

AS BUILT PLANS

Contractor: W. B. Carter
 Inspector: Fred Smith, Baughman Co.
 pdf's by: KEK, 9/1/15

STORMWATER DRAIN IMPROVEMENTS to serve

French Quarter 2nd Addition

Lot 1-Block A, Lot 1-Block B, Lot 1-Block C

Private Project: 202 PPD (607861)

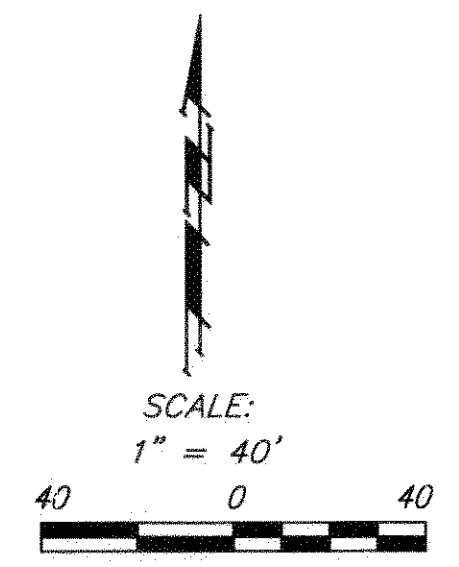
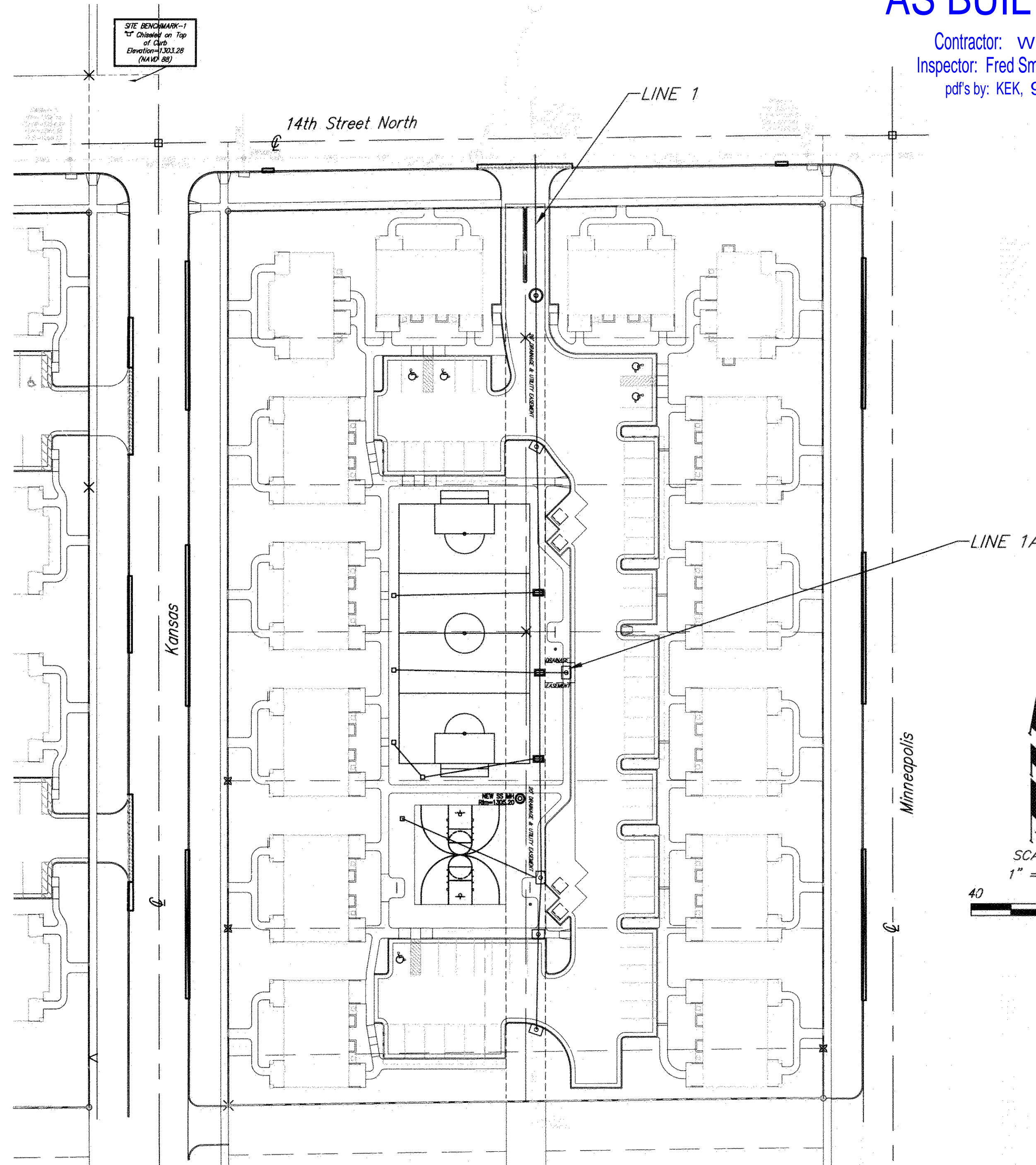
CITY OF WICHITA, KANSAS

Gary Janzen, P.E., City Engineer

September 2013

General Notes

- Contractor will be required to provide notice to utility companies a minimum of forty-eight (48) hours prior to any excavation, as follows:
 Kansas One-Call 687-2470
 The Contractor must notify the following in case of an emergency:
 Cox Communications 262-4270
 Kansas Gas Service 1-888-482-4950
 Westar Energy 383-8650
 Black Hills Energy (Gas) 1-800-303-0357
 ATT 268-2245
 City of Wichita Water Dept. 268-4563
 City of Wichita Sewer Maint. 268-4024
 City of Wichita Storm Sewer Maint. 268-4090
 City of Wichita Traffic Maint. 268-4034
- Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- All disturbed R/W areas not intended for pavement or sidewalk construction shall be seeded with Kansas Premium Fescue Blend at a rate of 8 lb./1000 Sq. Ft., fertilized with a 16-20-6 ratio at a rate of 4 lb./1000 Sq. Ft., and mulched with Prairie Hay at a rate of 92 lb./1000 Sq. Ft. Mulch shall be "patted" with forks or punched into soil to reduce loss due to wind.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- Contractor shall furnish the inspector with a copy of the manufacturer's certification for any pipe used on this project after completion of pipe installation. The engineer will not certify the project to the city until pipe certification has been received.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- All sewer lines and appurtenances shall be installed in accordance with the most recent edition of City of Wichita, Kansas Standard Specifications for the Construction of City Projects.
- Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Contractor shall not start on the project until all necessary bonds and permits have been obtained. Bonds may include but are not limited to Statutory, Performance & Maintenance Any work done without inspection will be required to be uncovered for inspection.



BENCHMARK

SITE BENCHMARK-1 Chiseled on Top of Curb, NW corner of 14th St. N and Kansas Ave. Elevation=1303.28 (NAVD 88)

SITE BENCHMARK-2 Chiseled on Top of Curb, SW corner of 15th St. N and Minneapolis Ave. Elevation=1304.53 (NAVD 88)

LEGAL DESCRIPTION

Lot 1, Block A, Lot 1 Block B, Lot 1, Block C, French Quarter 2nd Addition, an addition to Wichita Sedgwick County, Kansas.

Stormwater Narrative (Summary)

This is a re-development project and falls under Section 16.32 of the City Code. After re-development, the site will not add any additional impervious area. Since the impervious area change is less than 1 acre, no on-site detention or channel protection will be provided by the site. However, there will still need to be water quality. Section 16.32.091.C.2 states that since this is re-development, only 30% of the re-developed impervious area will need to be treated (if additional impervious area was added, that would have been 100% treated). Total Disturbed Area = 4.82 ac., Redevelopment Area (Treated) = 2.61 ac.

Stormwater Compliance

Water Quality requirements will be addressed with the use of a Hydroworks HG5 Water Quality Unit located on Site in Area 3. The structure has been designed for Water quality requirements for this phase of construction only.

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- Hydroworks HG5 Detail 4
- Stand. Type 1 Curb Inlet Detail 5
- Single/Double Drop Inlet Detail 6
- Reference Grading Plan 7
- Reference Erosion Control Plan 8
- Copy of Plat 9

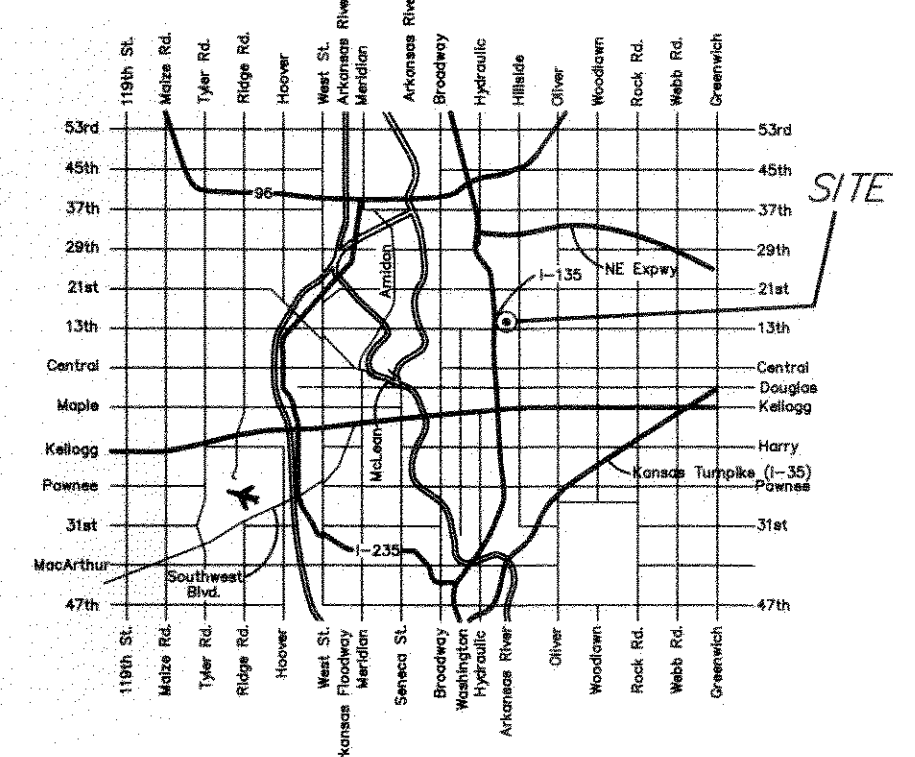
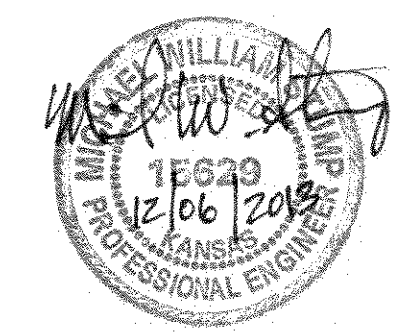
APPROVED AS NOTED
 BY CITY ENGINEER OF WICHITA

Engineering *Jim Parish* 12-6-13

Stormwater *AHC JK* 12/6/13

NOTE TO CONTRACTORS

Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).



VICINITY MAP



Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0145
 ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

BENCHMARK

SITE BENCHMARK-1 "L" Chiseled on Top of Curb, NW corner of 14th St. N and Kansas Ave. Elevation=1303.28 (NAVD 88)

SITE BENCHMARK-2 "L" Chiseled on Top of Curb, SW corner of 15th St. N and Minneapolis Ave. Elevation=1304.53 (NAVD 88)

Sta. 0+70.93, Line 1
N:1922.74, E:2190.43
Install Hydroworks HG5
Structure with Grated Inlet
Top. See Detail, Sheet 4
Top Elev. = 1304.00

Sta. 1+47.0, Line 1
N:1846.67, E:2190.89
Construct Type 1 Curb
Inlet (5'x3')
Top Elev. = 1304.50

Sta. 2+21.02, Line 1
N:1772.67, E:2191.66
Construct Standard Drop
Inlet (4'x2')
Top Elev. = 1304.00

Sta. 2+61.02, Line 1A
= Sta. 0+00, Line 1A
N:1732.67, E:2192.34
Construct Standard Drop
Inlet (4'x2')
Top Elev. = 1304.00

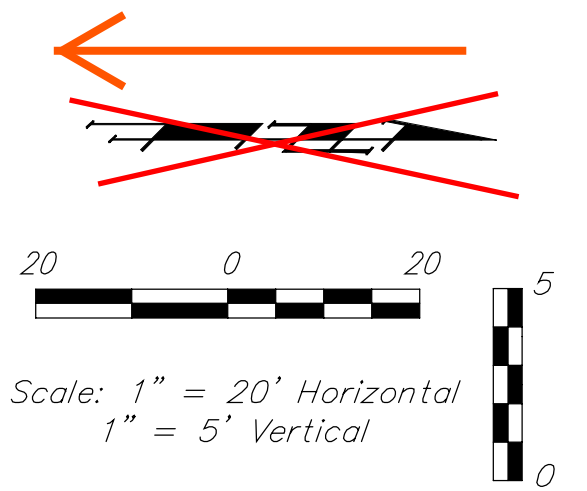
Sta. 0+13.71, End Line 1A
N:1732.68, E:2206.05
Construct Type 1 Curb
Inlet (5'x3')
Top Elev. = 1304.50

Sta. 3+04.01, Line 1
N:1689.67, E:2191.69
Construct Standard Drop
Inlet (4'x2')
Top Elev. = 1304.00

Sta. 3+34.57, Line 1
N:1659.12, E:2191.87
Construct Type 1 Curb
Inlet (5'x3')
Top Elev. = 1304.50

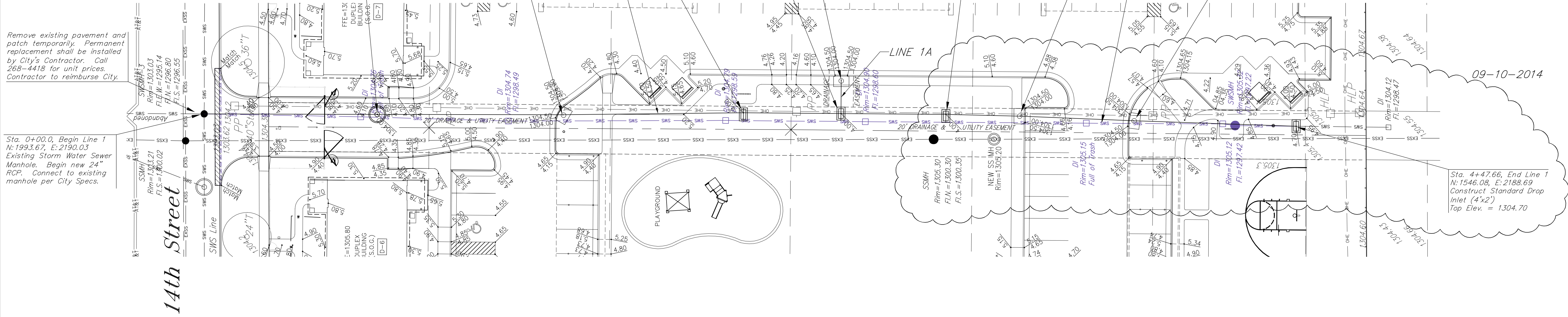
Remove existing Storm Water Sewer pipe, inlets and manholes, from Sta. 0+00 to Sta. 4+47.66, so as to construct new Storm Water Sewer system. Where new SWS ends, saw cut existing pipe to connect to new inlet.

Sta. 3+80.90, Line 1
N:1612.81, E:2190.36
Construct Type 1 Curb
Inlet (5'x3')
Top Elev. = 1304.50



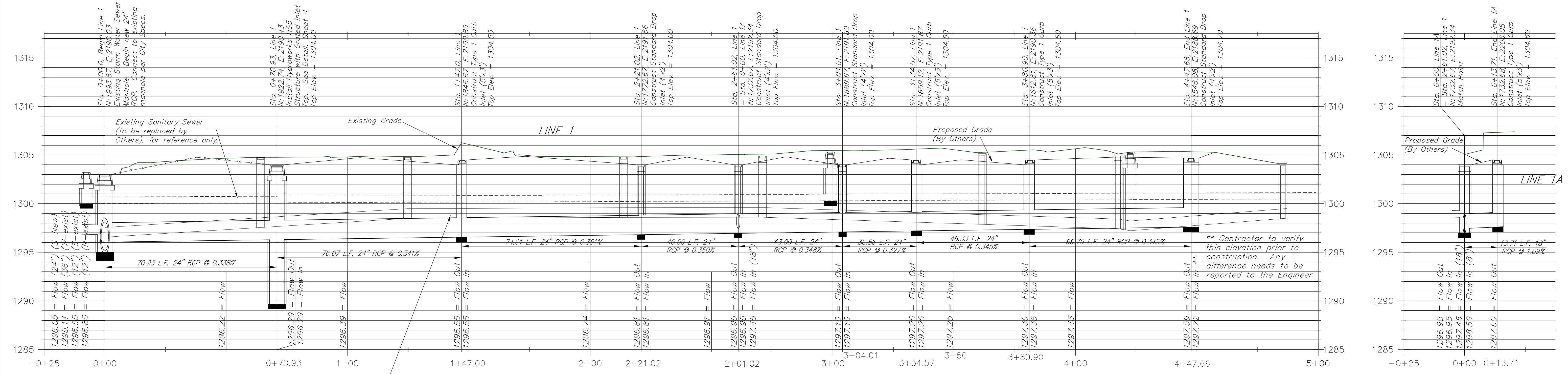
Remove existing pavement and patch temporarily. Permanent replacement shall be installed by City's Contractor. Call 268-4418 for unit prices. Contractor to reimburse City.

Sta. 0+00.0, Begin Line 1
N:1993.67, E:2190.03
Existing Storm Water Sewer Manhole. Begin new 24" RCP. Connect to existing manhole per City Specs.



09-10-2014

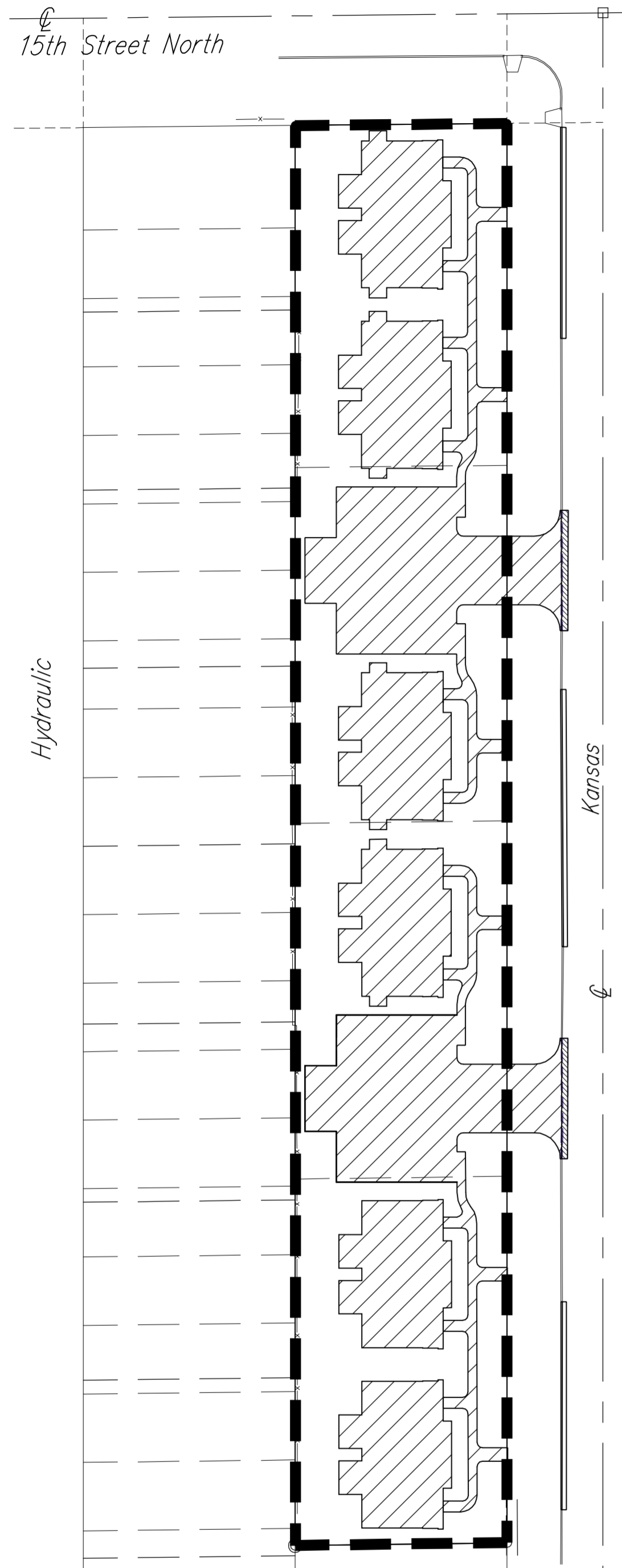
Sta. 4+47.66, End Line 1
N:1546.08, E:2188.69
Construct Standard Drop
Inlet (4'x2')
Top Elev. = 1304.70



Remove existing Storm Water Sewer pipe, inlets and manholes, from Sta. 0+00 to Sta. 4+47.66, so as to construct new Storm Water Sewer system. Where new SWS ends, saw cut existing pipe to connect to new inlet.

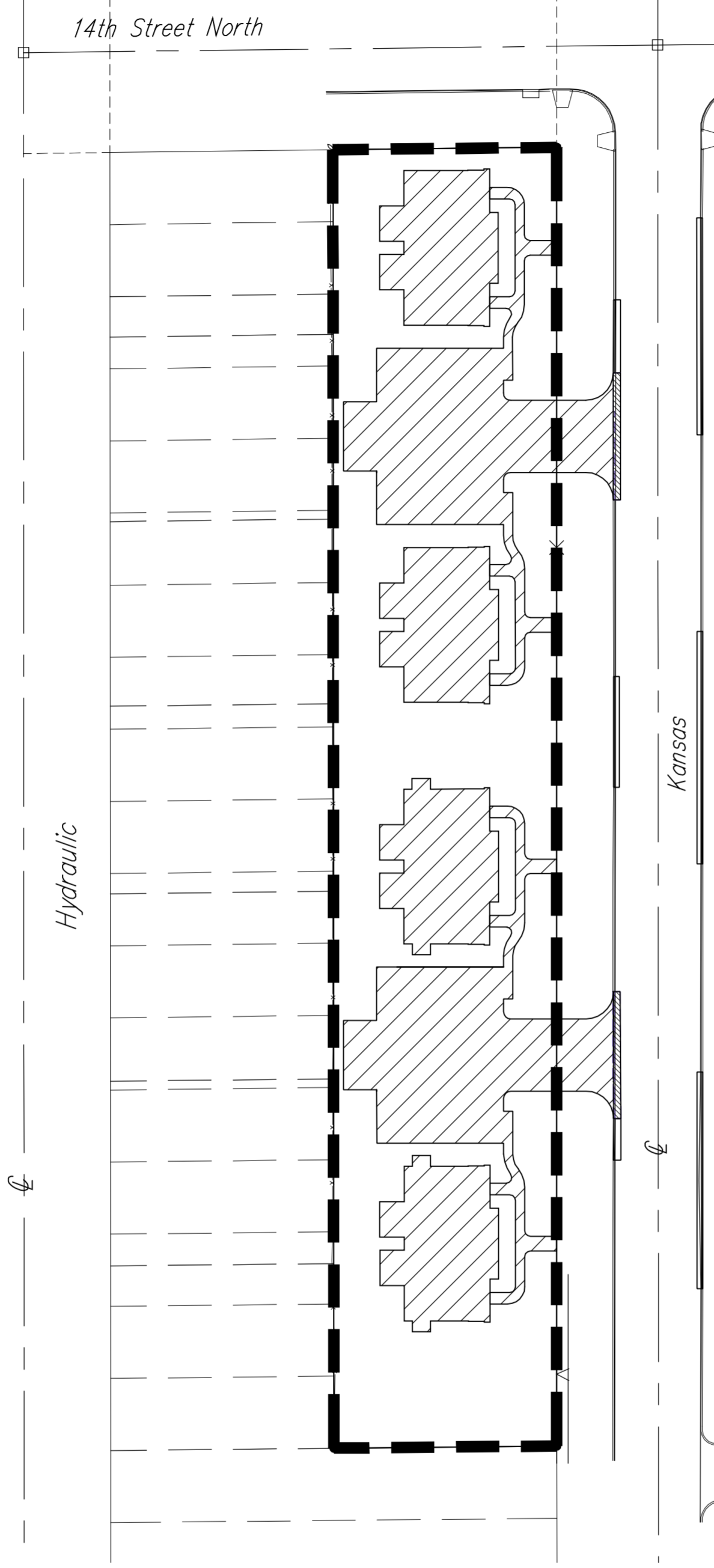


Baughman		French Quarters 2nd Addition Line 1 & 1A Storm Water Sewer Improvements	
Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149 ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE			
PROJECT NUMBER 202 PPD (607861)	DESIGN MWS	DRAWN MWS	DATE Sept. 2013
REVISIONS: 09-10-2014 Revised SWS Layout	MWS	APPROVED	SCALE Noted
		SHEET	
		2 OF 9	



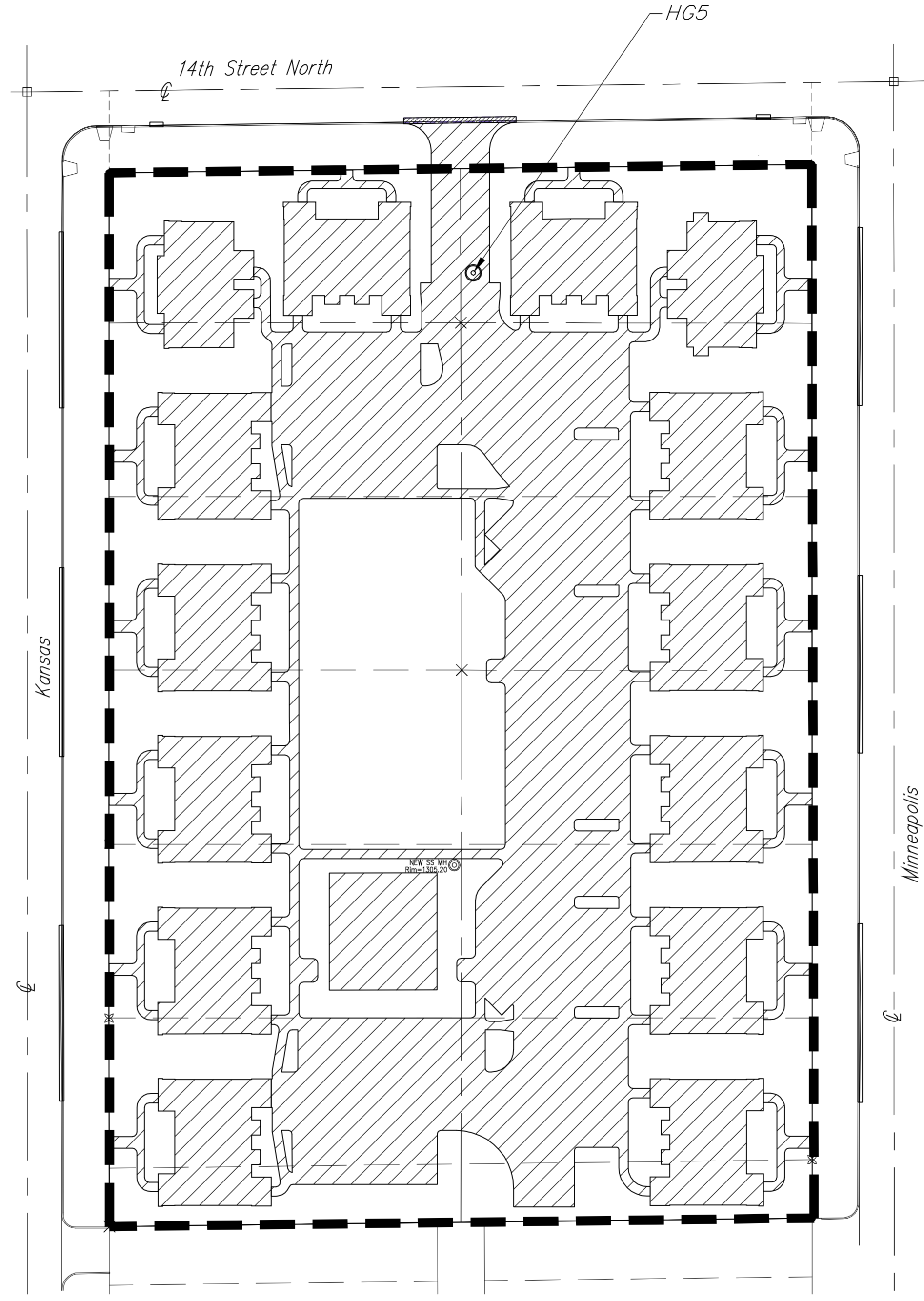
SITE INFORMATION - Area 1

Area 1 - 15th and Kansas Avenue
 Total Area: ±40,154.4 sq. ft. (0.92 acres)
 Proposed Building Area: ±11,461.49 sq. ft.
 Proposed Impervious Area: ±9,986.50 sq. ft. (0.23 acres)
 Area 1 Impervious Area:
 Proposed Impervious + Building: ±21,447.9 sq. ft. (0.49 acres)



SITE INFORMATION - Area 2

Area 2 - 14th and Kansas Avenue
 Total Area: ±34,797.9 sq. ft. (0.80 acres)
 Proposed Building Area: ±7,610.03 sq. ft.
 Proposed Impervious Area: ±9,272.2 sq. ft. (0.21 acres)
 Area 2 Impervious Area:
 Proposed Impervious + Building: ±16,882.2 sq. ft. (0.39 acres)



(Water Quality Unit Located in this Area)
SITE INFORMATION - Area 3

Area 3 - 14th, between Kansas Avenue and Minneapolis
 Total Area: ±134,964.0 sq. ft. (3.10 acres)
 Proposed Building Area: ±30,270.43 sq. ft.
 Proposed Impervious Area: ±44,945.9 sq. ft. (1.03 acres)
 Area 3 Impervious Area:
 Proposed Impervious + Building: ±75,216.32 sq. ft. (1.73 acres)

Water Quality Unit Maintenance

The Hydroworks HG5 Water Quality Manhole will be inspected and maintained by the developer of the parcel where the unit resides.

Stormwater Compliance

Water Quality requirements will be addressed with the use of a Hydroworks HG5 Water Quality Manhole located at the North end of the north entrance drive in Area 3. The structure has been designed for Water quality requirements for just this phase of construction.

BENCHMARK

SITE BENCHMARK-1 "□" Chiseled on Top of Curb, NW corner of 14th St. N and Kansas Ave. Elevation=1303.28 (NAVD 88)

SITE BENCHMARK-2 "□" Chiseled on Top of Curb, SW corner of 15th St. N and Minneapolis Ave. Elevation=1304.53 (NAVD 88)

(See Individual Areas for Individual Totals)

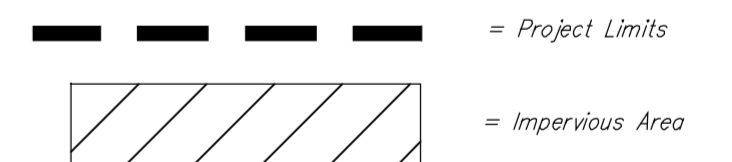
SITE INFORMATION - Total

Total Area - Area 1 + Area 2 + Area 3
 Total Area: ±209,916.4 sq. ft. (4.82 acres)
 Proposed Building Area: ±49,341.95 sq. ft.
 Proposed Impervious Area: ±64,204.6 sq. ft. (1.47 acres)
 Total Area Impervious Area:
 Proposed Impervious + Building: ±113,546.52 sq. ft. (2.61 acres)

LEGAL DESCRIPTION

Lot 1, Block A, Lot 1 Block B, Lot 1, Block C, French Quarter 2nd Addition, an addition to Wichita Sedgwick County, Kansas.

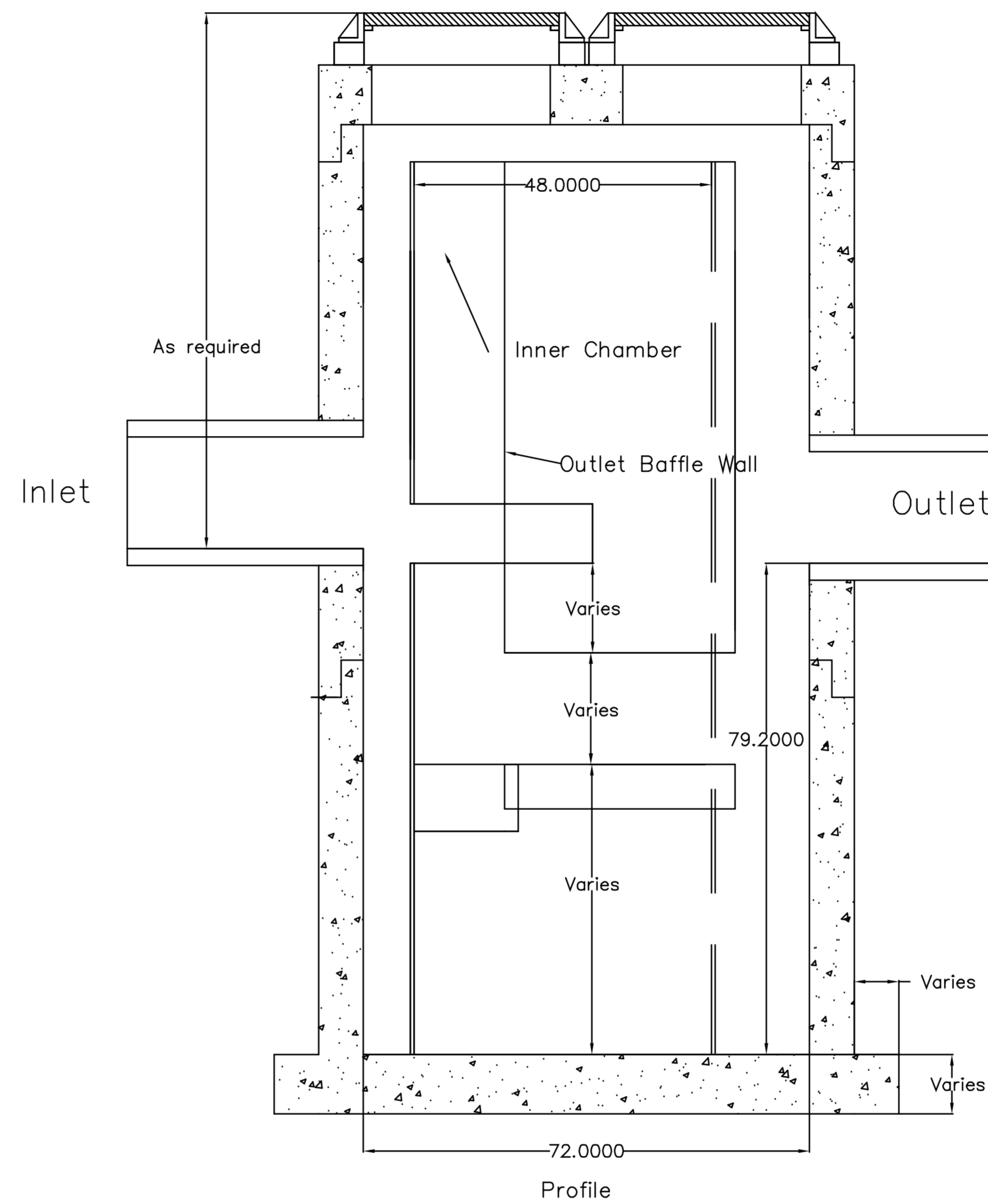
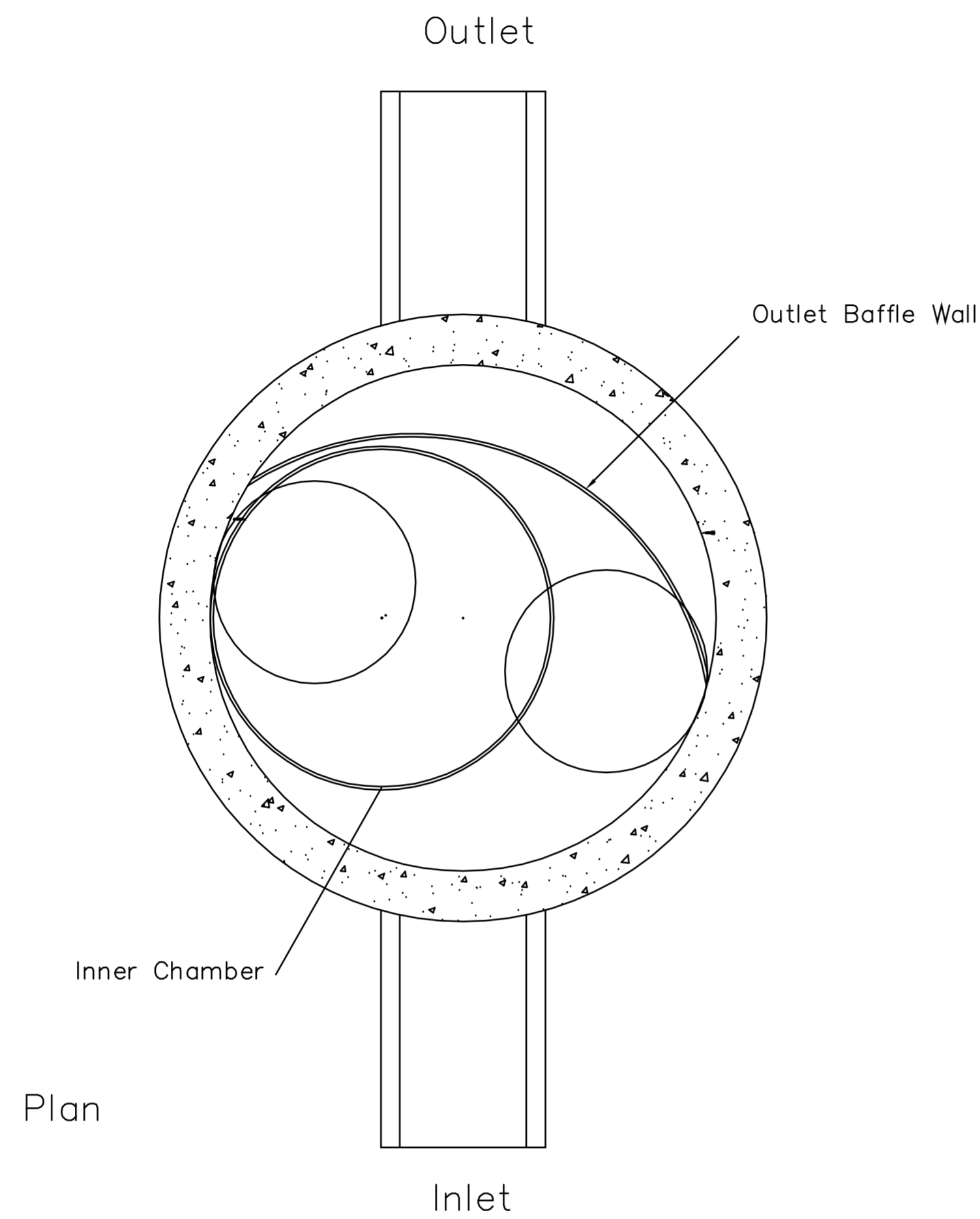
ERU LEGEND



ERU PLAN
 Scale 1"= 50'-0"



Baughman		Wichita Children's Home	
		ERU Plan	
		Storm Water Sewer Improvements	
Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149			
ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE			
PROJECT NUMBER 202 PPD (607861)	DESIGN MWS	DRAWN MWS	DATE Sept. 2013
REVISIONS:	APPROVED	SCALE Noted	SHEET
			3 OF 9



U.S. Patent No. 6,951,619

Dimensions in inches
 Permanent Pool Volume = 800 US gallons
 The Hydroguard must be cleaned after the construction period if it is used as a sediment and erosion control measure
 The Hydroguard should be inspected once per year for stabilized sites
 Inspection will determine the maintenance frequency (annual maintenance or once every two years typical for stabilized sites)
 Sites with unstable conditions (exposed soil or materials storage) will require more frequent inspection and maintenance

Hydroworks, LLC
 50 S. 21st St., Kenilworth, NJ 07033
 Phone: 888-290-7900 Fax: 888-783-7271
 Web: www.hydroworks.com


Hydroworks HG5 (60" ϕ)

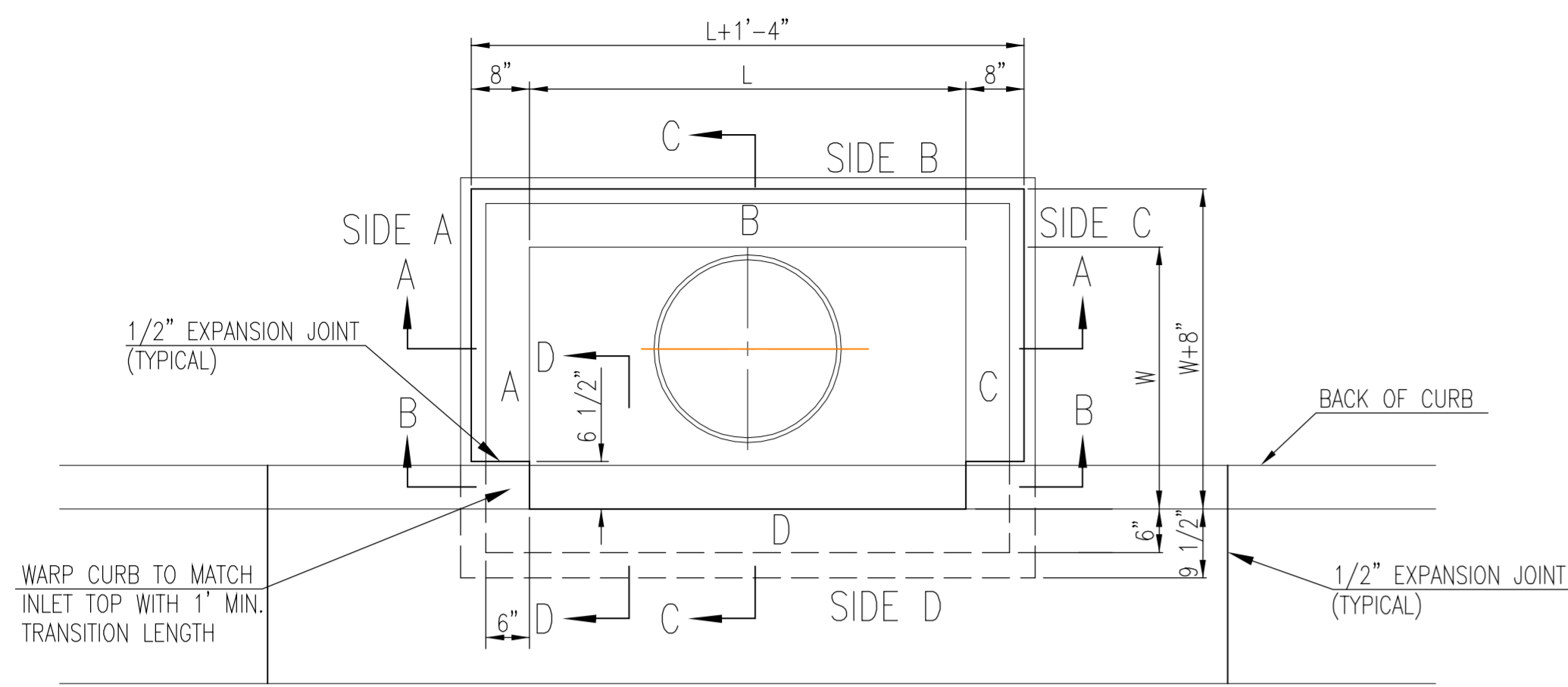
PROJECT:

LOCATION:

REVISION DATE: 02/10/2011



		Wichita Children's Home Hydroworks Storm Water Sewer Improvements	
<small>Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149 ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE</small>			
PROJECT NUMBER 202 PPD (607861)	DESIGN MWS	DRAWN MWS	DATE Sept. 2013
REVISIONS:	APPROVED	SCALE Noted	SHEET 4 OF 9



TOP VIEW

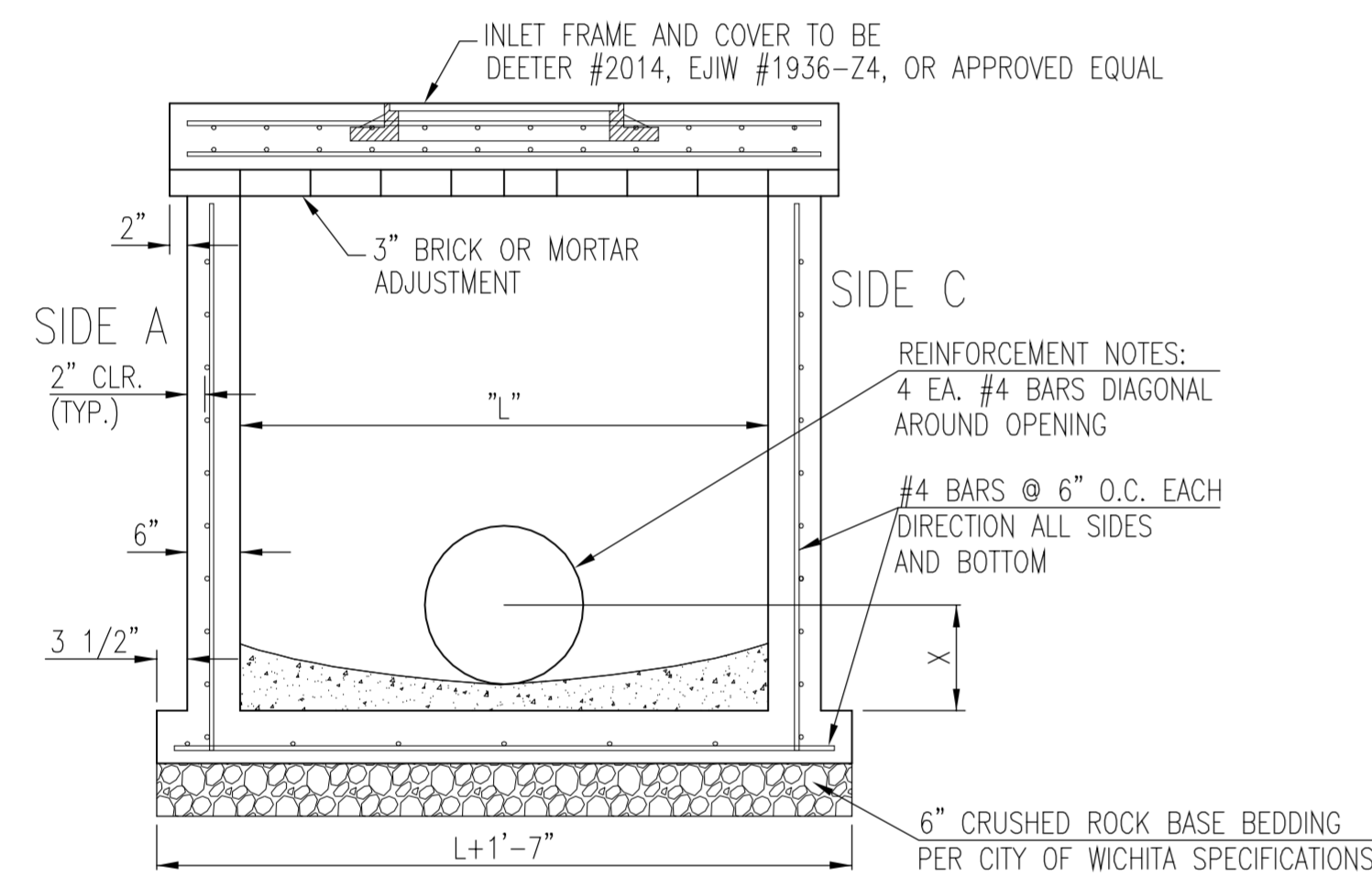
BAR SCHEDULE		
INLET OPENING	B1 BARS	SPACING
5'-0"	#4	4"
10'-0"	#6	3.5"

PRECAST CURB INLET WIDTHS				
W	PRE-CAST TOP SIZE			PIPE DIA.**
	WIDTH	LENGTH	TOP	
3'-0"	W+8"	L+1'-4"	7 1/2"	21" & SMALLER
4'-0"	W+8"	L+1'-4"	7 1/2"	24" & 30"
5'-0"	W+8"	L+1'-4"	7 1/2"	36" & 42"
6'-0"	W+8"	L+1'-4"	7 1/2"	48" & 54"
7'-0"	W+8"	L+1'-4"	7 1/2"	60" & 66"

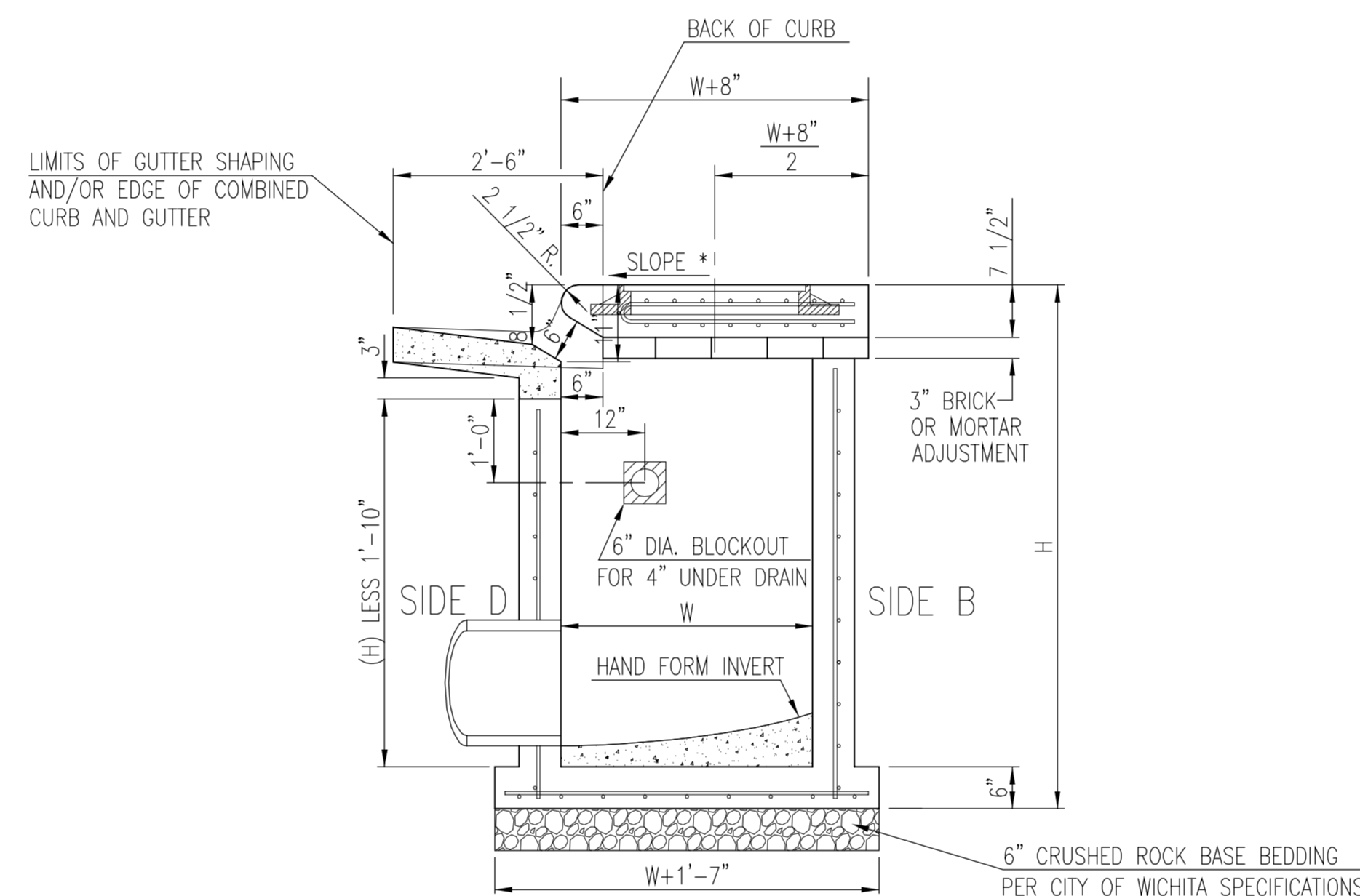
** FOR PIPES PERPENDICULAR TO INLET WALL

GENERAL NOTES

1. CONCRETE TOPS TO BE INSTALLED ON THIN MORTAR CUSHION TO INSURE FULL SUPPORT ALONG BRICK. CONCRETE TOPS MAY BE CAST IN PLACE OR PRECAST. CONCRETE USED FOR INLET CONSTRUCTION SHALL CONFORM TO CITY OF WICHITA SPECIFICATIONS FOR CONCRETE PAVEMENT MIX.
2. CONTRACTOR SHALL HAVE THE OPTION OF CONSTRUCTING 8" BRICK MASONRY WALLS BETWEEN THE CONCRETE INLET BASE AND TOP OF THIS INLET WHEN W=5'-0" AND H=7'-0" OR LESS.
3. INLET INVERT SHALL BE SHAPED WITH 8 SACK SAND MIX CONCRETE TO CREATE FLOW CHANNELS AND TO INCREASE HYDRAULIC EFFICIENCY SUCH THAT THE INLET WILL BE SELF CLEANING BETWEEN ALL INLET AND/OR OUTLET PIPES.
4. THE ENDS OF ALL PIPES INSTALLED IN INLETS SHALL BE CUT OFF FLUSH WITH THE INSIDE FACE OF THE INLET WALL.
5. INLET FRAME AND COVER TO BE DEETER #2014, EJIW #1936 Z4, OR APPROVED EQUAL, SEE SW-303.
6. CONTRACTOR SHALL REMOVE LIFTING HOOKS AFTER INSTALLATION. RECESSES IN INLET WALL SHALL BE GROUTED FLUSH TO THE INLET WALL WITH HYDRAULIC CEMENT AFTER THE INLET IS IN PLACE. LIFTING HOLES THRU THE INLET WALL WILL NOT BE ACCEPTED.

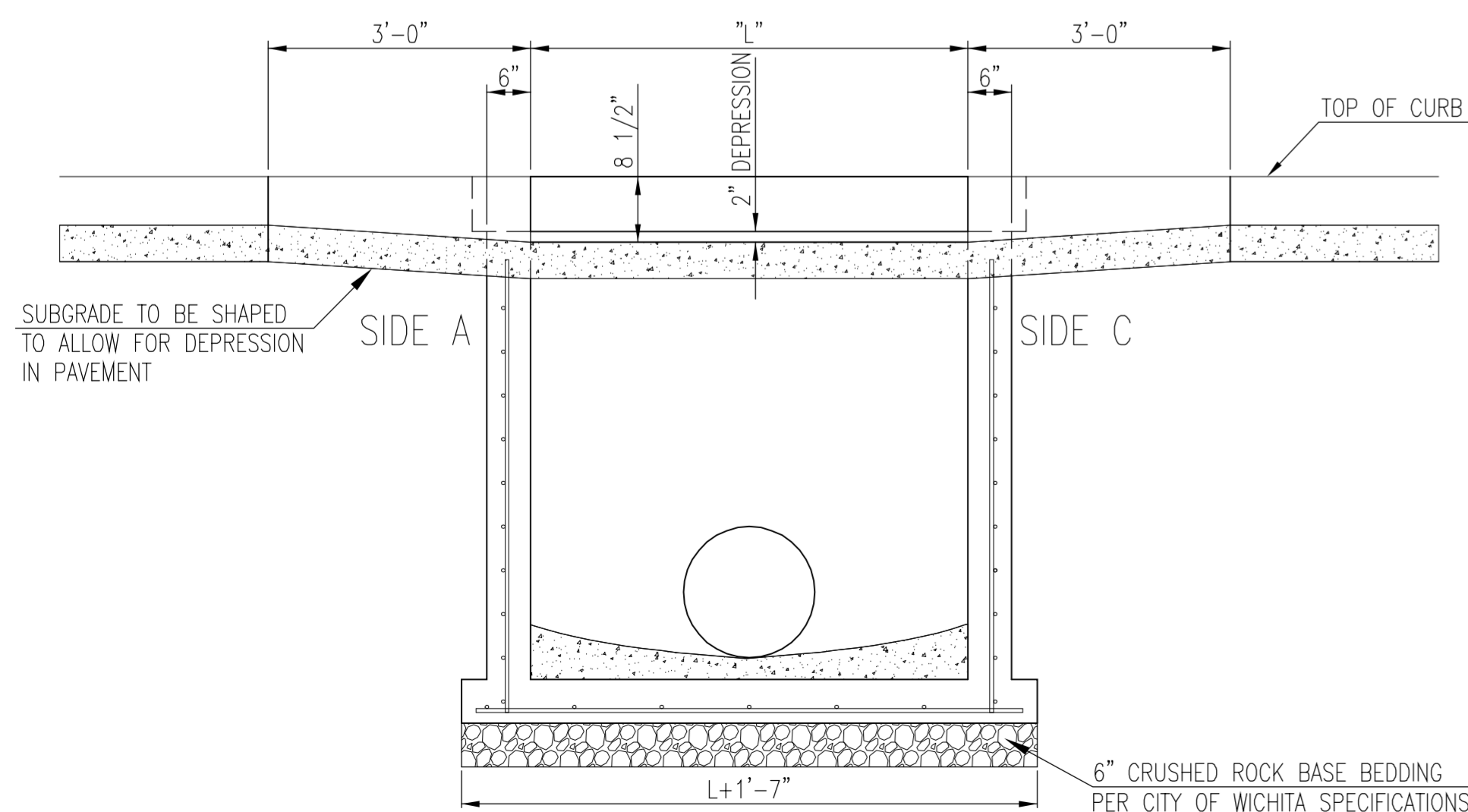
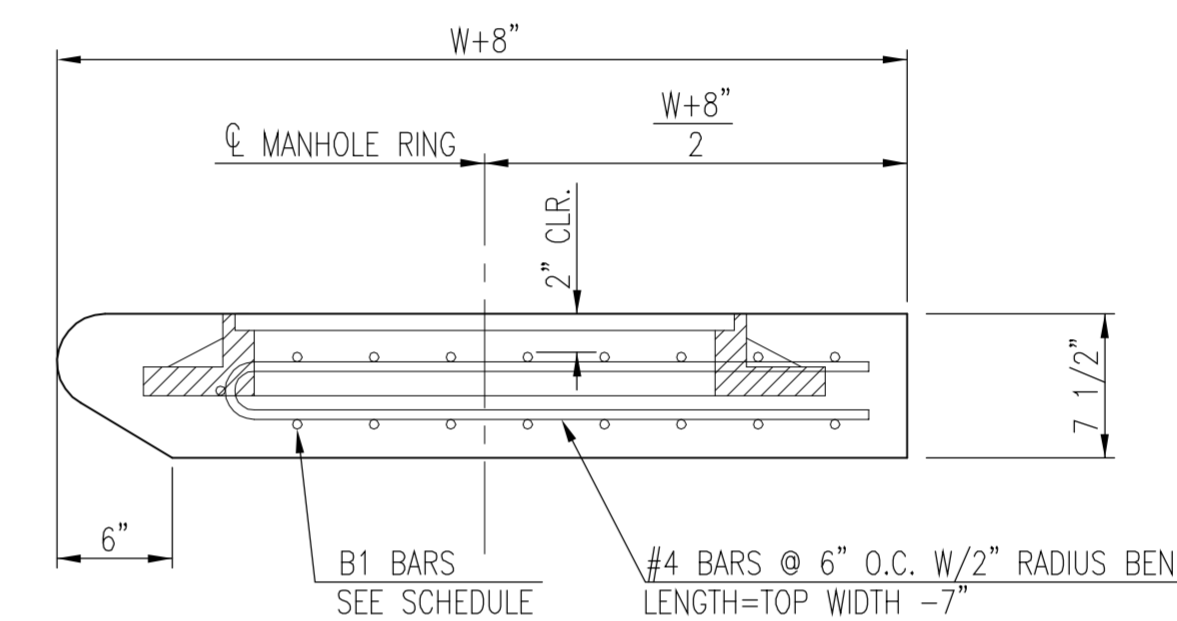


SECTION "A-A"

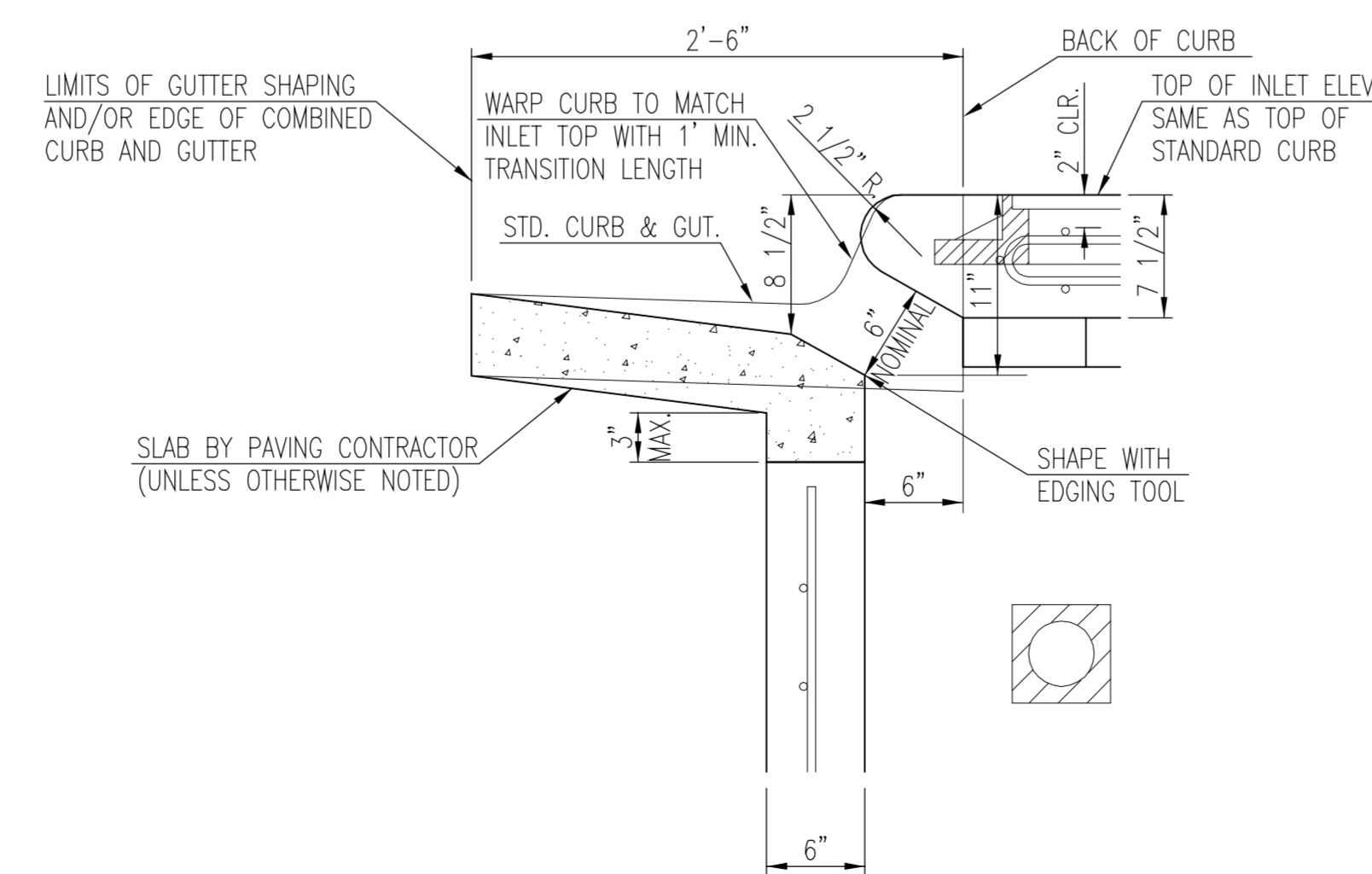


SECTION "C-C"

NOTES:
 * SLOPE OF INLET TOP TO MATCH SIDEWALK OR PARKING SLOPES WITHIN LIMITS INDICATED.



SECTION "B-B"



SECTION "D-D"



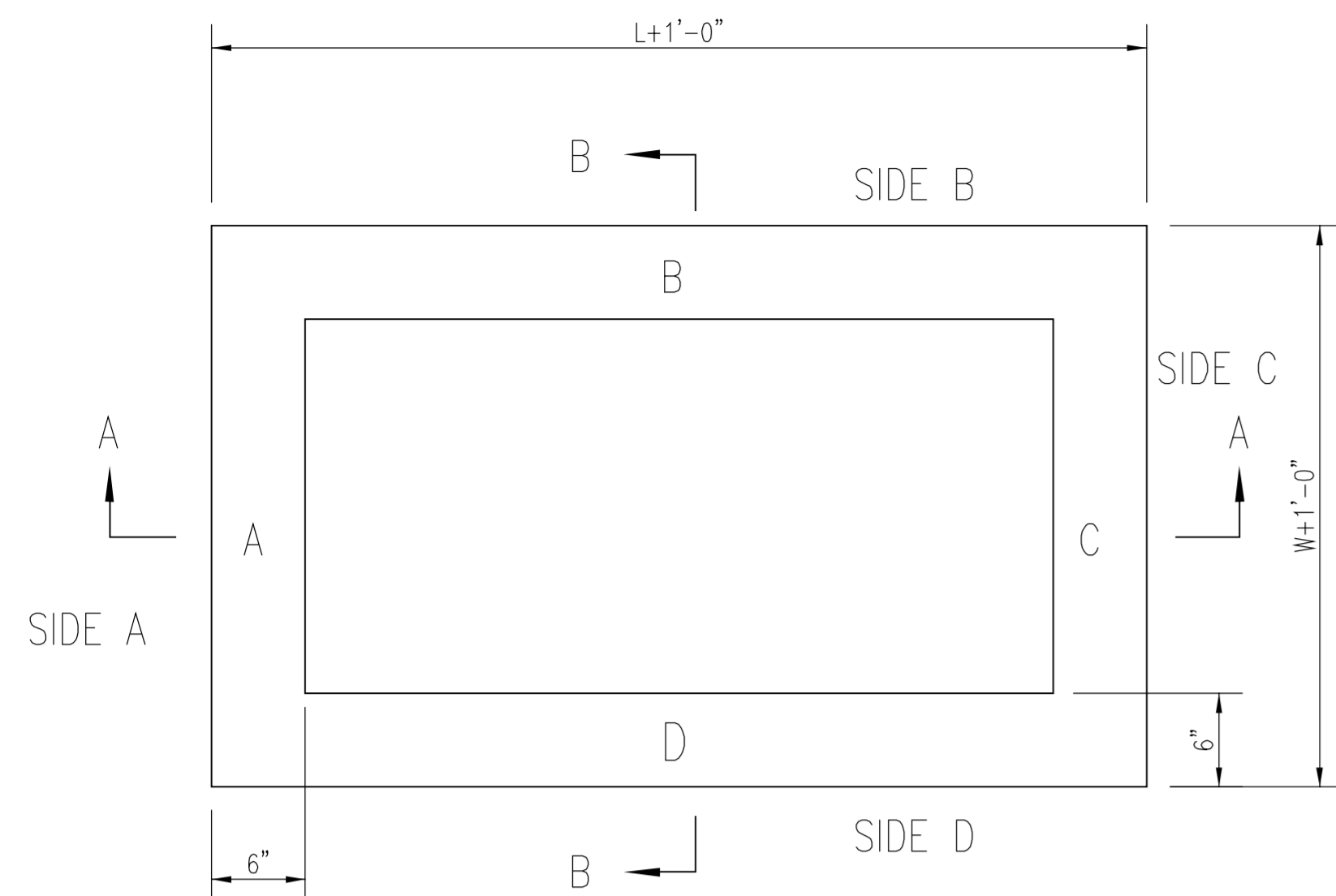
STANDARD TYPE 1 CURB INLET
5'-0" OR 10'-0" OPENING

CITY ENGINEER
Gary Janzen, P.E.

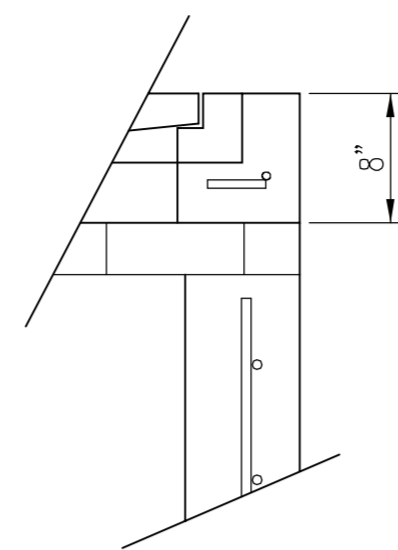
PROJECT NUMBER 202 PPD	OCA NUMBER 607861	DATE 4/2012
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CITY ENGINEER'S OFFICE
 CITY HALL - SEVENTH FLOOR
 455 NORTH MAIN STREET
 WICHITA, KANSAS 67202-1620
 (316) 268-4501

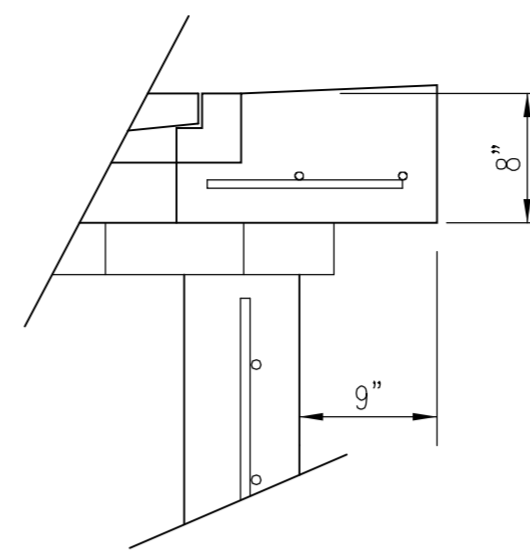
DESIGN Staff	DRAWN Staff
SHEET 5 of 9	



TOP VIEW

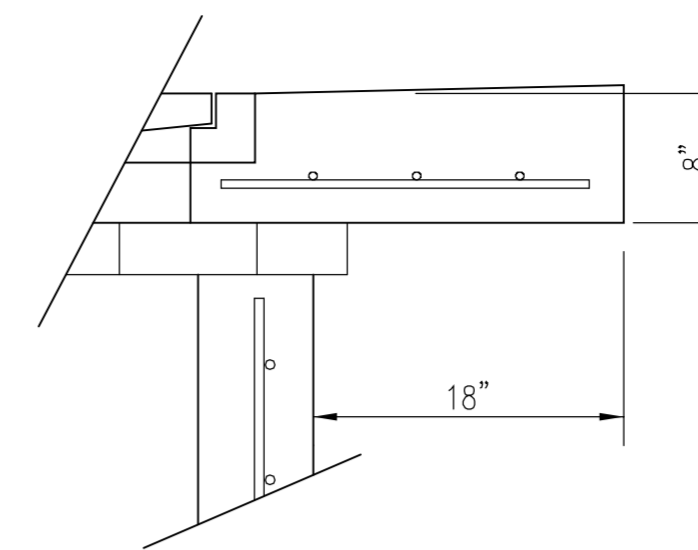


FLUSH STYLE TOP
NO APRON



9" APRON

* APRON TO EXTEND ON ALL 4 SIDES OF INLET.
DESIGNER TO DESIGNATE APRON SIZE.



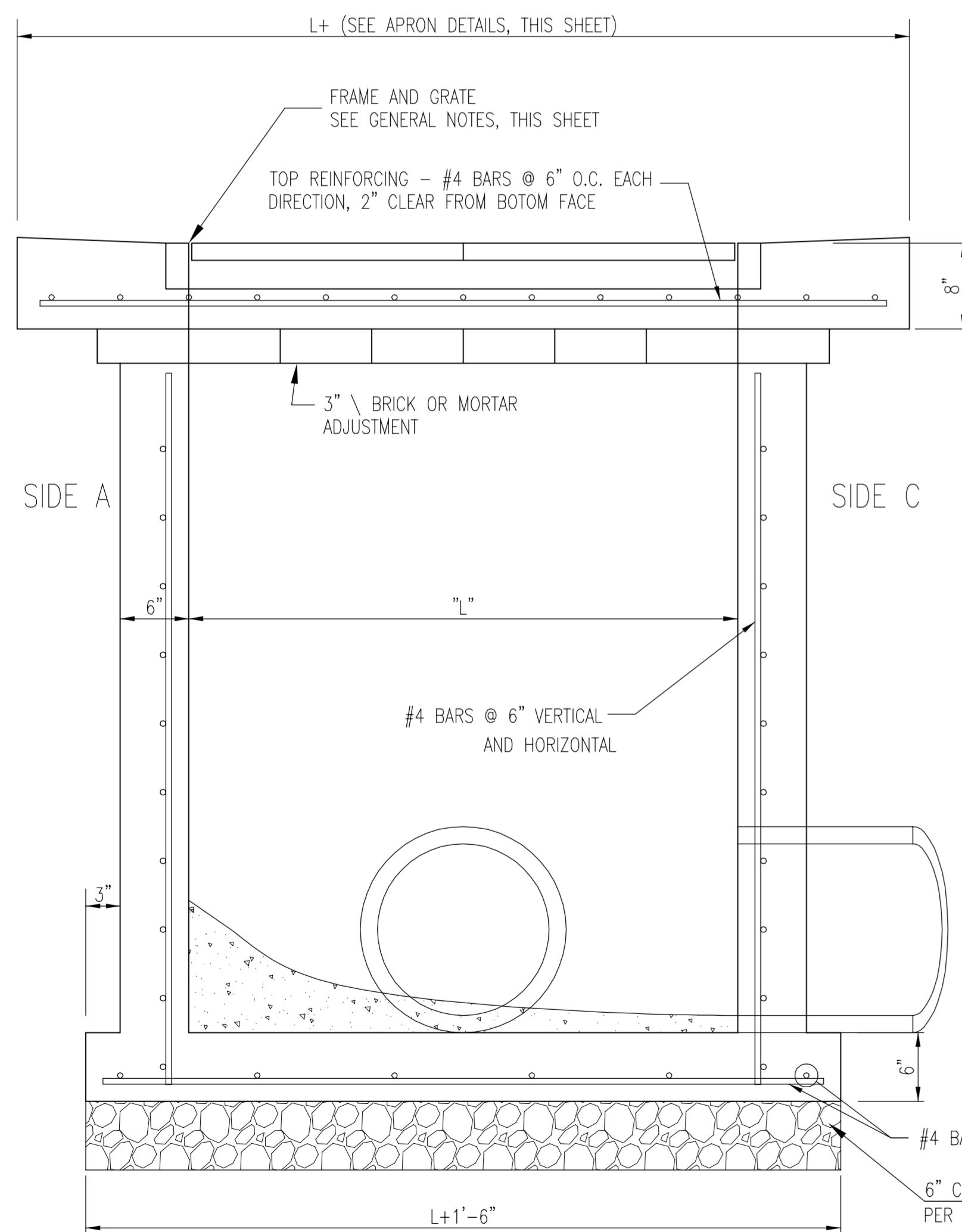
18" APRON

W=2' and L=2' for SINGLE DROP INLET
W=2' and L=4' for DOUBLE DROP INLET

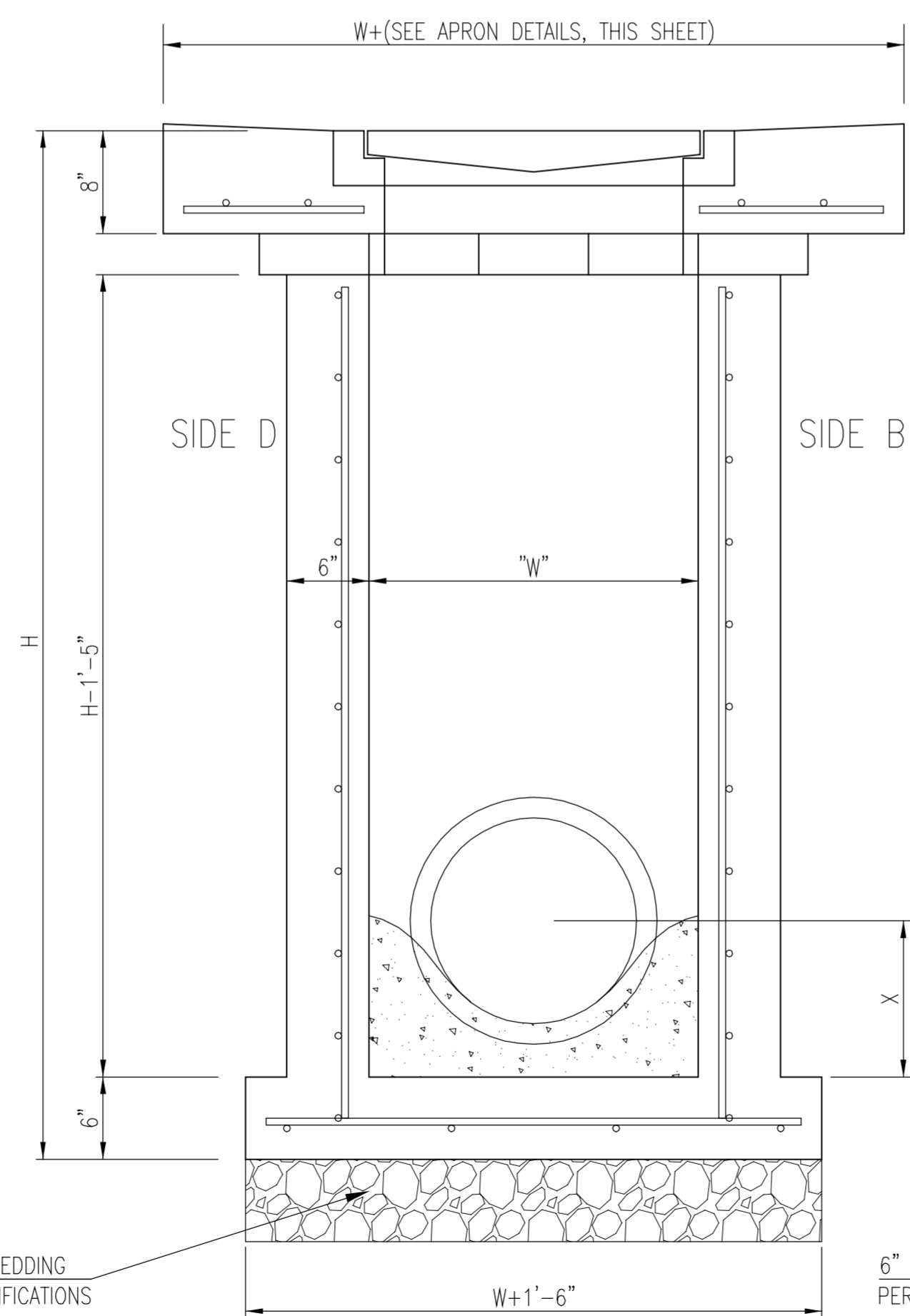
The structure(s) on this detail sheet are designed for HS-20 loading at these specific dimensions only. If larger dimensions are required, the ENGINEER shall provide a project specific structure design for approval by the City Engineer's office.

GENERAL NOTES

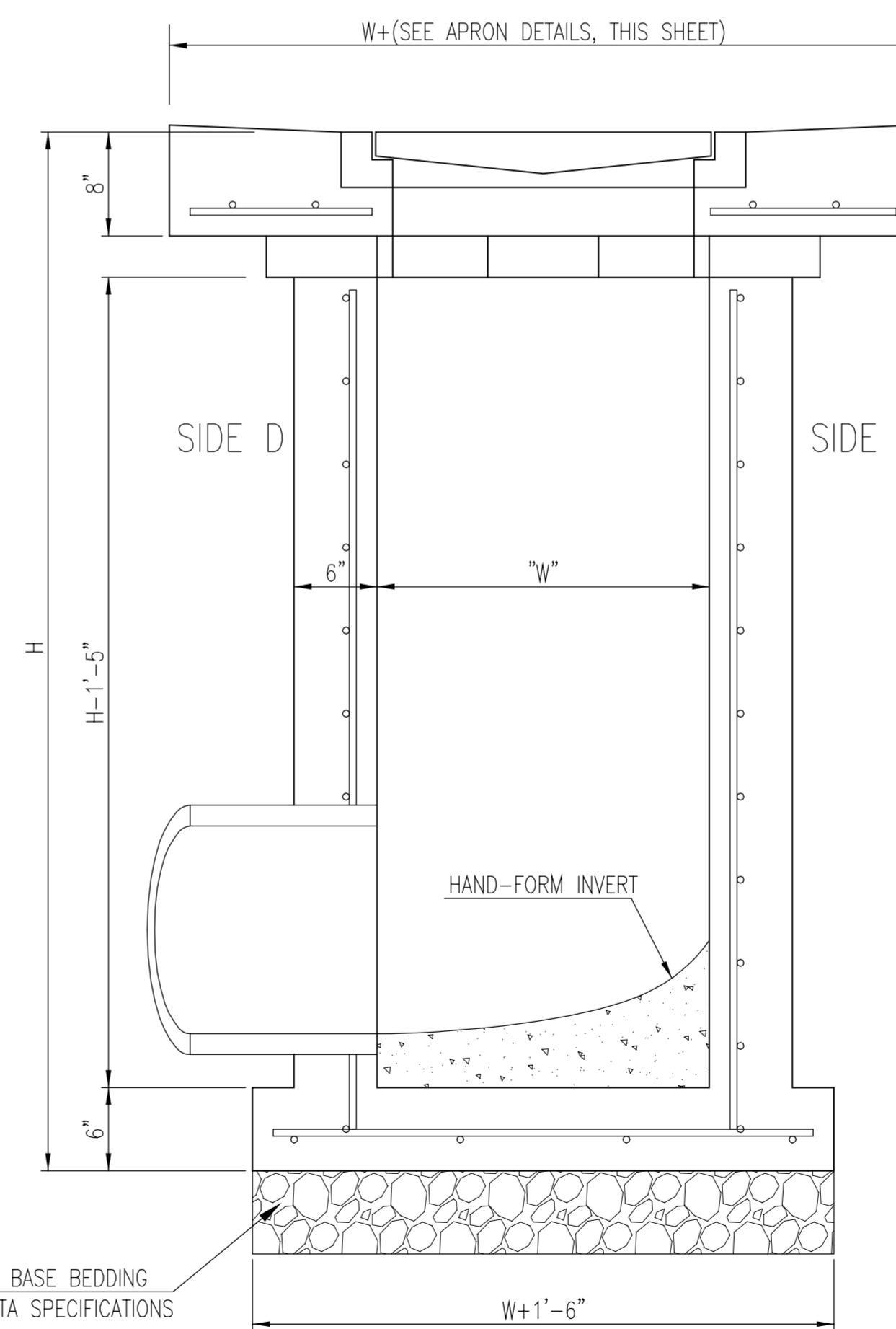
1. GRATE FRAME TO BE INSTALLED ON THIN MORTAR CUSHION TO INSURE FULL SUPPORT ALONG BRICK. CONCRETE USED FOR INLET CONSTRUCTION SHALL CONFORM TO CITY OF WICHITA SPECIFICATIONS FOR CONCRETE PAVEMENT MIX.
2. INLET INVERT SHALL BE SHAPED WITH 8 SACK SAND MIX CONCRETE TO CREATE FLOW CHANNELS AND TO INCREASE HYDRAULIC EFFICIENCY SUCH THAT THE INLET WILL BE SELF CLEANING BETWEEN ALL INLET AND/OR OUTLET PIPES.
3. THE ENDS OF ALL PIPES INSTALLED IN INLETS SHALL BE CUT OFF FLUSH WITH THE INSIDE FACE OF THE INLET WALL.
4. INLET FRAME AND GRATE TO BE DEETER #2433, EJIW #5391-Z1 OR APPROVED EQUAL FOR 2'x2' SINGLE DROP INLET AND DEETER #2434, EJIW #5391 Z3 OR APPROVED EQUAL FOR 2'x4' DOUBLE DROP INLET.
5. CONTRACTOR SHALL REMOVE LIFTING HOOKS AFTER INSTALLATION. RECESSES IN INLET WALL SHALL BE GROUTED FLUSH TO THE INLET WALL WITH HYDRAULIC CEMENT AFTER THE INLET IS IN PLACE. LIFTING HOLES THRU THE INLET WALL WILL NOT BE ACCEPTED.



SECTION "A-A"



SECTION "B-B"
END OUTLET



SECTION "B-B"
SIDE OUTLET



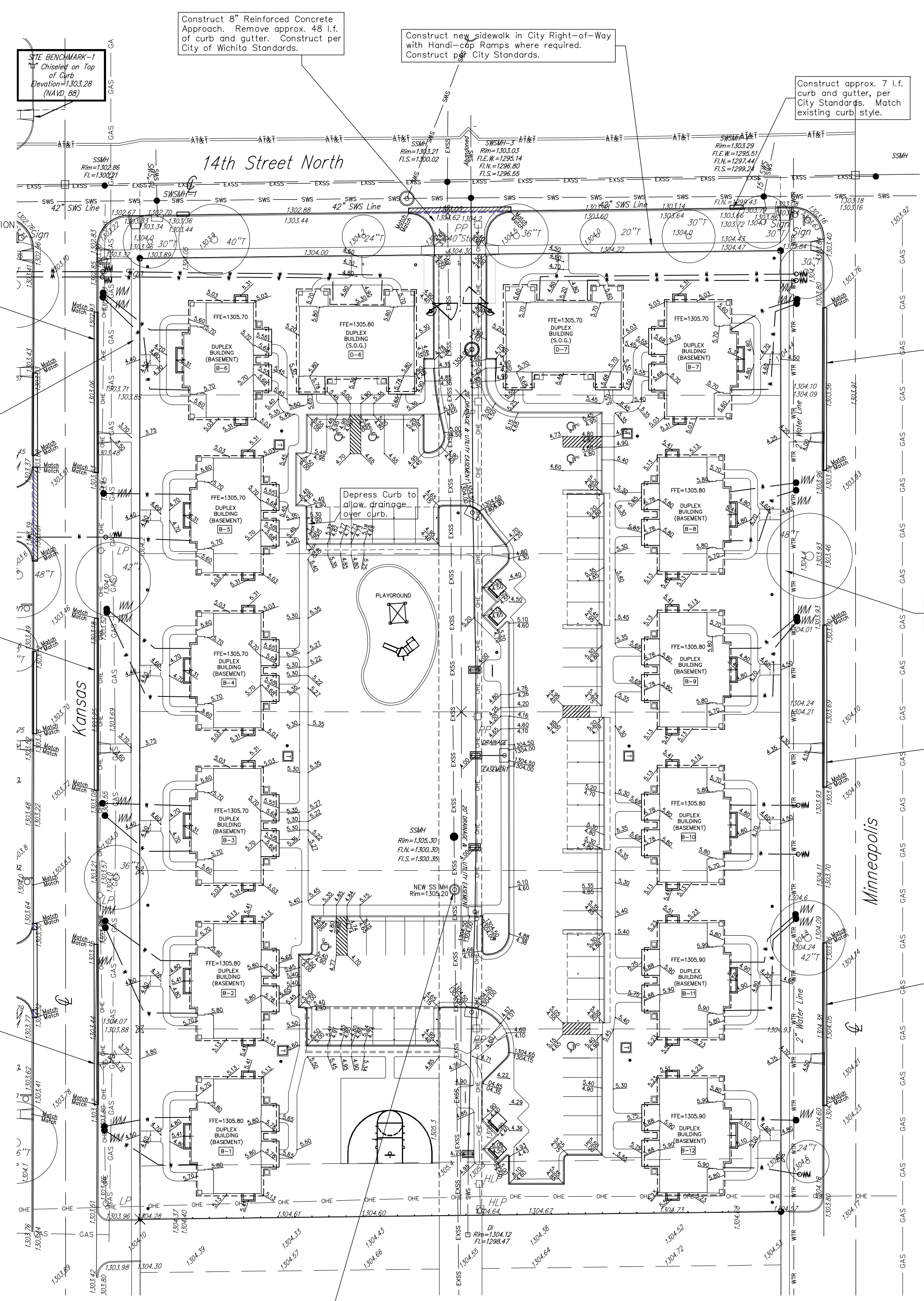
SINGLE/DOUBLE
DROP INLET

CITY ENGINEER
Gary Janzen, P.E.

PROJECT NUMBER 202 PPD	OCA NUMBER 607861	DATE 4/2012
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CITY ENGINEER'S OFFICE CITY HALL - SEVENTH FLOOR 455 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501	DESIGN Staff	DRAWN Staff
SHEET 6 of 9		

REVISED 05/10/2011 - GJ



BENCHMARK

SITE BENCHMARK-1 Chiseled on Top of Curb, NW corner of 14th St. N and Kansas Ave. Elevation=1303.28 (NAVD 88)

SITE BENCHMARK-2 Chiseled on Top of Curb, SW corner of 15th St. N and Minneapolis Ave. Elevation=1304.53 (NAVD 88)

LEGAL DESCRIPTION

Lot 1, Block A, Lot 1 Block B, Lot 1, Block C, French Quarter 2nd Addition, an addition to Wichita Sedgwick County, Kansas.

GRADING NOTES

- Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
- The Contractor must notify the following in case of an emergency:
 Kansas Gas Service (Gas).....1-888-482-4950
 Aquila Energy (Gas).....1-800-363-0357
 Westar Energy (Electric).....383-8650
 Cox Communications (Cablevision).....262-4270
 AT&T (Phone).....268-2759
 City of Wichita Water Dept. (Water).....268-4563
 or 268-4908
 or 268-4024
 City of Wichita Sewer Maint.(San. Sewer).....268-6000
 or 262-6000
 City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4030
 City of Wich Traffic Maint.(Traf. Control).....268-4034
 or 268-4203
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Refer to Landscape Plans and Specifications for Treatment of All Disturbed Areas.
- Signaling and striping shall be installed Per Approved Specifications.
- Paved Lot to be constructed Per Approved Specifications.
- The Contractor shall notify adjacent landowners prior to proceeding with any construction work on landowner's property.
- Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%). Notify Engineer of any discrepancies prior to forming of walks.

DATE DRAWN
01-14-13
REVISIONS

PRINTS ISSUED
OWNER REVIEW 01-30-12
PLAN SUBMISSION 01-18-13
OWNER REVIEW 06-07-13
OWNER REVIEW 06-13-13
OWNER REVIEW 06-24-13
FOR PRICING 07-09-13

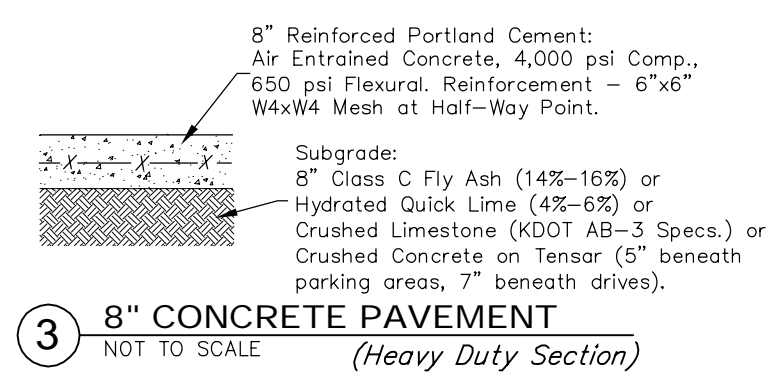
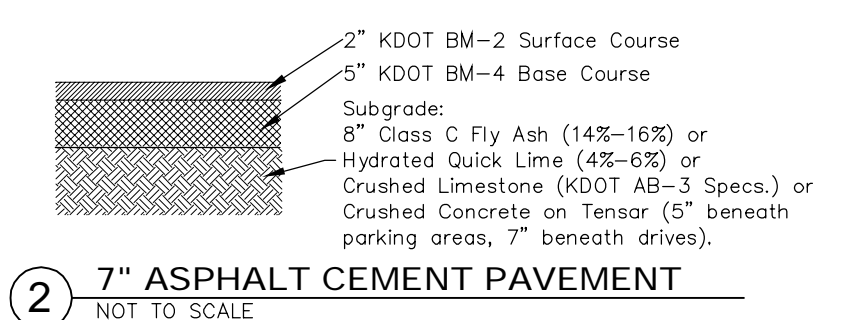
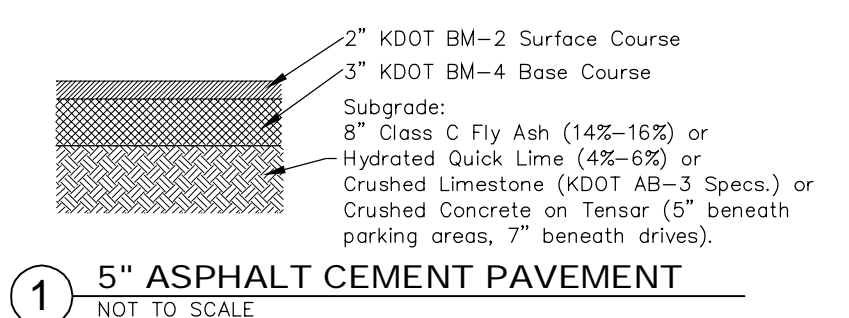
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DATE

FRENCH QUARTER PHASE II
A Mennonite Housing Project
Kansas and Minneapolis Streets
Wichita, Kansas

Regrade All disturbed areas to Match existing and New Construction. Reseed All Disturbed Areas per Landscape Plan.

For Parking Lot pavement depths, material and details, details of walks and ramps, etc., refer to Architectural Sheets

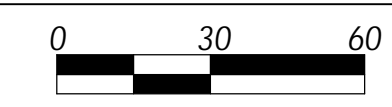


CONCRETE JOINT NOTES

- Pavement Joints to be placed on a 10' x 10' (maximum) grid spacing. Maintain a 1V:1H spacing as best as possible, with a 1:1.2 spacing allowed (maximum).
- If a Construction Joint turns into a Construction Joint, the same Smooth Dowel Bars are to be used. Bars shall be drilled in instead of a basket.
- Welded Wire Fabric is the only reinforcing allowed for the concrete (besides reinforcing bars).
- Curb and Gutter and pavement shall be doweled together with #4 x 2'-0" bars @ 24" O.C.

If Soils Report is prepared for this project, adjust subgrade and pavement sections per Site Soils Report.

SITE GRADING PLAN



Scale 1" = 30'-0"



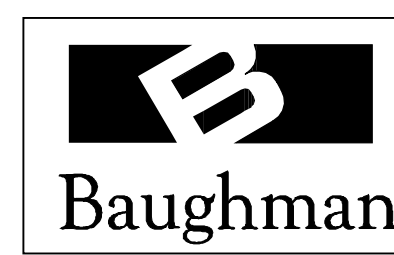
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PROJECT NO.
12005
SHEET TITLE
PARTIAL GRADING PLAN - PHASE II

SHEET NO.
C1.3

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For Reference Only
See Civil Siteplan
Sht. 7 of 9
Not To Scale



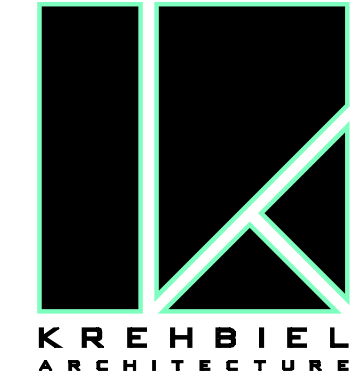
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EROSION CONTROL NOTES

- No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #10).
- All exposed areas shall be seeded and mulched as specified within 14 days of final GRADING per Landscape Plans and Specifications.
- Should construction stop for longer than 14 days, the site shall be seeded and mulched per Landscape Plans and Specifications.
- Maintain erosion control measures after each rain and at least once a week.
- This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
- Contractor shall comply with all state and local ordinances that apply.
- Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
- Land disturbing activities shall not commence until approval has so has been received by governing authorities.
- This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
- ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
- An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.
- Erosion Control Notes shall be applicable to Demolition and General Contractor. If separate contracts, then first on site shall establish Erosion Control per Erosion Control Plan, with following Contractor taking over once they are on site.

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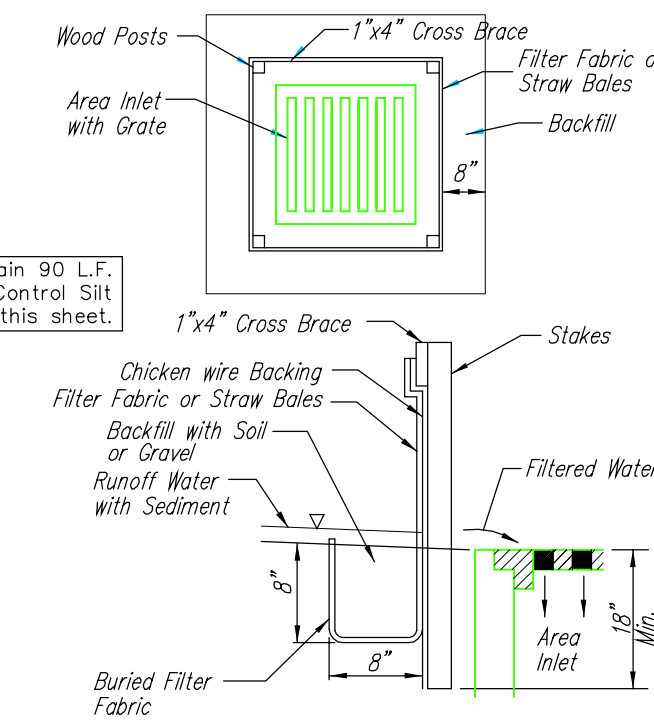
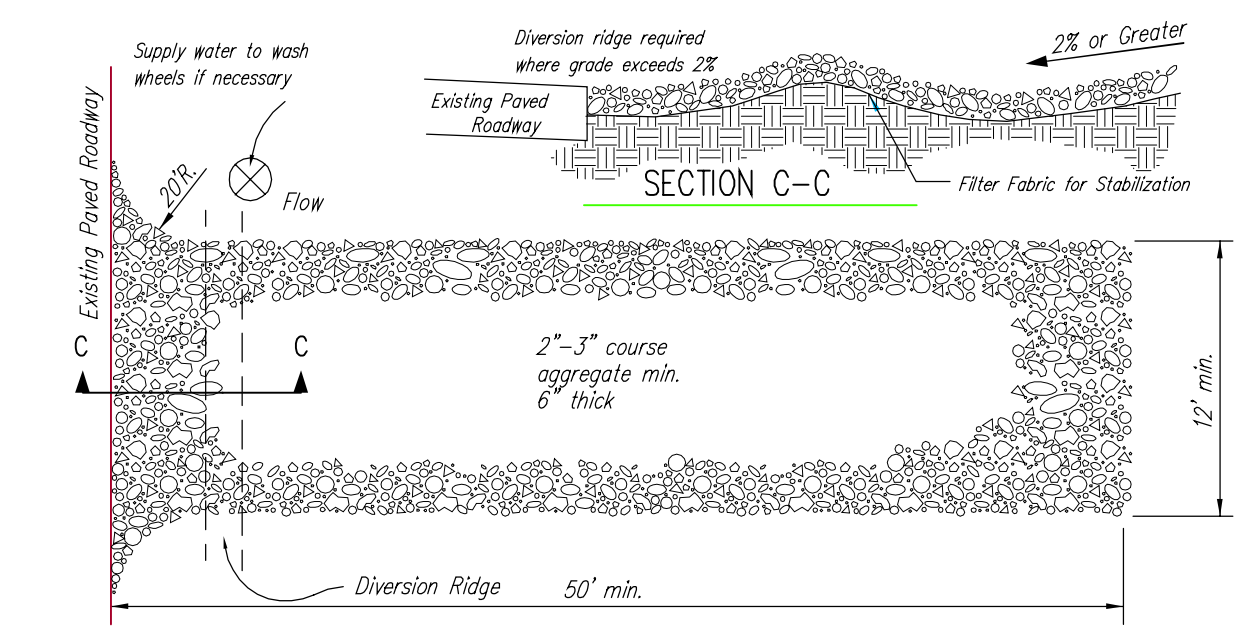
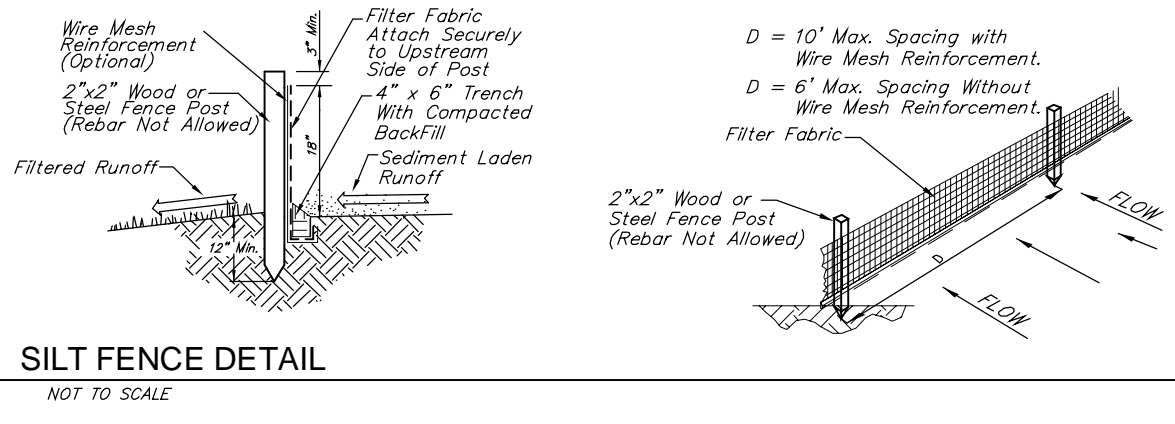
FRENCH QUARTER PHASE II
A Mennonite Housing Project
Kansas and Minneapolis Streets
Wichita, Kansas

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Sht. 8 of 9
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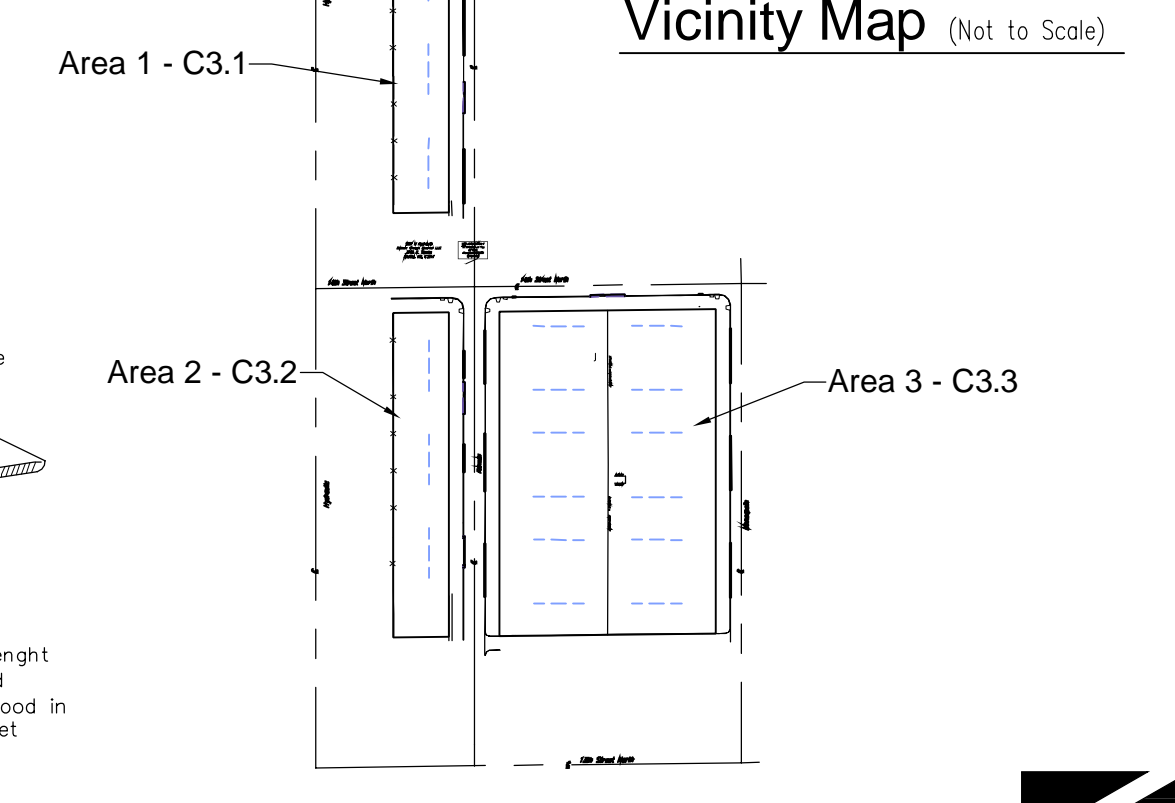
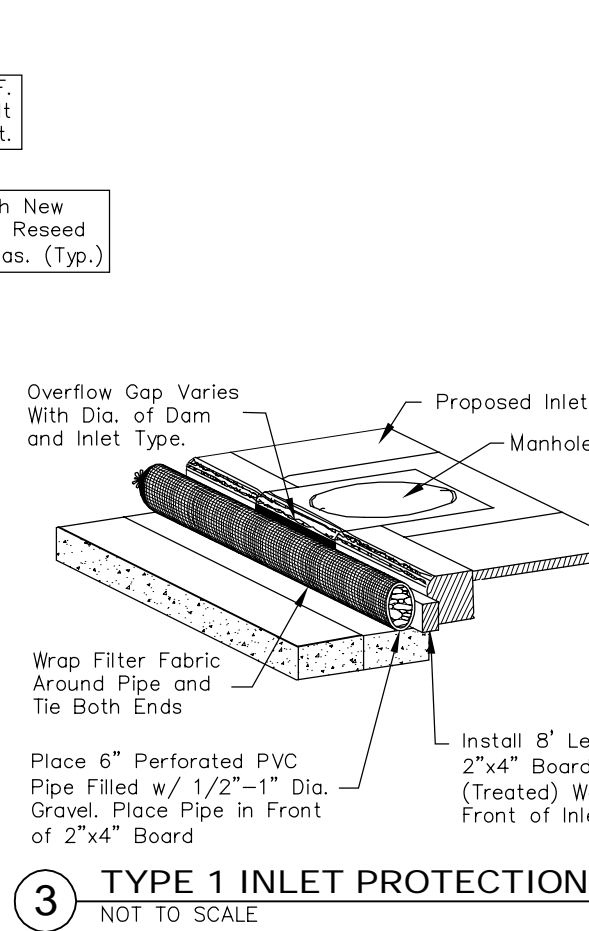


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PROJECT NO.
12005
SHEET TITLE
PARTIAL EROSION CONTROL
PLAN - PHASE II
SHEET NO.
C3.3
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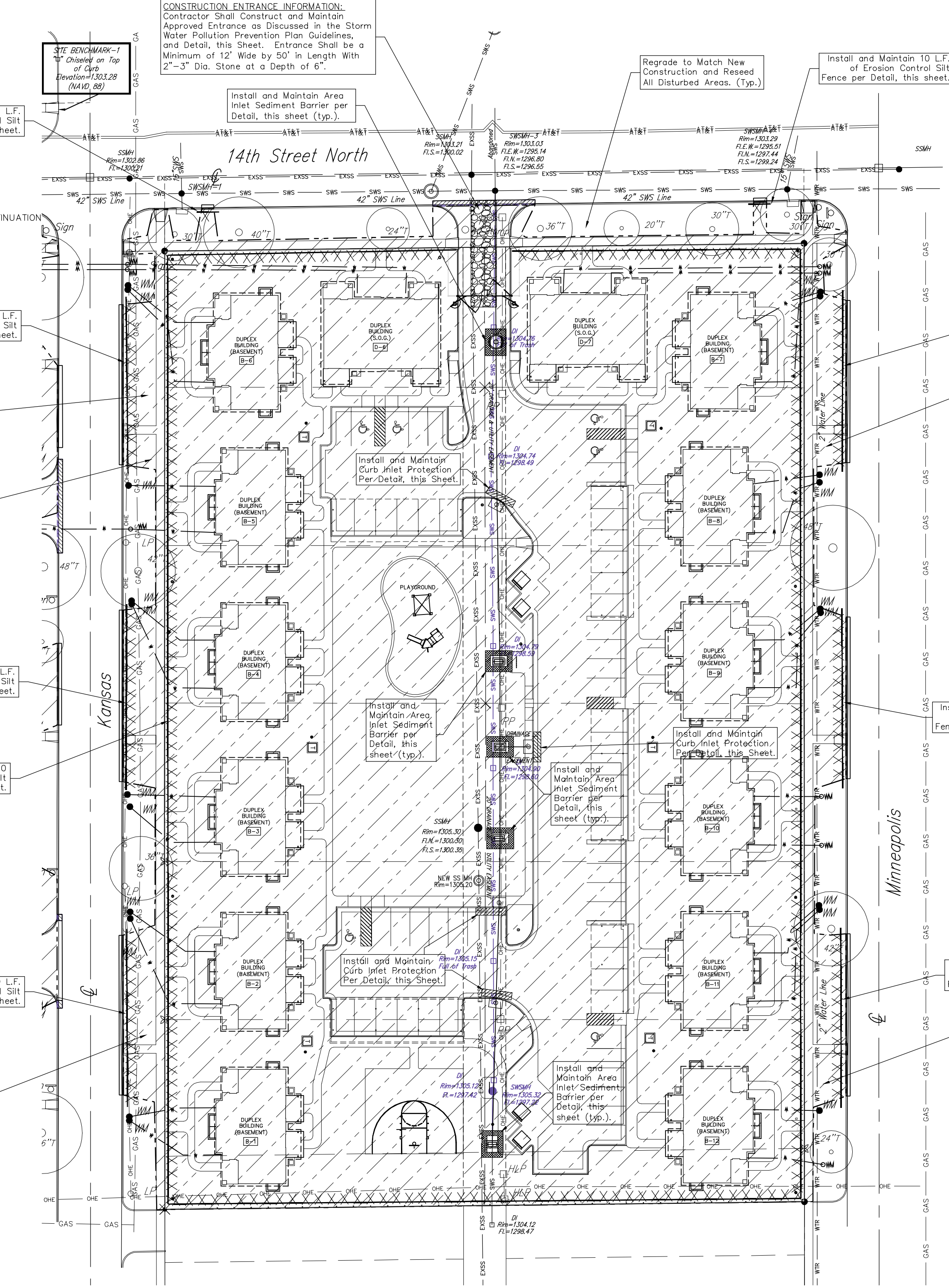
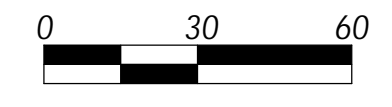
3 TYPE 1 INLET PROTECTION
NOT TO SCALE



EROSION CONTROL LEGEND

- XXXXXX = Silt Fence
- ▨ = Curb Inlet Sediment Barrier
- = Area Inlet Sediment Barrier

SITE EROSION CONTROL PLAN



(Water Quality Unit Located in this Area)
SITE INFORMATION - Area 3

Area 3 - 14th, between Kansas Avenue and Minneapolis
Total Area: ±134,964.0 sq. ft. (3.10 acres)
Disturbed Area (Approx.): ±149,001 sq. ft. (3.42 acres)
Proposed Building Area: ±30,270.43 sq. ft.
Proposed Impervious Area: ±44,945.9 sq. ft. (1.03 acres)
Area 3 Impervious Area:
Proposed Impervious + Building: ±75,216.32 sq. ft. (1.73 acres)

(See Individual Areas for Individual Totals)
SITE INFORMATION - Total

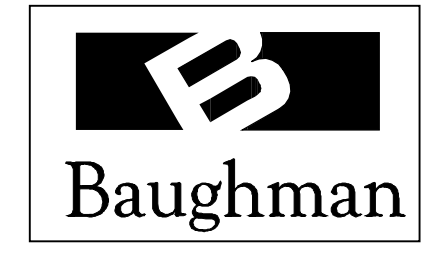
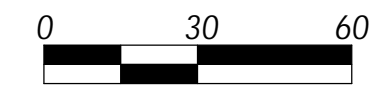
Total Area - Area 1 + Area 2 + Area 3
Total Area: ±209,916.4 sq. ft. (4.82 acres)
Disturbed Area (Approx.): ±238,401.5 sq. ft. (5.47 acres)
Proposed Building Area: ±43,341.95 sq. ft.
Proposed Impervious Area: ±64,204.6 sq. ft. (1.47 acres)
Total Area Impervious Area:
Proposed Impervious + Building: ±113,546.52 sq. ft. (2.61 acres)

REF. SHEET C3.2 FOR CONTINUATION

EROSION CONTROL LEGEND

- XXXXXX = Silt Fence
- ▨ = Curb Inlet Sediment Barrier
- = Area Inlet Sediment Barrier

SITE EROSION CONTROL PLAN



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