

STORMWATER DRAIN IMPROVEMENTS

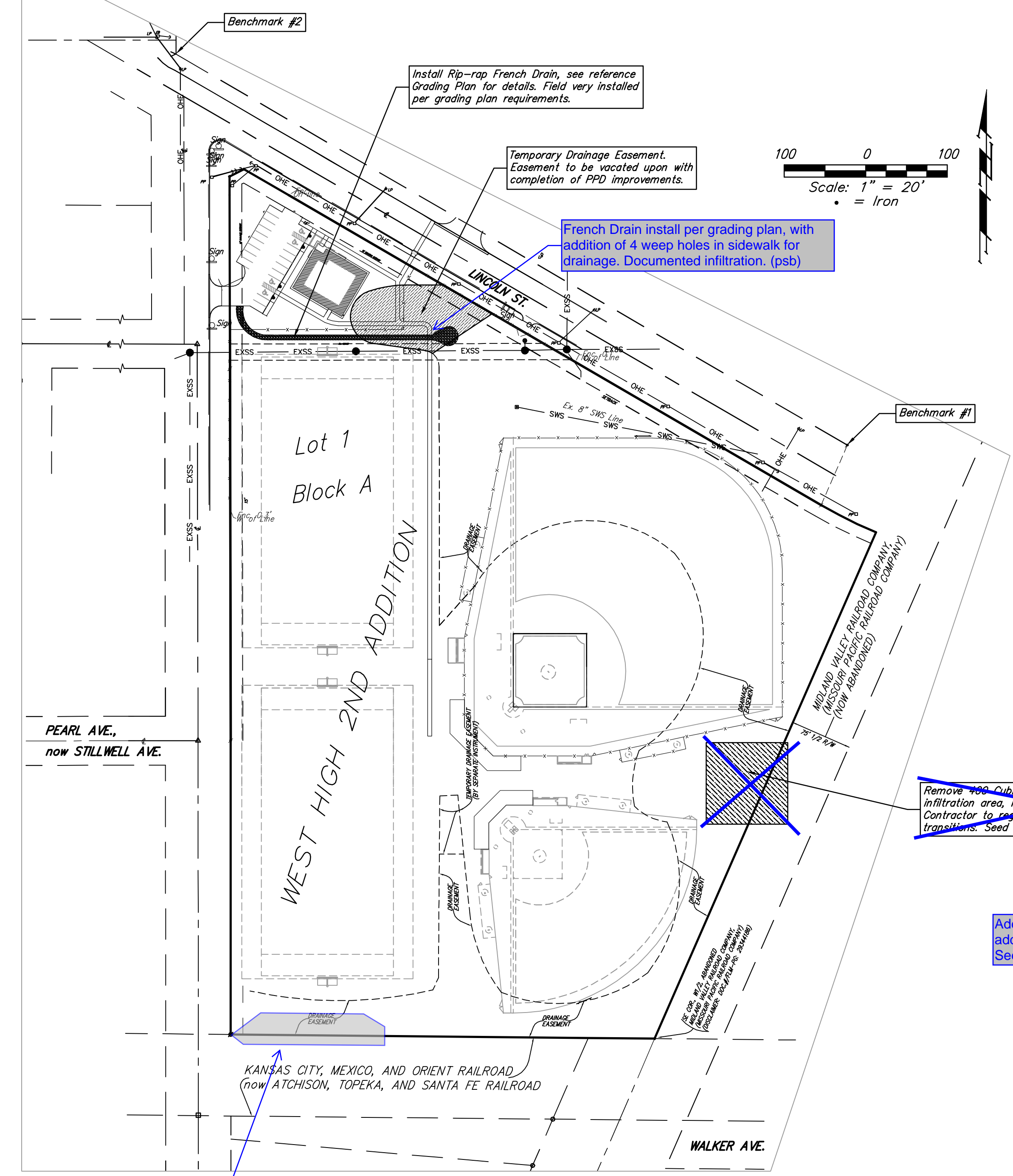
to serve

West High Second Addition

Lot 1, Block A, West High School 2nd Addition
Private Project Drainage: 0269 PPD (607861)
CITY OF WICHITA, KANSAS

Gary Janzen, P.E. City Engineer
October 2014

AS BUILT PLANS
Contractor: Walz Harman Huffman Construction
Inspector: Patrick Baer, Baughman Co.
pdf's by: Patrick Baer, Baughman Co.



SITE ERU INFO.

Total Lot Area:	634,623 sq. ft.
Existing Imperv. Area:	4850 sq. ft.
Added Imperv. Area:	16,914 sq. ft.
(Incl. building)	
Total Impervious Area:	21,764 sq. ft.
Pervious Area:	±612,859 sq. ft.

Benchmarks

Benchmark #1 - Chiseled Square on Top of Sidewalk Elevation=1293.95 (NAVD 88)
Benchmark #2 - "V" Chiseled on Top of Sidewalk Elevation=1294.00 (NAVD 88)

Sheet Index

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Plot	4

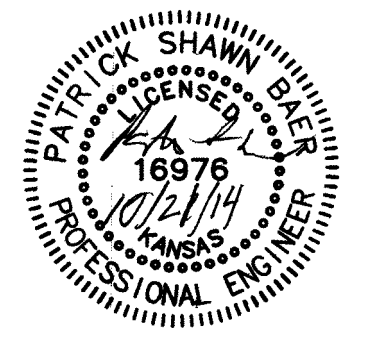
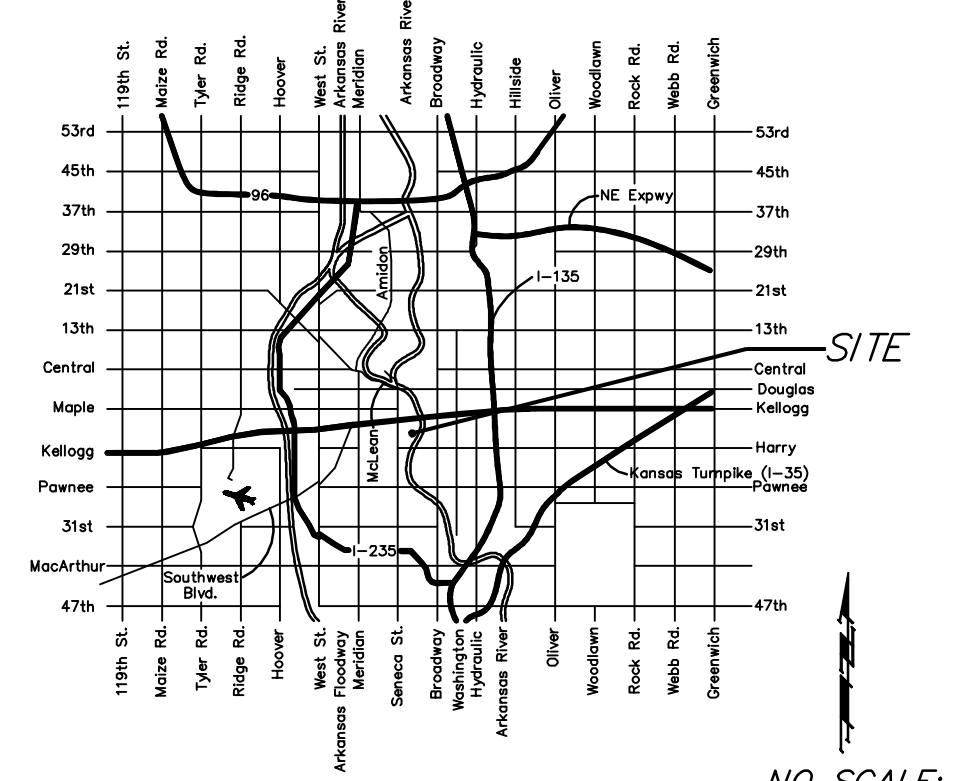
Standard structure and erosion control details are available at City of Wichita web site at <http://www.wichita.gov/Government-Department/PWU/StandardsConstruction>.

Legal Description

Lot 1, Block A, West High Second Addition, Wichita, Sedgwick County, Kansas.

GENERAL NOTES:

- Contractor will be required to provide notice to utility companies a minimum of forty-eight (48) hours prior to any excavation, as follows:
Kansas One-Call 687-2470
The Contractor must notify the following in case of an emergency:
Cox Communications 262-4270
Kansas Gas Service 1-888-482-4950
Westar Energy 383-8650
Black Hills Energy (Gas) 1-800-303-0357
ATT 268-2245
City of Wichita Water Dept. 268-4563
City of Wichita Sewer Maint. 268-4024
City of Wichita Storm Sewer Maint. 268-4090
City of Wichita Traffic Maint. 268-4034
- Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- All disturbed R/W areas not intended for pavement or sidewalk construction shall be seeded with Kansas Premium Fescue Blend at a rate of 8 lb./1000 Sq. Ft., fertilized with a 16-20-6 ratio at a rate of 4 lb./1000 Sq. Ft., and mulched with Prairie Hay at a rate of 92 lb./1000 Sq. Ft. Mulch shall be "patted" with forks or punched into soil to reduce loss due to wind.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- Contractor shall furnish the inspector with a copy of the manufacturer's certification for any pipe used on this project after completion of pipe installation. The engineer will not certify the project to the city until pipe certification has been received.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- All sewer lines and appurtenances shall be installed in accordance with the most recent edition of City of Wichita, Kansas Standard Specifications for the Construction of City Projects.
- Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Contractor shall not start on the project until all necessary bonds and permits have been obtained. Bonds may include but are not limited to Statutory, Performance & Maintenance. Any work done without inspection will be required to be uncovered for inspection.
- Stormsewer Rip-rap french Drain, will be a private system. Maintenance and inspection will be the owners responsibility, see the O&M manual developed for this system.



APPROVED AS NOTED
BY CITY ENGINEER OF WICHITA

Engineering Rebecca Duil 11/13/14
Stormwater Jim Hartley 11/13/14

NOTE TO CONTRACTORS

Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (an file and available in the City Engineer's Office).

Stormwater Narrative & Certification

This improvements were prepared in accordance with the current Storm Water Management Regulations as set forth in the City of Wichita's Storm Water Management Ordinance 16.32 and the policies/ guidelines presented in the Wichita/Sedgwick County Storm Water Manual.

Site Construction Area: 1.17 acres
WQv = 2,070 ft³

Downstream Channel Protection: The improvement, including the runoff from offsite area draining into site, will route to a infiltration Basin; constructed with the Athletic field improvements (See 0143PPD607861). The noted infiltration basin volume capacity was increased with the regrading of the site with the Athletic Fields.

Water Quality Requirements: Water Quality measures have been address with the use of the infiltration basin located on site, see 0143PPD607861.

Site Detention Requirements: The Infiltration Basin has been calculated to detain water to the 10year event. Larger rain events will drain via 2'x2' RCB located in Mclean Blvd. east of the basin. A prior history of water backing up in Osage Street has been seen before the athletic fields were constructed and are anticipated to happen with events exceeding the 10 year rain event. The improvement completed with 0143PPD607861 and these improvements have been calculated to be an improvement to the prior drainage improvements.

Removal of the Temporary Drainage Easement: A Temporary Drainage Easement has been recorded against Lot 1, Block A, West High 2nd Addition. The Temporary Drainage Easement will be vacated, subject to the removal of 400 cubic feet of additional soil in within the existing drainage easement, observed and documented a Private Project Drainage(PPD). The PPD is to be completed and adjoining these site improvement.

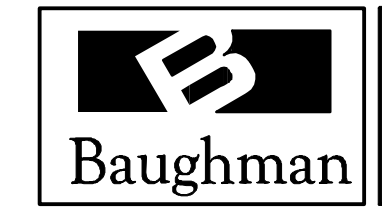
Verify Excavation:
Minimum 400 cubic yards of detention basin added along north side of channel. Dirt removed and distributed on higher ground adjacent to practice field. Field verified by Baughman survey staff on 12-16-15 with survey. Comparison to prior conditions by Patrick Baer.

NATIVE PRAIRIE SEEDING NOTES

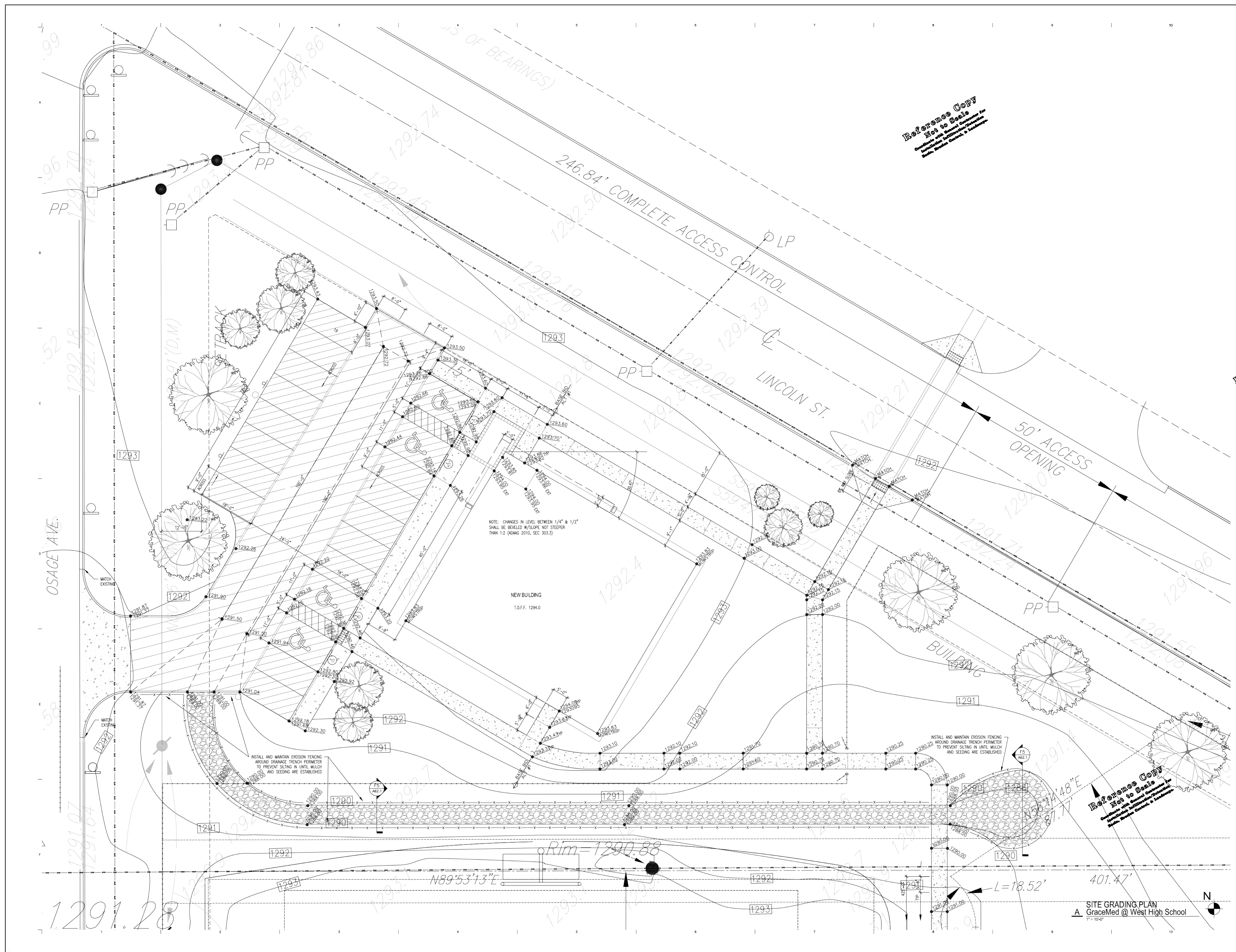
- All disturbed areas within the denoted seeding limits otherwise denoted as turf grass shall be seeded with Native Prairie Mix @ 20 PLS/ACRE. Refer to native seed mix schedule below.
- This area shall be fine graded and the surface shall be free from sticks, small stones, and other extraneous materials.
- Seeding areas shall be prepared for planting with common agricultural techniques. (I.E. soil shall be prepared before planting with proper equipment.
- All seed shall be distributed with an acceptable drill intended for such operation or oth equipment approved by the engineer. Seeding Depth shall be 1/4".
- All disturbed areas shall be immediately mulched with prairie hay at 2 tons/acre. Anchor mulch by crimping into topsoil with suitable mechanical equipment.

% MIX	COMMON NAME	BOTANICAL NAME
35%	Kaw Big Bluestem	Andropogon gerardii 'Kaw'
25%	Cimarron Little Bluestem	Andropogon Schoparius 'Aldous'
20%	Cheyenne Indiangrass	Sorghastrum nutans 'Cheyenne'
10%	Blackwell Switchgrass	Panicum virgatum 'Blackwell'
10%	El Reno Side Oats Grama	Bouteloua curtipendula 'El Reno'

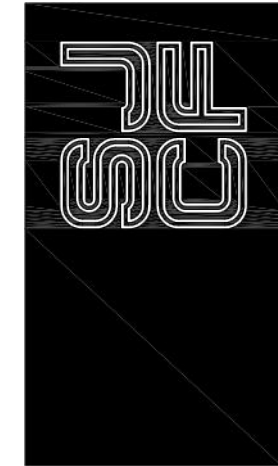
SEED 20 PLS (pure live seed) POUNDS PER ACRE
* Mix is available through Sharp Bros. Seed Company Inc., 1-800-462-8483
(Provide seed mix tickets to Landscape Architect Prior to commencement of seeding.)



Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE



Reference Copy
Not to Scale
Consult with Engineer/Architect for
Complete and Accurate Information for
Construction, Material, and Methods.



SCHAEPFER JOHNSON COX FREY ARCHITECTURE
Empire Center
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F: 316.262.0149
www.sjcf.com
schaefer@sjcf.com

Reference Copy

MIDWEST ENGINEERING INC.
MECHANICAL ENGINEERING
BAUGHMAN COMPANY
ELECTRICAL ENGINEERS
JOHNSON ENGINEERING
ELECTRICAL ENGINEERS
DUDLEY WILLIAMS & ASSOC.
STRUCTURAL ENGINEERS

GraceMed Clinic @ West High School
WICHITA UNIFIED SCHOOL DISTRICT 259
@ PRACTICE SPORTS FIELDS
BID NO. 15-25-1008
785 W. Lincoln
Wichita, Kansas 67213

Revisions

▲	
▲	
▲	
▲	
▲	

Project Number
S/JCF 5087.03
REV. NO. 15-25-1008

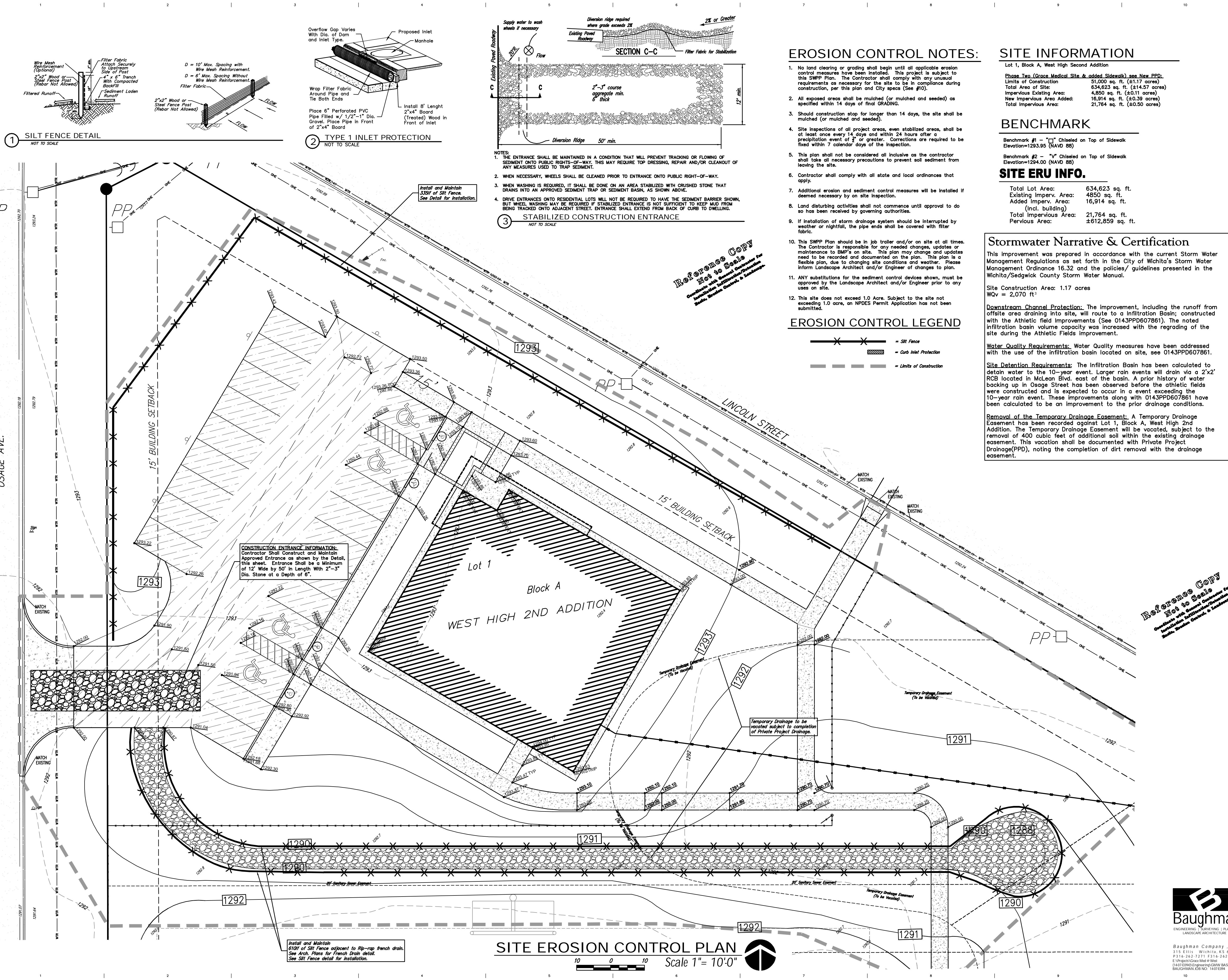
Date
25 SEPT 2014

SITE GRADING PLAN
1" = 10' - 0"
C22.1

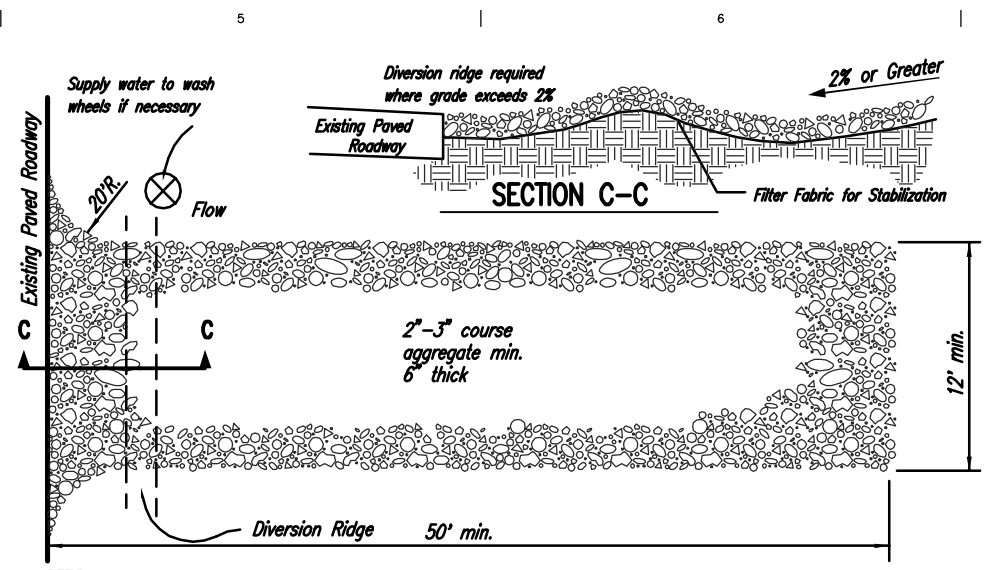
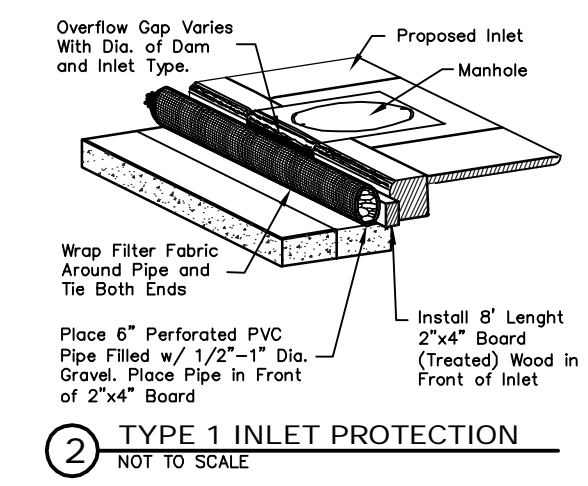
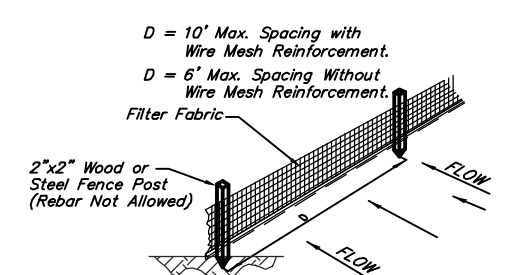
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315 E.H.S.1, Wichita, KS 67211 P: 316.262.0171 F: 316.262.0149
ARCHITECTURE | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE
Baughman
Lot 1, Bk. A, West High 2nd Addition
Reference Grading Plan
Storm Water Drain Improvements

Lot 1, Bk. A, West High 2nd Addition
Reference Grading Plan
Storm Water Drain Improvements



1 SILT FENCE DETAIL
NOT TO SCALE

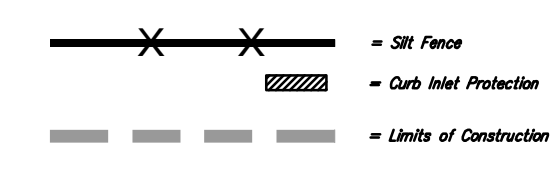


- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
 4. DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.
- 3 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

EROSION CONTROL NOTES:

1. No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and city specs (See #10).
2. All exposed areas shall be mulched (or mulched and seeded) as specified within 14 days of final GRADING.
3. Should construction stop for longer than 14 days, the site shall be mulched (or mulched and seeded).
4. Site inspections of all project areas, even stabilized areas, shall be at least once every 14 days and within 24 hours after a precipitation event of 1/2" or greater. Corrections are required to be fixed within 7 calendar days of the inspection.
5. This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
6. Contractor shall comply with all state and local ordinances that apply.
7. Additional erosion and sediment control measures will be installed if deemed necessary by an site inspection.
8. Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
9. If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
10. This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
11. ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
12. This site does not exceed 1.0 Acre. Subject to the site not exceeding 1.0 acre, an NPDES Permit Application has not been submitted.

EROSION CONTROL LEGEND



SITE INFORMATION

Lot 1, Block A, West High Second Addition
 Phase Two (Grass Medical Site & added Sidewalk) see New PFD.
 Limits of Construction 51,000 sq. ft. (1.17 acres)
 Total Area of Site 634,623 sq. ft. (14.57 acres)
 Impervious Existing Area 4,850 sq. ft. (0.11 acres)
 New Impervious Area Added 16,814 sq. ft. (0.39 acres)
 Total Impervious Area 21,764 sq. ft. (0.50 acres)

BENCHMARK

Benchmark #1 - "1" Chisled on Top of Sidewalk
 Elevation=1293.90 (NAVD 88)
 Benchmark #2 - "2" Chisled on Top of Sidewalk
 Elevation=1294.00 (NAVD 88)

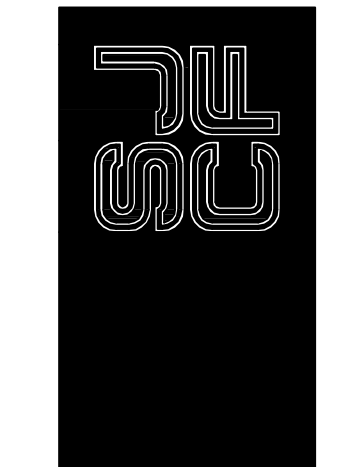
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 (incl. building)
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 Pervious Area: ±612,859 sq. ft.

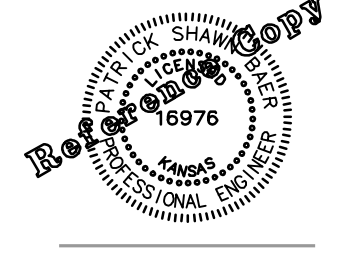
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Removal of the Temporary Drainage Easement: A Temporary Drainage Easement has been recorded against Lot 1, Block A, West High 2nd Addition. The Temporary Drainage Easement will be vacated, subject to the removal of 400 cubic feet of additional soil within the existing drainage easement. This vacation shall be documented with Private Project Drainage (PPD), noting the completion of dirt removal with the drainage easement.

SITE EROSION CONTROL PLAN
 Scale 1" = 10'-0"



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GraceMed Clinic @ West High School
 WICHITA UNIFIED SCHOOL DISTRICT 259
 @ PRACTICE SPORTS FIELDS
 BID NO. 14-25-1008
 7800 W. Lincoln
 Wichita, Kansas 67213

Project Number
 SJCF 5087.03
 Date
 10 JANUARY 2013
 EROSION CONTROL
 PLAN & DETAILS
 Varies
C22.0



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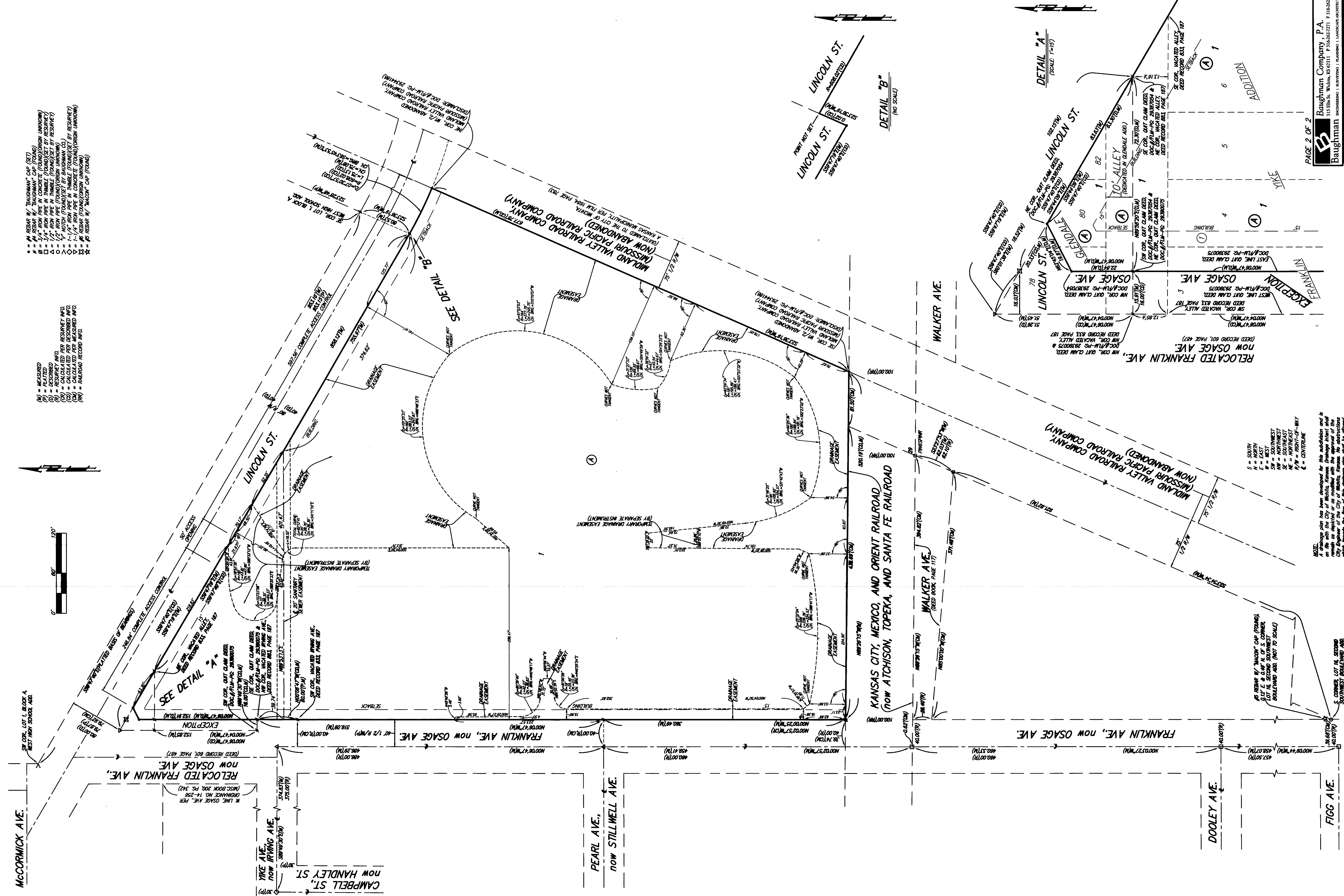
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 315 Elm St., Wichita, KS 67211 P: 316.262.2711 F: 316.262.0149
 1500 S. Broadway, Wichita, KS 67202 P: 316.262.2711 F: 316.262.0149
 1500 S. Broadway, Wichita, KS 67202 P: 316.262.2711 F: 316.262.0149

Lot 1, Blk. A, West High 2nd Addition
 Reference Erosion
 Control Plan & Details
 Storm Water Drain Improvements

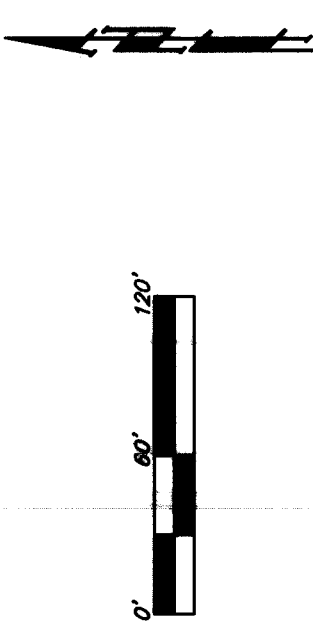
WEST HIGH SCHOOL 2ND ADDITION

WICHITA, SEDGWICK COUNTY, KANSAS

PC 246-1B



- (M) = MEASURED
- (D) = DERIVED
- (R) = RECONSTRUCTED
- (C) = CALCULATED
- (A) = ASSUMED
- (S) = SURVEYED
- (F) = FOUND
- (P) = PROPOSED
- (W) = WATERSHED
- (E) = EXISTING
- (N) = NEW
- (L) = LATERAL
- (T) = TRENCH
- (B) = BENCH MARK
- (I) = INTERSECTION
- (V) = VALVE
- (M) = MANHOLE
- (S) = SERVICE
- (C) = CURB
- (S) = SIDEWALK
- (D) = DRIVE
- (A) = ALLEY
- (R) = RAILROAD
- (L) = LOT
- (B) = BLOCK
- (S) = SECTION
- (P) = PLOT
- (A) = AREA
- (V) = VOLUME
- (W) = WEIGHT
- (L) = LENGTH
- (B) = BREADTH
- (H) = HEIGHT
- (D) = DEPTH
- (T) = THICKNESS
- (C) = CURVATURE
- (R) = RADIUS
- (D) = DIAMETER
- (C) = CIRCUMFERENCE
- (A) = AREA
- (V) = VOLUME
- (W) = WEIGHT
- (L) = LENGTH
- (B) = BREADTH
- (H) = HEIGHT
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- (R) = RADIUS
- (D) = DIAMETER
- (C) = CIRCUMFERENCE



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 Baughtman Engineering & Surveying, L.L.C. 1000 West 10th Street, Wichita, KS 67203
 PROJECT: WEST HIGH SCHOOL 2ND ADDITION, 1200 FRANKLIN AVENUE, WEST HIGH END, EDWARDS

PAGE 2 OF 2

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 Baughtman Engineering & Surveying, L.L.C. 1000 West 10th Street, Wichita, KS 67203
 PROJECT: WEST HIGH SCHOOL 2ND ADDITION, 1200 FRANKLIN AVENUE, WEST HIGH END, EDWARDS

Lot 1, Blk. A, West High 2nd Addition
Copy of Plat
 Storm Water Drain Improvements

SHEET
 4
 OF
 4

PC 246-1B