

GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:
Kansas One-Call 687-2470
The Contractor must notify the following in case of an emergency:
AT&T 1-800-246-8464
Black Hills Energy 1-800-694-8989
City of Wichita Water 1-316-268-4555
City of Wichita Sewer 1-316-268-4073
City of Wichita Stormwater 1-316-268-4090
City of Wichita Traffic 1-316-268-4034
Cox Communications 1-888-249-3530
Kansas Gas Service 1-888-482-4950
Westar Energy 1-800-544-4857
- Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Water Distribution Division shall field locate water valve one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades.
- The Contractor shall notify the consultant engineer and Tom Mason with the City at 316-268-4574 with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic is impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at traffic@wichita.gov before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are U.S.G.S. Datum (NAVD 88).
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.
- A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top of the manhole.
- Geotechnical report available upon request.
- Contractor shall limit the extend of trench open overnight and weekends to less than 50 feet.
- Contractor shall provide positive drainage away from all manhole covers.
- City maintenance of storm sewer ends at right-of-way or easement line. All lines will be maintained by the owner.
- Any sidewalk, drive approach, curb, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- The inspecting firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.
- All excess excavation shall remain on-site and shall be stockpiled or spread at a location determined by the engineer.
- The Contractor shall not begin work on the project until the Project Inspector is assigned and on site. Any work completed without inspection will be required to be uncovered for inspection at the Contractor's expense.
- Structure location coordinates are to the center of structure and are to be located with a coordinate datum per the provided control points.

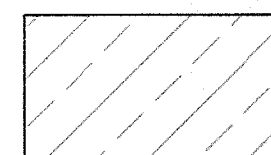
BENCHMARKS

SITE BENCHMARK-1
Chiseled Square on Top of Curb
Elevation=1351.61 (NAVD 88)

SITE BENCHMARK-2
Chiseled Square on Top of Curb
Elevation=1334.71 (NAVD 88)

Site ERU Information

Total Area:	±130,940 sq. ft. (3.01 acres)
Ex. Impervious Area	±120,111 sq. ft. (2.76 acres)
Ex. Pervious Area:	±10,829 sq. ft. (0.25 acres)
Prop. Impervious Area	±118,177 sq. ft. (2.71 acres)
Prop. Pervious Area:	±12,763 sq. ft. (0.29 acres)



- EXISTING IMPERVIOUS AREA



- NEW PERVIOUS AREA

STORM SEWER IMPROVEMENTS

to serve

Schofield Hyundai

Part of Lot 4, Four H Addition

CITY OF WICHITA, KANSAS

727 N. Tyler Road

Gary Janzen, P.E. City Engineer

Project Number 0347 PPD (607861)

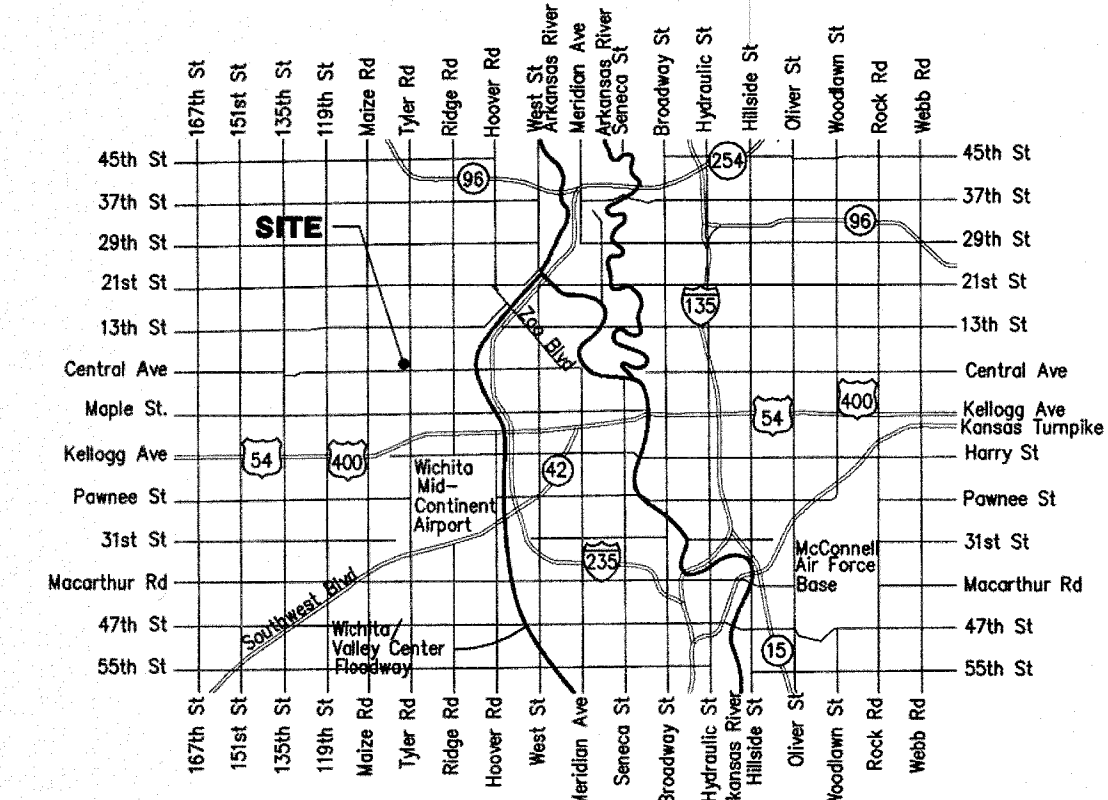
AS BUILT PLANS

Contractor: Ewertz
Inspector: Fred Smith, Baughman Co.
pdf's by: KEK, 1/20/16

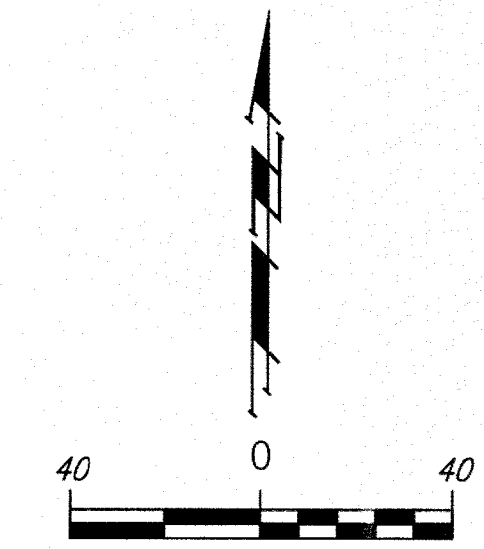
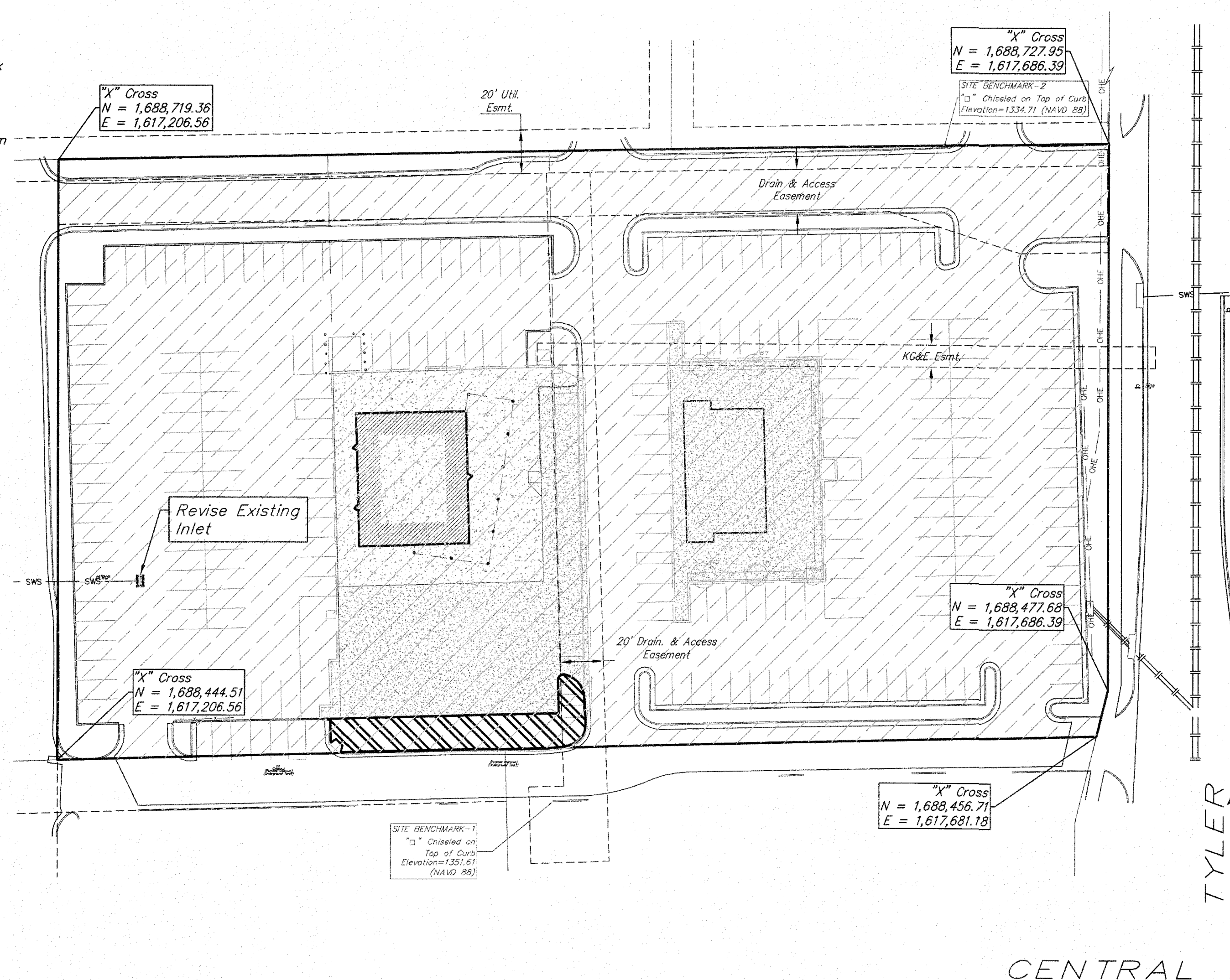
SHEET INDEX:

Title Sheet	1
SWS Line 1	2
Copy of Plat	3

*Stormwater Structure Detail SW201 & Erosion control details SW501-505 are available at City of Wichita web site at <http://www.wichita.gov/Government/Departments/PWU/Pages/Regulations.aspx>



Vicinity Map



Stormwater Narrative & Certification

These improvements were prepared in accordance with the current Storm Water Management Regulations as set forth in the City of Wichita's Storm Water Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Storm Water Manual.

Site Area: ±130,940 sq. ft.
Water Quality Treatment: Area Disturbed is 26,900 ft², 30% of Redeveloped Impervious area is 8,072 ft².

Revised area Inlet will treat 38,400 ft² with a 50% TSS removal. This is equal to a 80% treatment of 24,000 ft² and exceeds the Required Treatment Area of 8,072 ft².

BMPs used for this development are:
Silt Fence, Area Inlet & curb inlet protection,

Downstream Channel Protection - Not applicable to this existing site.
Water Quality Requirements will be addressed with the use of New Inlet W/Snout.
Detention: Four H Addition has an existing drainage plan. Site improvements will reduce net impervious area for this site.

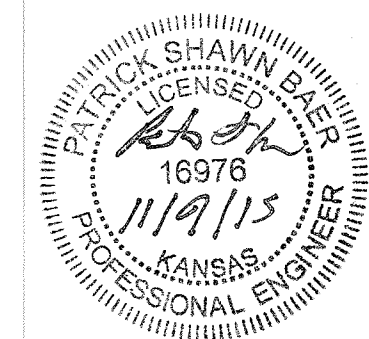
APPROVED AS NOTED
BY WICHITA PUBLIC WORKS ENGINEERING
AND STORMWATER DIVISION

Engineering *[Signature]* 11/10/2015
Stormwater *[Signature]* 11/10/15

NOTE TO CONTRACTORS

Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions. (on file and available at Wichita.gov).

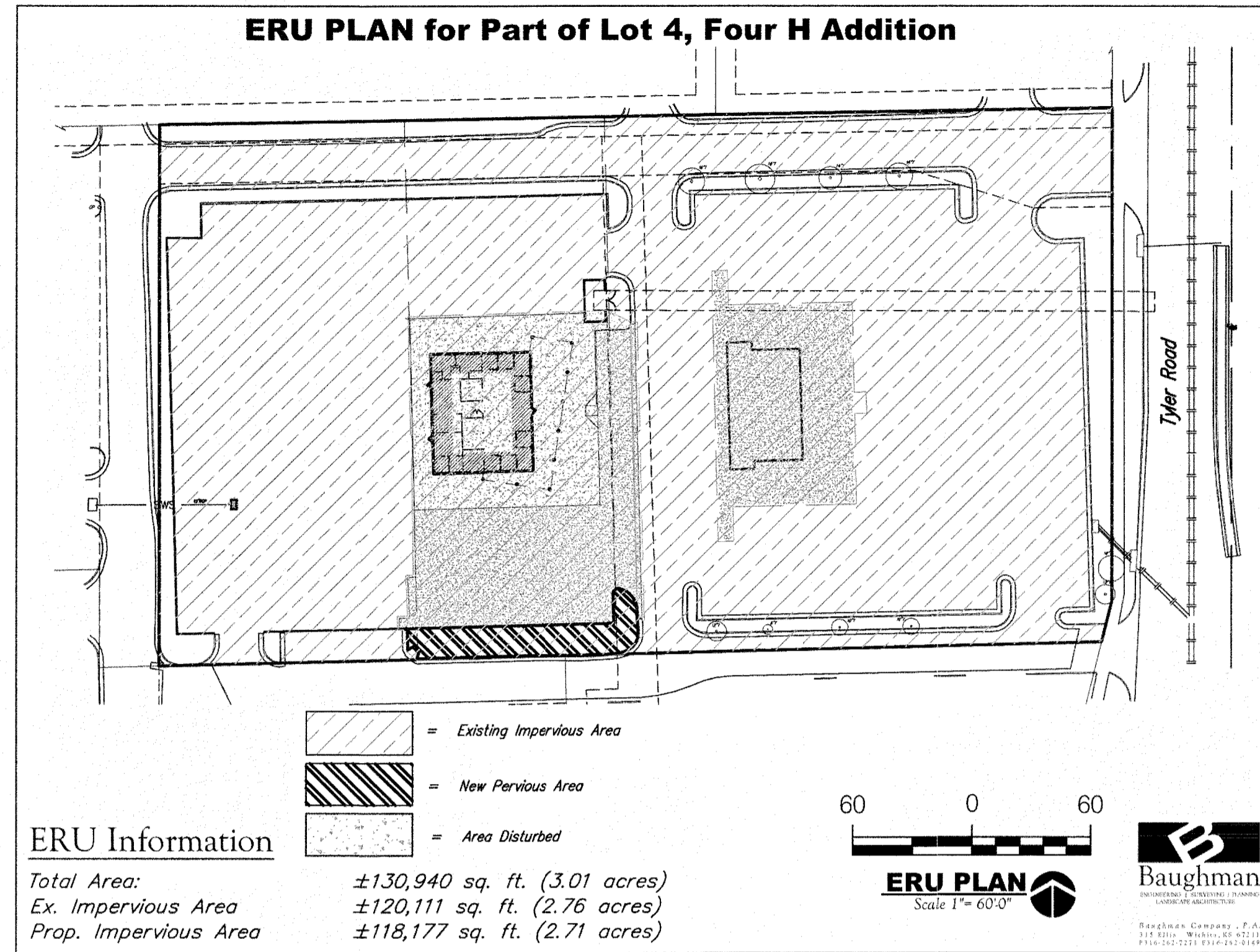
An approved copy of these plans signed by City staff are required on-site.



November 2015



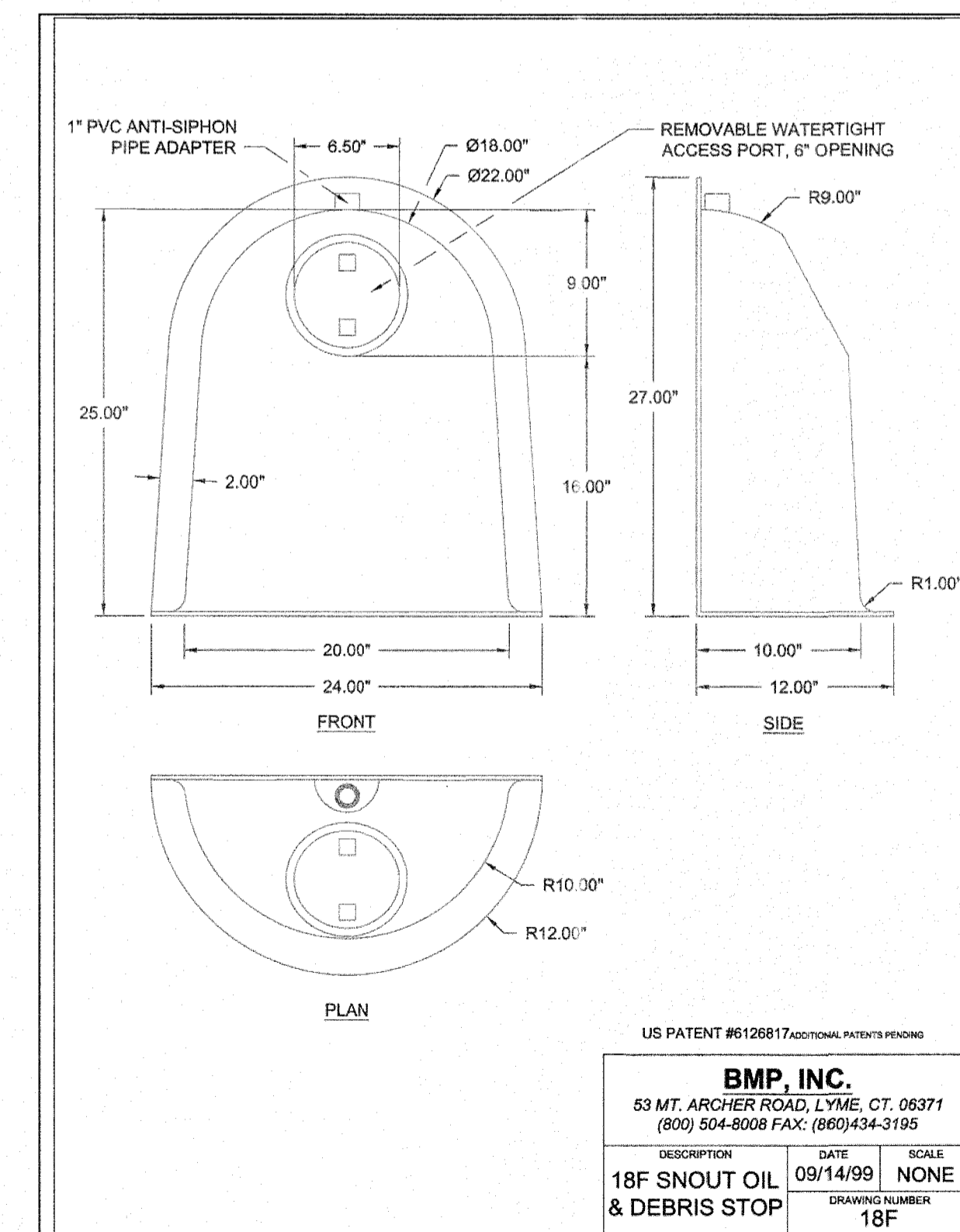
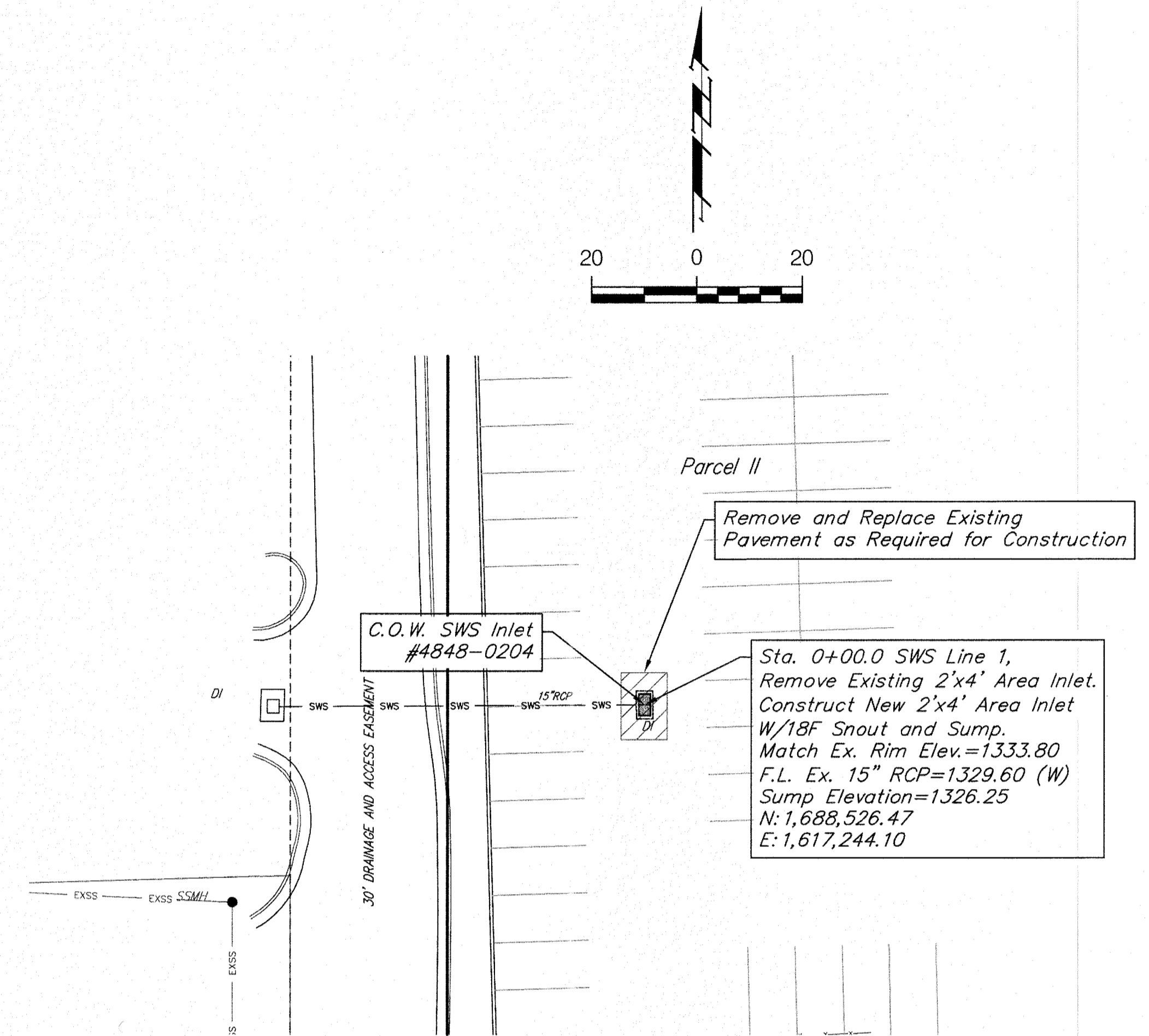
Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE



BENCHMARKS

SITE BENCHMARK-1
Chiseled Square on Top of Curb
Elevation=1351.61 (NAVD 88)

SITE BENCHMARK-2
Chiseled Square on Top of Curb
Elevation=1334.71 (NAVD 88)



18F Snout Detail
No Scale

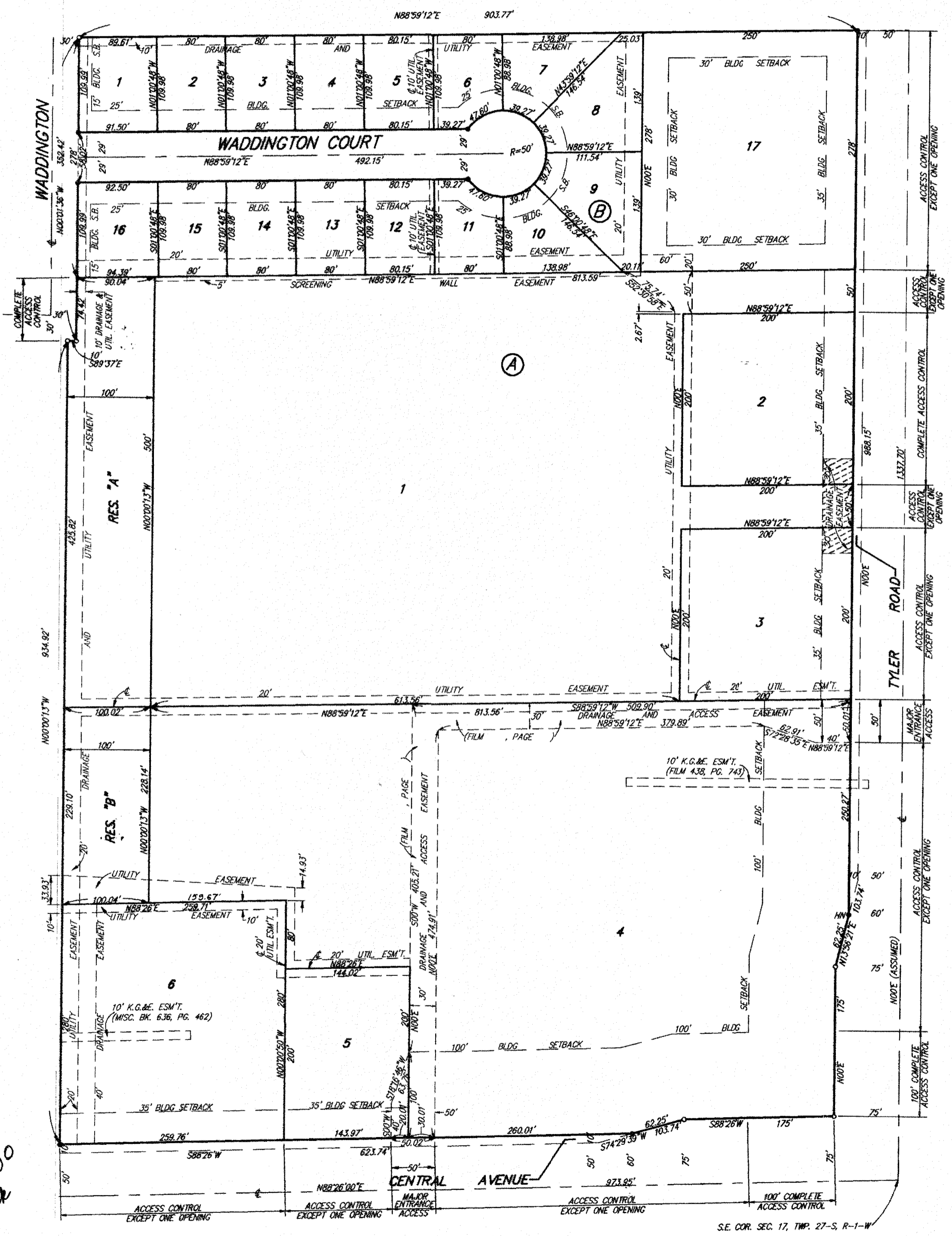


Baughman Company, P.A.
 3150 S.W. Webster, Suite 67211, P.O. Box 622711, Ft. Worth, TX 76162-0211
 ENGINEERING, ARCHITECTURE, PLANNING, LANDSCAPE ARCHITECTURE
 Baughman
 Date: 8/14

Part of Lot 4, Four H Addition
SWS Line 1
 Storm Water Drain Improvements

FOUR H ADDITION

WICHITA, SEDGWICK COUNTY, KANSAS

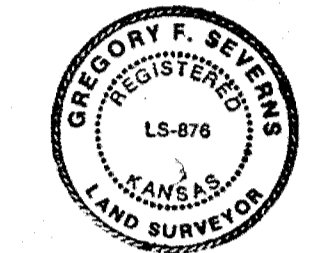


State of Kansas) SS We, Baughman Company, P.A., Surveyors in
Sedgwick County) do hereby certify that we have surveyed
and platted "FOUR H ADDITION", Wichita, Sedgwick County, Kansas
and that the accompanying plat is a true and correct exhibit of the
property surveyed, described as and being a replat of the following:
All of Lot 1, 4-H Club Addition, Wichita, Sedgwick County, Kansas and
all of Lot 1, 4-H Club 2nd Addition, Wichita, Sedgwick County, Kansas.

All being situated in the SE1/4 of Sec. 17, Twp. 27-S, R-1-W of
the 6th P.M., Sedgwick County, Kansas.
Existing public easements and dedications being vacated by
virtue of KSA 12-512(b).

Baughman Company, P.A.

Date 3/3/93



Gregory F. Severns
Gregory F. Severns
Surveyor

Know all men by these presents that we,
the undersigned, have caused the land described in the surveyors
certificate to be platted into lots, blocks, streets and reserves to be
known as "FOUR H ADDITION", Wichita, Sedgwick County, Kansas.
Reserve "A" and Reserve "B" are hereby reserved for landscaping,
open space, screen wall construction, and drainage purposes.
Reserve "A" shall be owned and maintained by the owner of Lot 1.
Reserve "B" shall be owned and maintained by the owner of Lot 4.
The streets are hereby dedicated to and for the use of the public. The
utility easements are hereby granted as indicated for the construction and
maintenance of all public utilities. The drainage and utility easements
are hereby granted as indicated for drainage purposes and for the
construction and maintenance of all public utilities. The access and
drainage easements are hereby granted for access purposes and for
drainage purposes. The screening wall easement is hereby granted
as indicated for screening purposes. Access controls as depicted
on the face of the plat are hereby granted to the City of Wichita,
Kansas. The permitted entrance locations shall be as determined
by the City Engineer of the City of Wichita, Kansas. Building Setback
Lines within Block "A" as per Four H Community Unit Plan, DP-209.
T V Realty, L. L. C.

Stephen J. Mardis
Stephen J. Mardis
Manager

State of Kansas) SS The foregoing instrument acknowledged be-
fore me, this 2nd day of March, 1993, by Stephen J. Mardis,
Sedgwick County) Manager of T V Realty, L. L. C., on behalf of the Company.

My App't. Exp. 2-3-95
Mildred E. Franz
MILDRED E. FRANZ
NOTARY PUBLIC
STATE OF KANSAS

We, the undersigned, holders of a mortgage
on the above described property do hereby consent to this plat of
"FOUR H ADDITION", an Addition to Wichita, Sedgwick County, Kansas.

Bank IV
Tim McGuigan
Tim McGuigan
Vice President

State of Kansas) SS The foregoing instrument acknowledged be-
fore me this 9th day of March, 1993, by Tim McGuigan,
Sedgwick County) Vice President of Bank IV, on behalf of the bank.

My App't Exp. 1/1/96
Barbara S. Brewer
BARBARA S. BREWER
Notary Public - State of Kansas
My App. Expires

This plat of "FOUR H ADDITION", Wichita,
Sedgwick County, Kansas, has been submitted to and approved by
the Wichita-Sedgwick County Metropolitan Area Planning Commission,
Wichita, Kansas.
Dated this 2nd day of February, 1993
Wichita-Sedgwick County Metropolitan Area Planning Commission.



L. O. Brockmeyer, Jr.
L. O. Brockmeyer, Jr.
Chairman

Marvin S. Krout
Marvin S. Krout
Secretary

This plat approved and all dedications
shown hereon accepted by the City Council of the City of Wichita,
Kansas, this 2nd day of March, 1993.



Frank M. Dille
Frank M. Dille
Mayor

Pat Burnett
Pat Burnett
Deputy City Clerk

Entered on transfer record this 1st day
of April, 1993.



Susan E. Crockett-Spoon
Susan E. Crockett-Spoon
County Clerk

#1279652

State of Kansas) SS This is to certify that this plat has been
Sedgwick County) filed for record in the office of the Register of Deeds, this 1st day
of APRIL, 1993, at 11:00 o'clock A.M. and is duly
recorded.

Pat Kettler
Pat Kettler
Register of Deeds

Ed Raso
Ed Raso
Deputy

Part of Lot 4, Four H Addition
Copy Of PLAT
 Storm Water Drain Improvements
 Baughman Company, P.A.
 115 E. 15th St., Wichita, KS 67211, P. 316-262-2271, F. 316-262-2109
 Licensed Professional Land Surveyors
 State of Kansas
 1993 Registration #1586
 Title: L. O. Brockmeyer, Jr. Chairman & L. O. Brockmeyer, Jr. Secretary