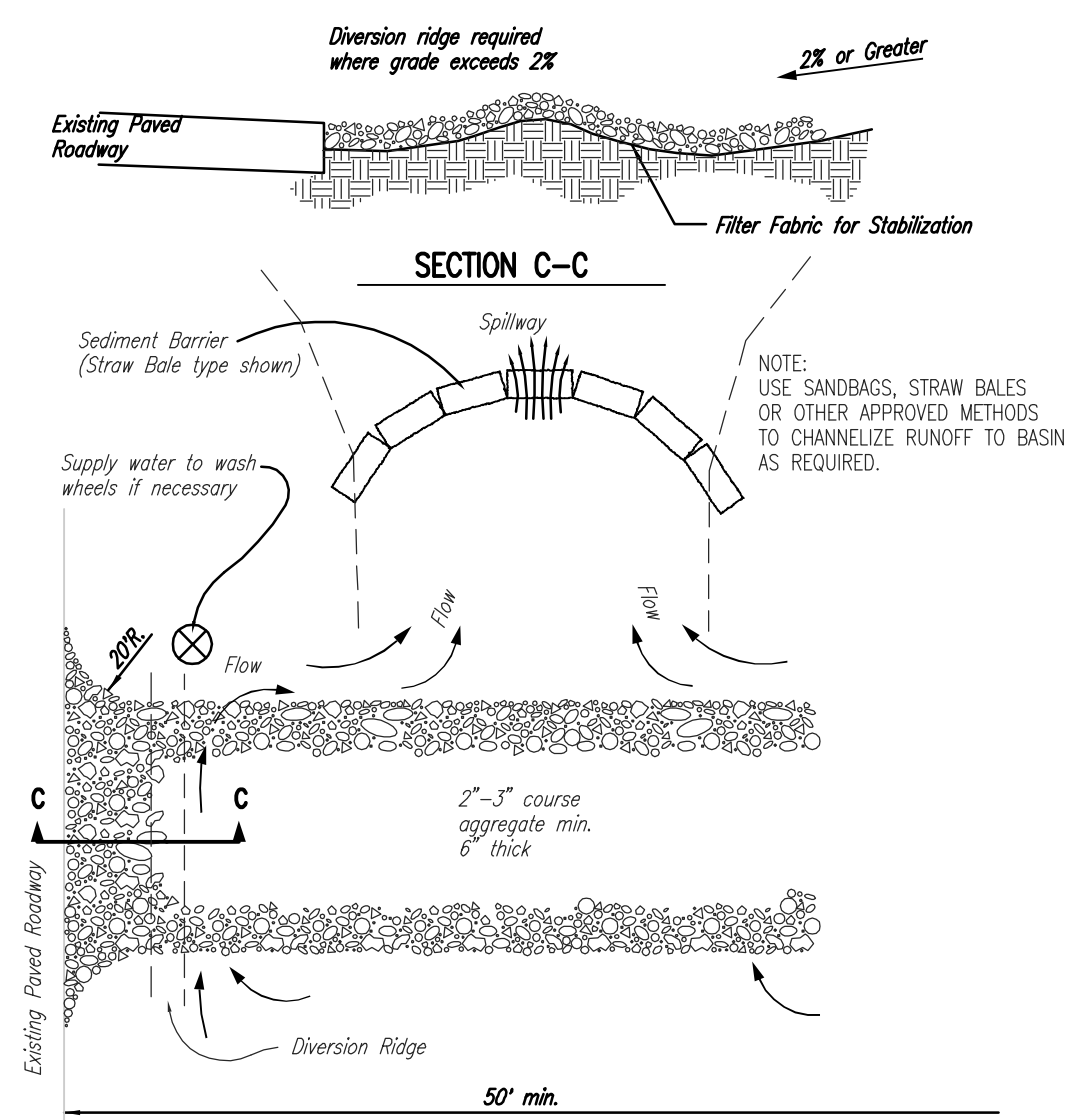
OVERALL
 GRADING
 PLAN
 1" = 100'-0"

C22.0

Baughman Company, P.A.
 315 E. 10th St., Wichita, KS 67201 P: 316.262.2271 F: 316.262.0149
 1000 S. 10th St., Suite 100, Wichita, KS 67202 P: 316.864.0771 F: 316.864.0888
 www.baughmancompany.com

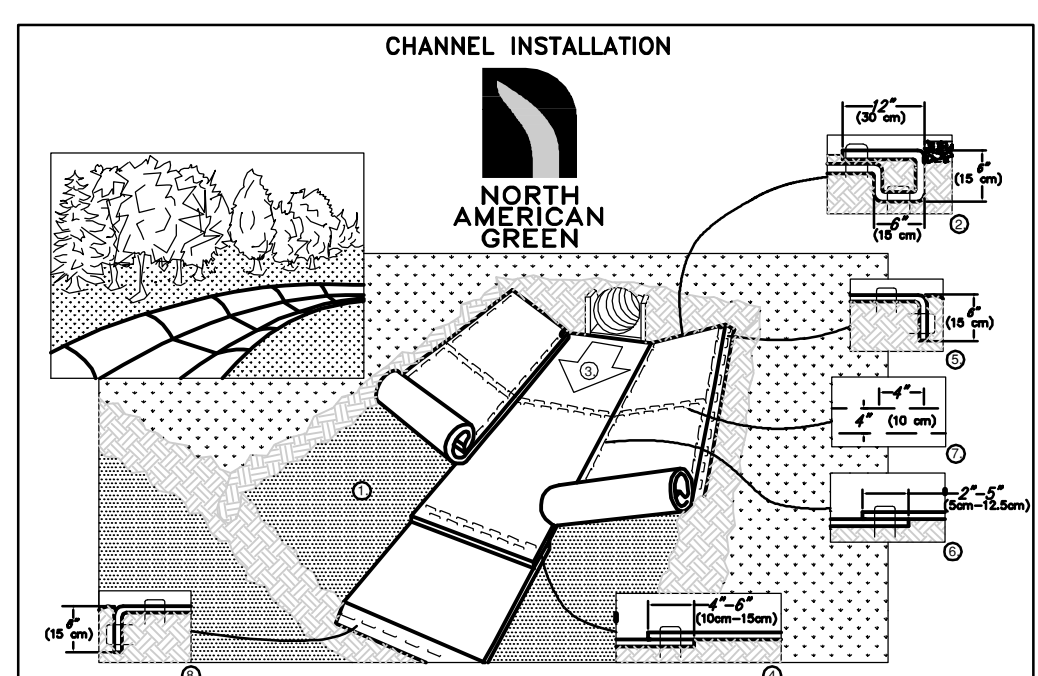
Baughman
Ref. Grading Plan
 Storm Water Drain Improvements

REVISIONS
 Lot 1, Blk 1, USD 259 4th Addition
 of 14
 16



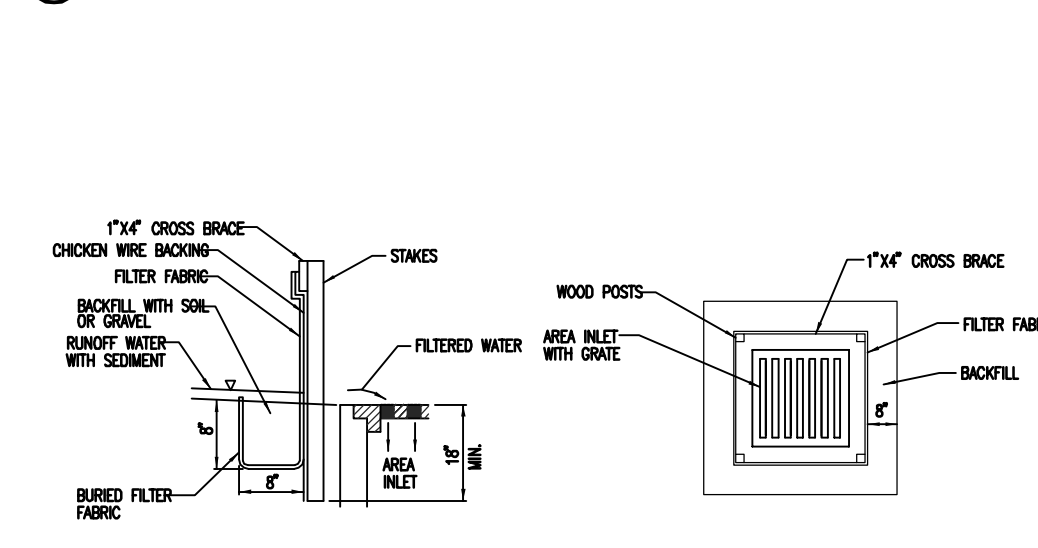
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
4. DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

1 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

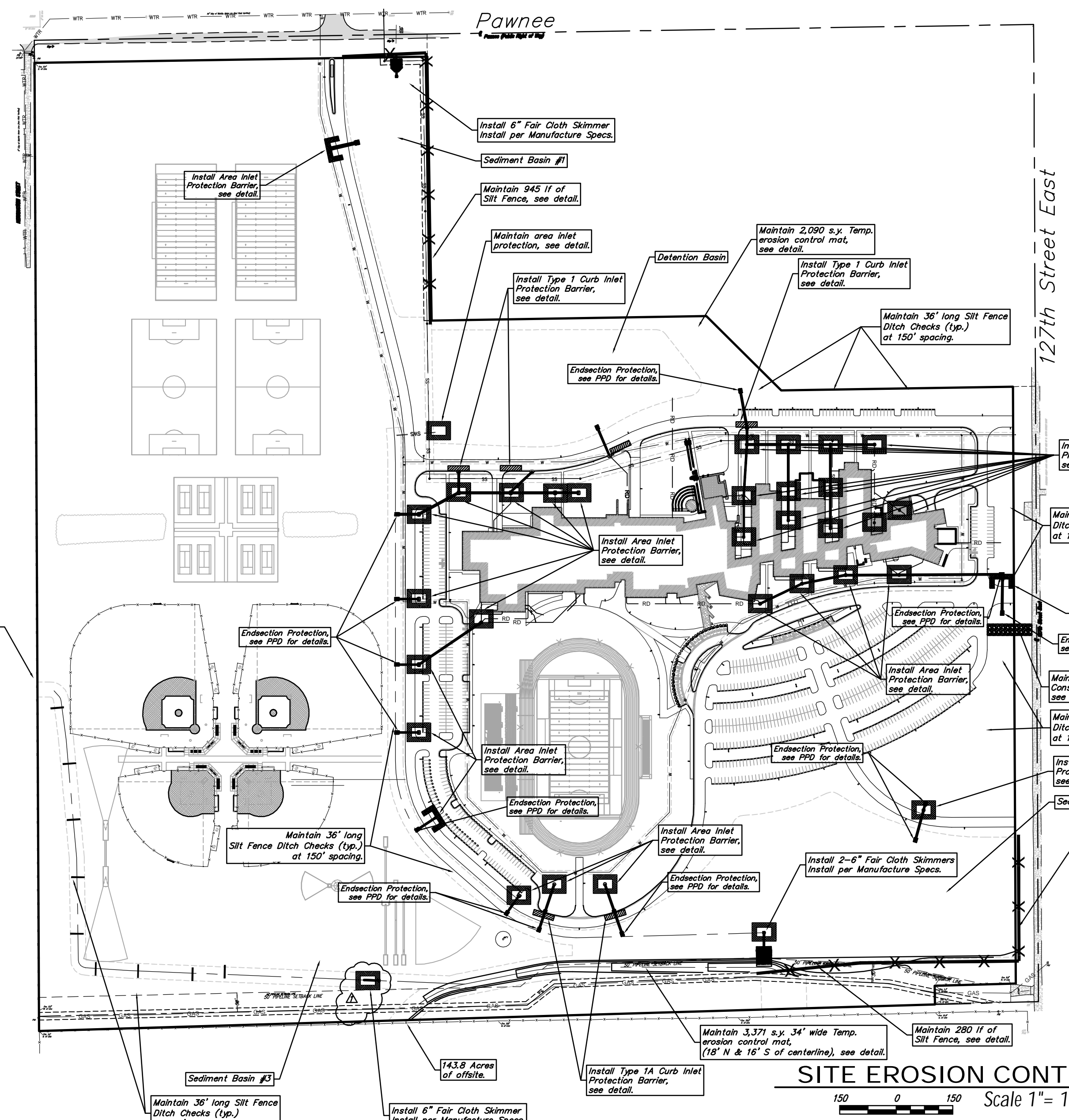


1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIMES, FERTILIZERS, AND SEED. NOTE: WHEN USING CELL-OR-SEED DO NOT SEED WITHIN CELL-OR-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6\"/>
- 3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURED TO SOIL SURFACE BY USING STAPLES/STAPLES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING ORIGINAL DOT SYSTEM, STAPLES/STAPLES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- 4. PLACE CONSECUTIVE BLANKETS END OVER END (RANDOM STYLE) WITH A 4\"/>
- 5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAPLES APPROXIMATELY 12\"/>
- 6. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2\"/>
- 7. IN HIGH FLOW CHANNELS APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (10m-12m) INTERVALS. USE A DOUBLE ROW OF STAPLES STAPLED AT 150mm APART AND 4\"/>

2 EROSION CONTROL MAT INSTALLATION
NOT TO SCALE

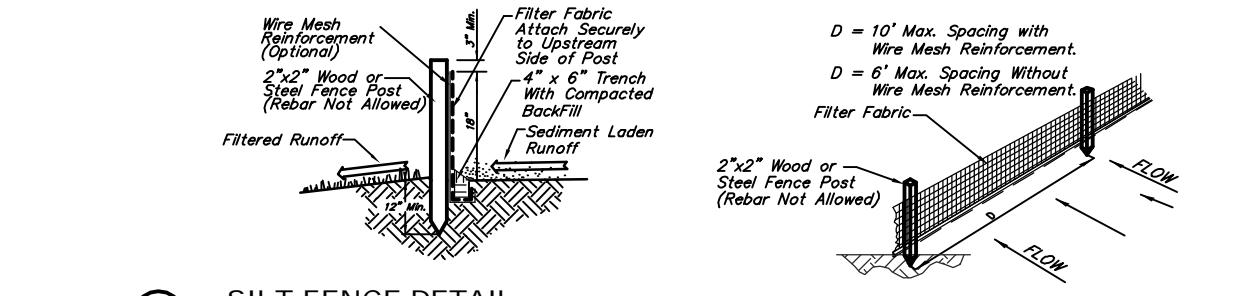


3 SILT FENCE BARRIERS FOR AREA INLETS
NOT TO SCALE

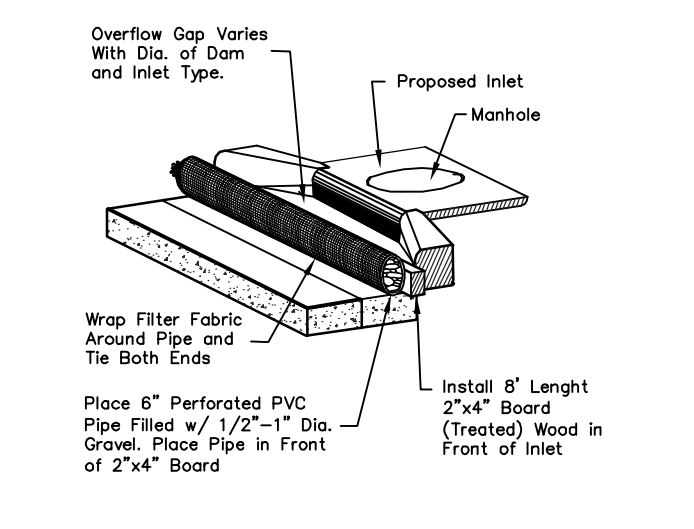


SEDIMENT BASIN NOTES:
Sed. Basin #1
 Drainage Area = 21.78 acres (includes 9.98ac. of offsite)
 Sedimentation volume required = 78,410ft³
 Sedimentation volume provided = 113,080ft³
 Sediment Peak Volume Elev. = 1351.7'
Sed. Basin #2
 Drainage Area = 106.52 acres (includes 14.19ac. of offsite)
 Sedimentation volume required = 383,470ft³
 Sedimentation volume provided = 489,300ft³
 Sediment Peak Volume Elev. = 1344.0'
Sed. Basin #3
 Drainage Area = 54.63 acres (includes 34.75ac. of offsite)
 Sedimentation volume required = 196,670ft³
 Sedimentation volume provided = 198,500ft³
 Sediment Peak Volume Elev. = 1348.9'

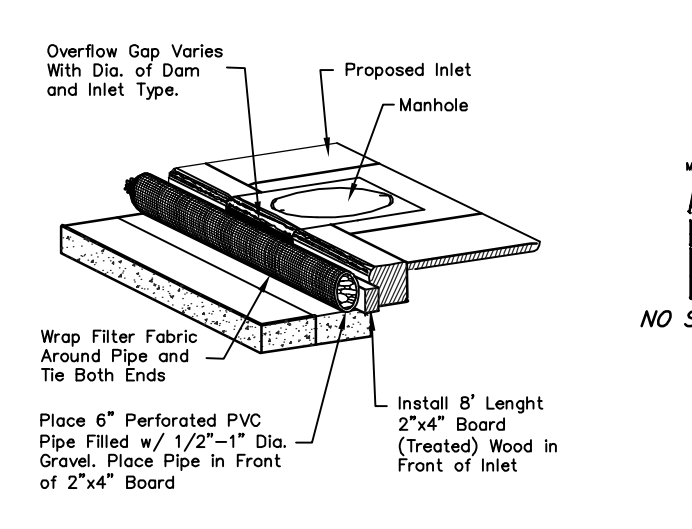
The overflow weir for each basin will be constructed at an elevation above the noted sedimentation volume elevation and ensure proper use of the Faircloth Skimmer. The contractor will maintain and use the skimmer until permanent vegetation is established.



4 SILT FENCE DETAIL
NOT TO SCALE



5 TYPE 1A INLET PROTECTION
NOT TO SCALE



6 TYPE 1 INLET PROTECTION
NOT TO SCALE



LEGAL DESCRIPTION

Lot 1, Block 1, USD 259 4th Addition, Wichita, Sedgewick County Kansas.

BENCHMARKS

BENCH MARK #1: CHISELED SQUARE ON TOP OF MEDIAN AT THE ENTRANCE OF CASA BELLA ADDITION. ELEVATION = 1354.46 (NAVD88)
 BENCH MARK #2: RAILROAD SPIKE IN WEST FACE OF POWER POLE LOCATED APPROXIMATELY 1185' S. SOUTH OF THE INTERSECTION OF PAWNEE AND 127TH STREET EAST AND APPROXIMATELY 26' E. EAST OF THE CENTERLINE OF 127TH STREET EAST. ELEVATION = 1362.34 (NAVD88)

SITE ERU INFORMATION

Total Area: ±5,376,950 sq. ft. (123.44 acres)
 Existing Impervious Area: ±5,376,950 sq. ft. (123.44 acres)
 Addition & Renovation: ±5,376,950 sq. ft. (123.44 acres)
 Impervious Area: ±1,182,499 sq. ft. (27.15 acres)
 Building Area: ±221,704 sq. ft. (5.09 acres)
 Pervious Area: ±4,194,451 sq. ft. (96.29 acres)

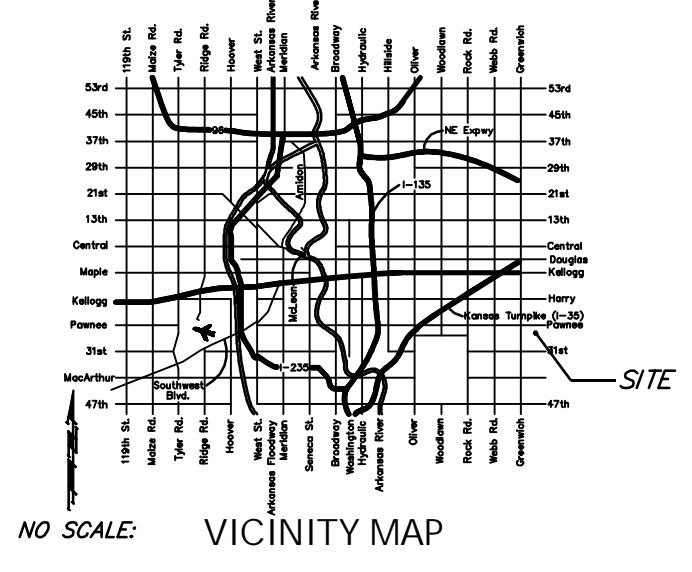
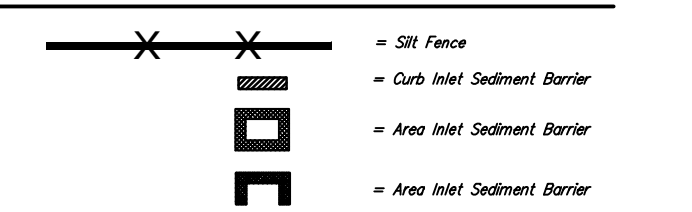
EROSION CONTROL NOTES

1. No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #1).
2. All exposed areas shall be seeded as specified within 21 days of final grading. Seed is to include straw mulch, crimped in place per industry standards.
3. Should construction stop for longer than 14 days, the site shall be seeded as specified.
4. Maintain erosion control measures after each rain and at least once a week.
5. This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
6. Contractor shall comply with all state and local ordinances that apply.
7. Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
8. Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
9. If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
10. All disturbed R/W areas not intended for pavement or sidewalk construction shall be hydroseeded with a Bermuda / Perennial Ryegrass Seed Mix. See Grass Seeding specification sheet for seed mixture rate requirements.
11. This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
12. ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
13. An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.
14. Silt Fence is to be constructed to encompass 15' outside the Fair Cloth Skimmers at Sediment Basins 1, 2, & 3. Install Fair Cloth Skimmer per manufactures specifications. Install maintain skimmer & silt fence per SWPPP requirements.
15. The Contractor is not allowed to import or export soil from this site. See site plans for stock pile requirements for this site.

Revised: 9-24-14. Incorporated the following revisions to meet KDHE requirements:
 1. Added ditch check northeast of sediment basin #2.
 2. Added 280' of silt fence downstream of Basin 2 outfall.
 3. Revised Basin 1 & 3 outfalls to omit Erosion measures.
 4. Noted silt fence to encompass faircloth skimmers.
 5. Revised Sediment Basin Notes to include required sediment volume elevations.
 6. Noted no soil is to be imported or exported from this site.

Revised: 10-1-14: Noted Sediment basin overflow weir requirement.

EROSION CONTROL LEGEND



NO SCALE: VICINITY MAP



SCHAEFER JOHNSON COX FREY ARCHITECTURE
 EMPLOYER OFFICE
 307 N. Broadway
 Wichita, KS 67202
 P: 316.262.2117
 F: 316.262.2117
 www.sjcf.com
 architecture@sjcf.com

BAUGHMAN ENGINEERS
 LANDSCAPE ARCHITECT

USD 259
 NEW SOUTHEAST HIGH SCHOOL
 ROUGH GRADING PACKAGE
 BID NO. 14-25-1006
 127th ST. EAST AND PAWNEE

Revisions
 9-24-14
 10-1-14

Project Number
 5180.10
 Date
 19 AUGUST 2014
 SHEET TITLE

SCALE
C1.0

Reference Copy
 Not to Scale
 Coordinate with General Contractor for Basis, Structure, Control, & Landscaping

Reference Copy
 Not to Scale
 Coordinate with General Contractor for Basis, Structure, Control, & Landscaping

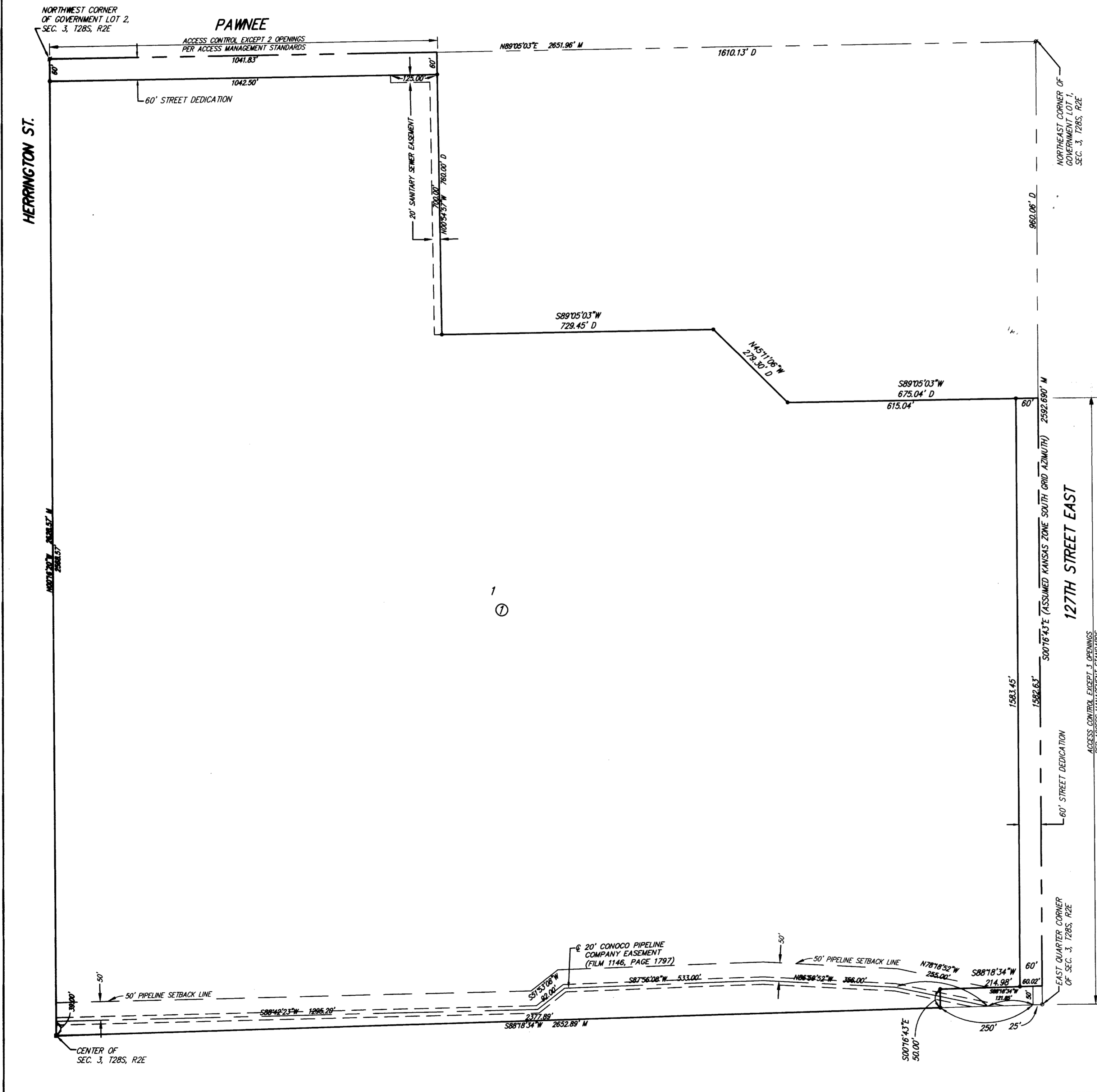
Baughman Company, P.A.
 315 Ellis St., Wichita, KS 67211 P: 316.262.2171 F: 316.262.0149
 LANDSCAPE ARCHITECTURE
 1400 N. GARDNER ST. SUITE 100 WICHITA, KS 67202
 BAUGHMAN.COM

Lot 1, Blk 1, USD 259 4th Addition
Ref. Erosion Plan
 Storm Water Drain Improvements

15
 of
 16

USD 259 4TH ADDITION

Wichita, Sedgwick County, Kansas



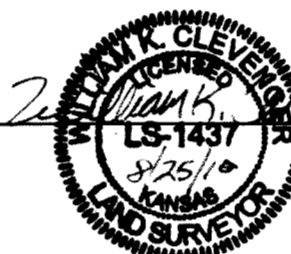
State of Kansas)
Sedgwick County) SS

We, Ruggles & Bohm, P.A., Land Surveyors in aforesaid county and state, do hereby certify that, under the supervision of the undersigned, we have surveyed and platted "USD 259 4TH ADDITION", Wichita, Sedgwick County, Kansas, and that the accompanying plat is a true and correct exhibit of the property surveyed, described as follows:

The NE1/4 of Sec. 3, T28S, R2E of the 6th P.M., Sedgwick County, Kansas, EXCEPT a tract of land lying in a portion of Government Lots 1 and 2, Section 3, Township 28 South, Range 2 East, of the 6th Principal Meridian, Wichita, Sedgwick County, Kansas; said tract being more particularly described as follows: BEGINNING at the northeast corner of said Northeast Quarter, thence along the east line of said Quarter on a Kansas coordinate system of 1983 south zone grid bearing of S007°16'43"E, 960.06 feet; thence parallel with and 960.00 feet south of the north line of said Quarter, S89°05'03"W, 675.04 feet; thence N45°11'06"W, 279.30 feet to a point lying 760.00 feet south of said north line; thence S89°05'03"W, 729.45 feet; thence N00°54'57"W, 760.00 feet to said north line; thence along said north line, N89°05'03"E, 1610.13 feet to the point of beginning, AND EXCEPT that described as beginning at the southeast corner of said NE1/4, thence S88°16'17"W, along the south line of said NE1/4, 275.00 feet; thence N00°52'40"W, parallel with the east line of said NE1/4, 50.00 feet; thence N88°16'17"E, parallel with said south line, 275.00 feet to the east line of said NE1/4; thence S00°52'40"E, along said east line, 50.00 feet to the point of beginning.

All public easements and dedications are hereby vacated by virtue of K.S.A. 12-512(b).

Ruggles & Bohm, P.A.



William K. Clevenger
Land Surveyor

Know all men by these presents that we, the undersigned, have caused the land described in the surveyor's certificate to be platted into a Lot, a Block and Streets, to be known as "USD 259 4TH ADDITION", Wichita, Sedgwick County, Kansas. Access Controls as indicated are hereby granted to the appropriate governing body. The streets are hereby dedicated to and for the use of the public. The Sanitary Sewer Easement is hereby granted to the public for the construction and maintenance of a sanitary sewer. A drainage plan has been developed for this plat and all drainage easements shall remain at established grades, or as modified with the approval of the City Engineer, and unobstructed to allow for the conveyance of storm water.



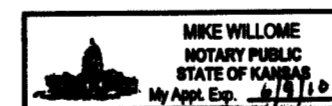
Unified School District 259
Connie Dietz, President

State of Kansas)
Sedgwick County) SS

The foregoing instrument acknowledged before me, this 27th day of August, 2010, by Connie Dietz, President, on behalf of the Board of Unified School District 259.

Mike Willome
Notary Public

My appointment expires 6/9/2011



This plat of "USD 259 4TH ADDITION", Wichita, Sedgwick County, Kansas, has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 2nd day of June, 2010.

Wichita-Sedgwick County Metropolitan Area Planning Commission



G. Nelson Van Fleet
Chair
John L. Schlegel
Secretary
John L. Schlegel

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this 9th day of November, 2010.

At the Direction of the City Council
Mayor
City Clerk
Karen Sublett

Reviewed in accordance with K.S.A. 58-2005 on this 2nd day of August, 2010.



Tricia Robello, LS #1246
Deputy County Surveyor
Sedgwick County Kansas

Entered on transfer record this 24th day of November, 2010.

Kelly B. Arnold



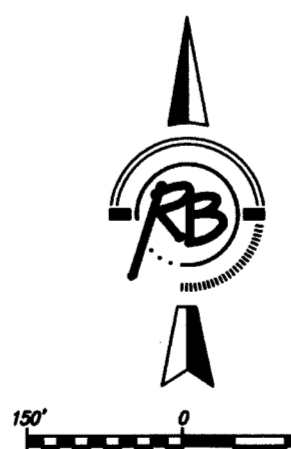
State of Kansas)
Sedgwick County) SS

This is to certify that this plat has been filed for record in the office of the Register of Deeds, this 2nd day of December, 2010, at 10:32:52 o'clock A.M., and is duly recorded.

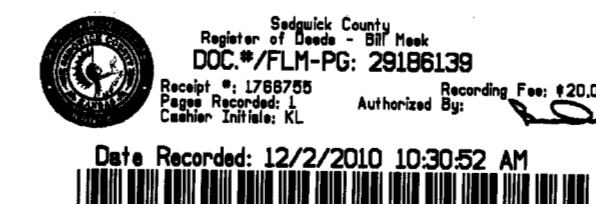
Bill Meek
Tonya Buckingham
Register of Deeds
Deputy

M = Measured
D = Described

SURVEY MARKER LEGEND
BB - STONE W/PLUS
O - 1/2" REBAR W/CAP (FOUND - ORIGIN UNKNOWN)
Ø - 5/8" REBAR W/CAP (FOUND - ORIGIN UNKNOWN)
● - 5/8" REBAR W/RUGGLES & BOHM CAP (SET)

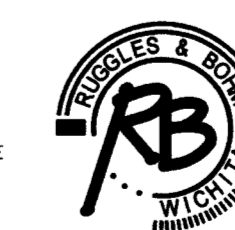


BENCH MARK: CHISELED SQUARE ON THE TOP OF CURB AT THE SOUTH END OF THE ISLAND AT THE ENTRANCE OF CASA BELLA ADDITION. AT THE INTERSECTION OF TARA FALLS AND PAWNEE ELEVATION = 1354.46 (NAVD83)



Date Recorded: 12/2/2010 10:30:52 AM

DWG FILE: SURVEY BASE
PROJECT NO.: 5012P
AUGUST 25, 2010



Ruggles & Bohm, P.A.
Engineering, Surveying, Land Planning
924 North Main (316) 264-8008
Wichita, Kansas 67203 (316) 264-4621 fax
www.rbkansas.com E-mail: info@rbkansas.com