

# GENERAL NOTES

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:  
Kansas One-Call 687-2470  
The Contractor must notify the following in case of an emergency:  
AT&T 1-800-246-8464  
Black Hills Energy 1-800-694-8989  
City of Wichita Water 1-316-268-4555  
City of Wichita Sewer 1-316-268-4073  
City of Wichita Stormwater 1-316-268-4090  
City of Wichita Traffic 1-316-268-4034  
Cox Communications 1-888-249-3530  
Kansas Gas Service 1-888-482-4950  
Westar Energy 1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from various companies and is either from company utility drawings or company provided field locations. The plan locations shown are not guaranteed. Additional existing utilities may be encountered. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction. Any and all utility system components damaged during construction shall be repaired at the contractor's expense. The contractor shall field verify the location and depth of all utilities prior to construction and report findings to the project engineer.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage. Equipment and construction materials shall remain out of and away from tree drip lines so as not to compact the root zone or damage trees.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Water Distribution Division shall field locate water valves one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades.
- The Contractor shall notify the consultant engineer and Tom Mason with the City at 316-268-4574 with the anticipated construction start date and notify them of project completion. Staking, testing, inspection and shop drawing review for this project will be the responsibility of the Contractor. Inspection, testing and shop drawing documents shall be provided to the engineering firm for records.
- If traffic is impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at [traffic@wichita.gov](mailto:traffic@wichita.gov) before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of the Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractor's responsibility.
- All elevations shown are NAVD 88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.
- A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top to the manhole.
- Geotechnical report available upon request.

- Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.
- Contractor shall provide positive drainage away from all manhole covers.
- City maintenance of storm sewer ends at right-of-way or easement line.
- Any sidewalk, drive approach, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- The inspecting firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.
- All trenching in pavement or driveways, which will be required to carry traffic until permanent paving replacement, shall be topped with a minimum of 6" crushed rock (compacted) to be incidental to the project. The Contractor shall be required to maintain temporary crushed rock until permanent pavement is installed.
- The Contractor shall restore all ditches, swales, road shoulders, entrances and bank lines to their original slopes and grades except as shown otherwise.
- Site restoration and preparation shall be subsidiary to the project.
- The Contractor shall use best management practices (BMP's) to prevent eroded soil from entering ditches, culverts and drainage areas. The Contractor shall follow the intent of the BMP's which act as a guideline.
- Each bidder shall visit the site of the project before submitting a proposal in order to become better informed of the existing field conditions and obstacles which might be encountered during construction. Each bidder should understand that no additional compensation will be awarded for extra work that should have been evaluated prior to bidding.
- The precast manufacturer shall provide a sealed design detail for all precast items used on the project to insure the intent of the plans are met.

### LEGAL DESCRIPTION

A PORTION OF LOT 2, EMERSON ADDITION, WICHITA, SEDGWICK COUNTY, KANSAS

### BENCHMARKS:

BM #1: CHISELED "SQUARE" ON THE TOP EAST SIDE OF CONCRETE LIGHT POLE BASE. 70' +/- NORTH AND 25' +/- EAST OF THE SOUTHEAST PROPERTY CORNER.

ELEV=1340.63 (NAVD88)

BM #2: CHISELED SQUARE ON TOP OF CURB AT NOSE OF CURB ISLAND. 60' +/- NORTHWEST OF SOUTHWEST PROPERTY CORNER.

ELEV=1301.73 (NAVD88)

### SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

### WARRANTY / DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

### CAUTION - NOTICE TO CONTRACTOR

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THE COORDINATES PROVIDED IN THESE PLANS ARE FOR INFORMATION AND CHECKING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALCULATE CONSTRUCTION STAKING COORDINATES ACCORDING TO THE DIMENSIONS SHOWN ON THESE PLANS. CONTRACTOR SHALL VERIFY THE ACCURACY OF THE COORDINATES SHOWN IN THE TABLE HEREON BEFORE CONSTRUCTION.

# STORM SEWER IMPROVEMENTS

to serve

# PORTION OF LOT 2, EMERSON ADDITION

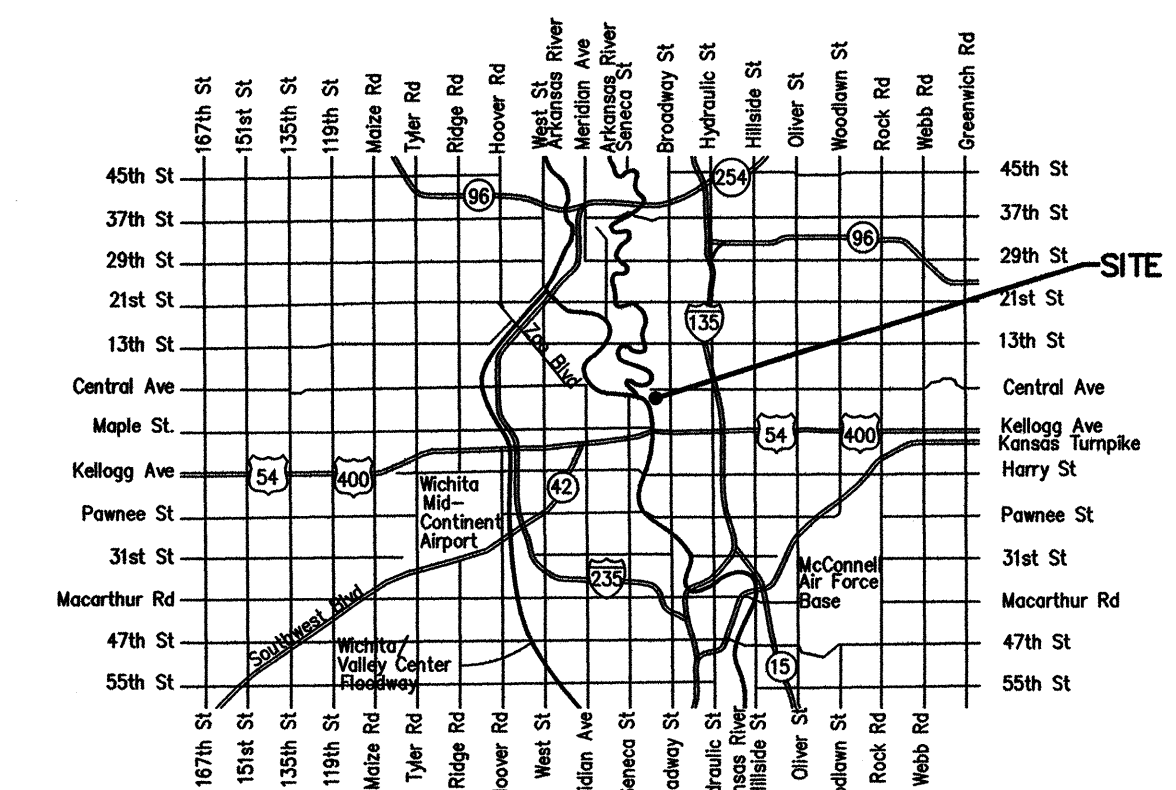
(429 W. CENTRAL)

CITY OF WICHITA, KANSAS

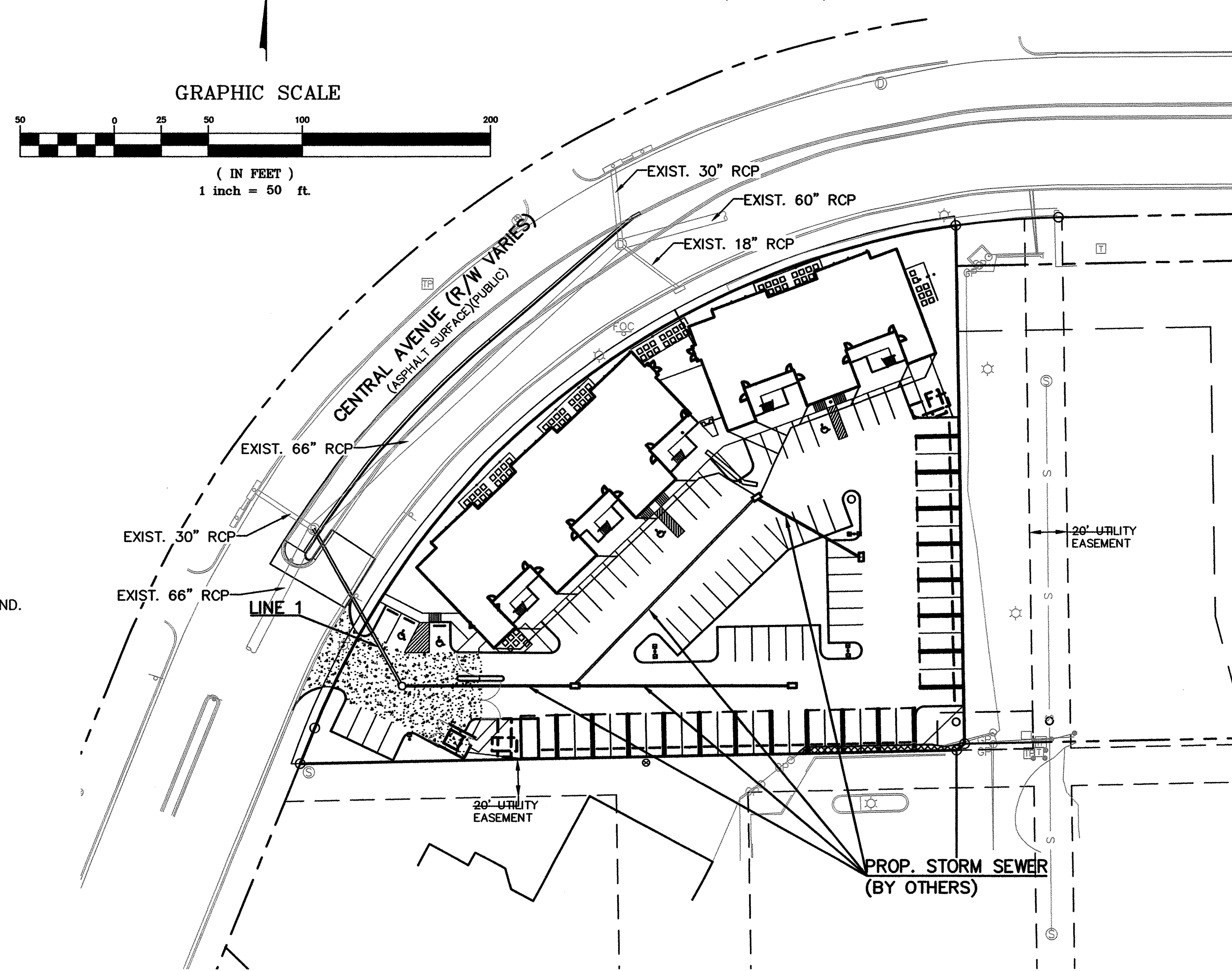
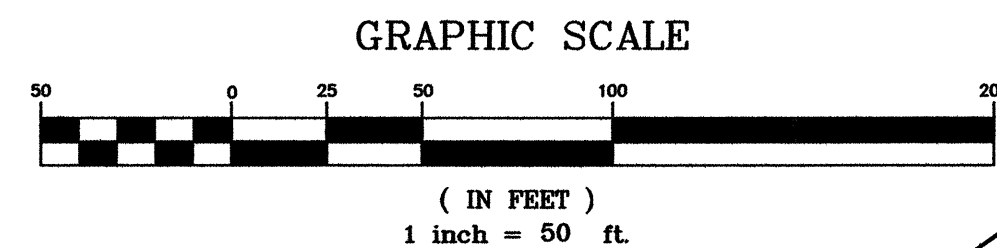
Gary Janzen, P.E. City Engineer

Project Number

0332 PPD (607861)



## VICINITY MAP



### Stormwater Certification: New Development

These construction plans were prepared in accordance with the current Stormwater Management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Stormwater Manual.

Disturbed Area = 68,455 SF (1.57 ACRES +/-)  
Water Quality Treatment: SNOUT BMP  
Downstream Channel Protection: N/A  
Detention: N/A - 10% Rule.  
The BMP used for this development is: SNOUT BMP, SILT FENCE, INLET SEDIMENTATION BARRIERS.

APPROVED AS NOTED  
BY WICHITA PUBLIC WORKS ENGINEERING  
AND STORMWATER DIVISION

Engineering *Rebecca Gail* 8/18/2015

Stormwater *[Signature]* 08/18/2015

### NOTE TO CONTRACTORS

Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions. (on file and available at Wichita.gov).

An approved copy of these plans signed by City staff are required on-site.

## SHEET INDEX

TITLE SHEET	1
STORM SEWER PLAN & PROFILE	2
STORM SEWER DETAILS	3-4
EROSION CONTROL PLAN	5
GRADING PLAN	6
ERU SHEET	7
EROSION CONTROL BMP DETAILS	8-12
PLAT	13

### AS BUILTS

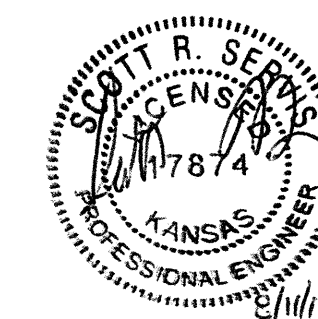
Contractor:  
McCullough  
Excavation

Project Inspector:  
Matt Perez

11/23/2015

**KEMILLER**  
ENGINEERING PA

117 E. Lewis, Wichita, KS 67202 (316)264-0242



AUGUST 2015

PROJ. NO. G14\_0114 DSN: SRS  
CFN: 0114DTS DWN: JSB

**KV KAW VALLEY ENGINEERING**

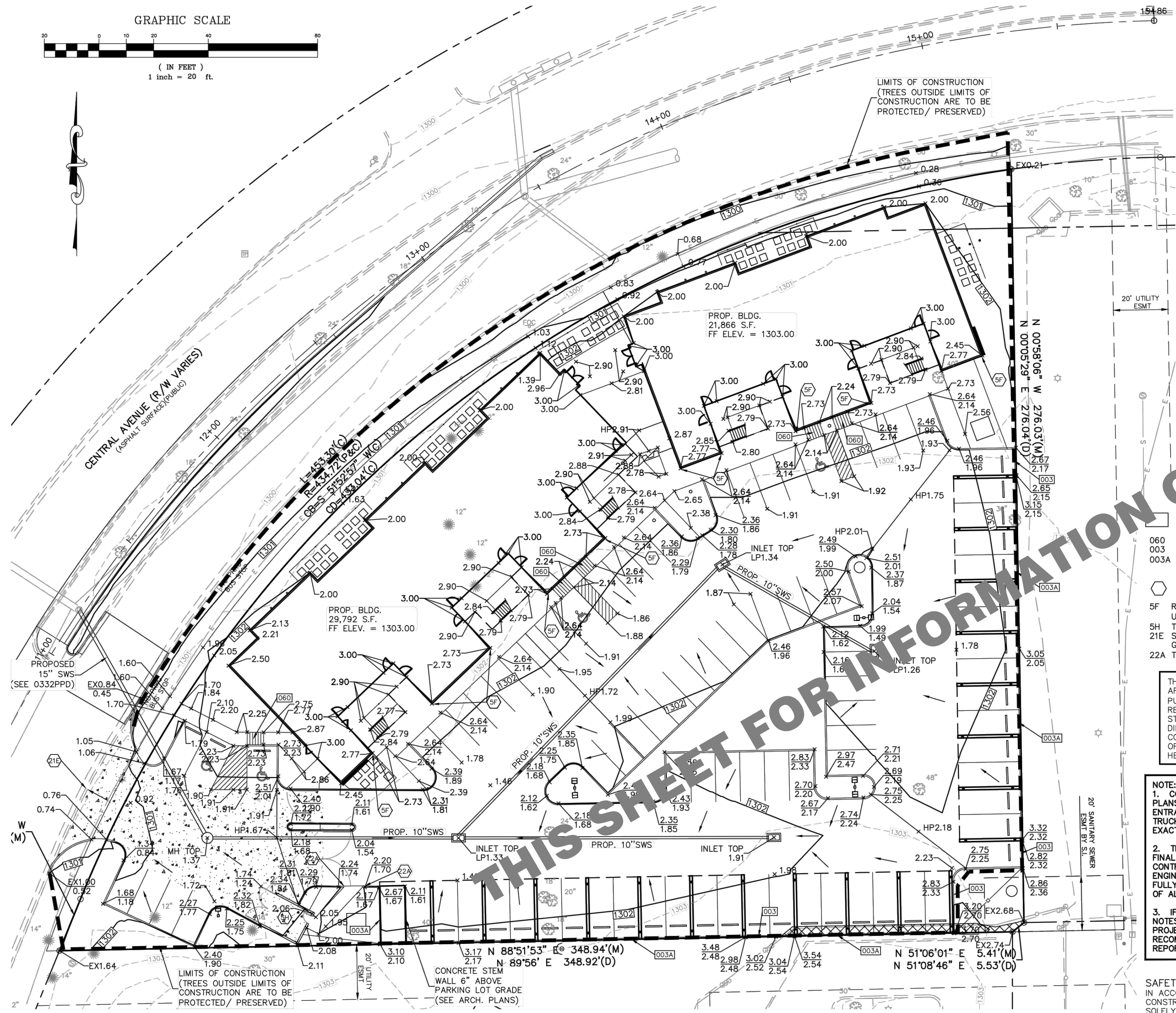
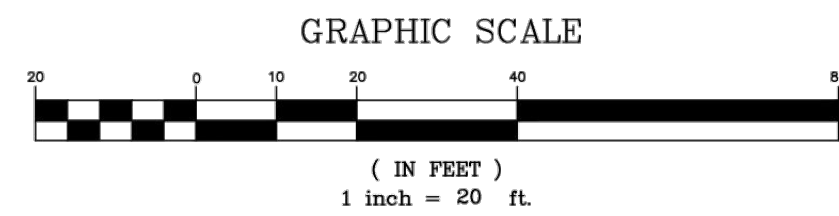
KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/16











**LEGEND (PROPOSED)**

82.9	SPOT ELEVATION (ADD 1300), TOP OF PAVEMENT
X	
83.6	TOP OF CURB (ADD 1300)
83.1	FLOWLINE OF CURB (ADD 1300)
→	FLOW DIRECTION
1300	FINISHED 1' CONTOUR INTERVALS, TOP OF PAVEMENT
▨	HEAVY DUTY PAVEMENT

- DETAILS - SEE DETAIL SHEET NO. C6.1 THRU C6.6 FOR THE FOLLOWING DETAILS
- 060 SIDEWALK RAMPS
  - 003 INTEGRAL CONCRETE CURB AND GUTTER
  - 003A RAISED INTEGRAL CONCRETE CURB (SEE SHEET C1.1)
- NOTES:
- 5F ROOF DRAIN INTO RAIN LEADER (SEE UTILITY PLANS)
  - 5H TRASH ENCLOSURE (SEE ARCH. PLANS)
  - 21E SAW CUT & REMOVE EXISTING CURB AND GUTTER & MATCH EXISTING PAVEMENT
  - 22A TAPER CURB FROM 6" TO 0"

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- NOTE:
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
  - IF DISCREPANCIES EXIST BETWEEN THE GRADING NOTES AND THE RECOMMENDATIONS OUTLINED IN THE PROJECT GEOTECHNICAL REPORT, THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT SHALL GOVERN.

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- GAS SERVICE**  
KANSAS GAS SERVICE  
1021 E. 26TH ST. NORTH  
WICHITA, KANSAS 67219  
(316)832-3126  
JAMES COE
- ELECTRIC SERVICE**  
WESTAR ENERGY  
WICHITA, KANSAS  
(316)708-6731  
RICHARD AITKEN
- WATER & SANITARY SEWER SERVICE**  
WICHITA WATER DEPARTMENT  
455 NORTH MAIN, 8TH FLOOR  
WICHITA, KANSAS 67202  
(316)268-4555  
GREG / LADONNA
- TELEPHONE SERVICE**  
AT&T DISTRIBUTION  
154 N. BROADWAY  
WICHITA, KANSAS 67202  
(316)268-2105  
MARK OLSON
- CABLE TELEVISION SERVICE**  
COX COMMUNICATIONS  
701 EAST DOUGLAS  
WICHITA, KANSAS 67202  
(316)260-7748
- CALL BEFORE YOU DIG - DRILL - BLAST**  
800-344-7233  
(DIG-SAFE)  
(316) 687-3753  
(FAX)

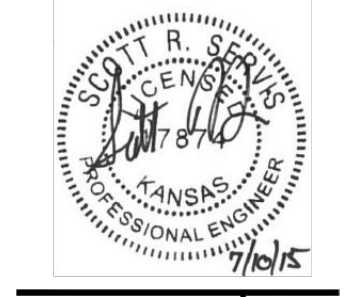


- GRADING NOTES:**
- THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES PROVIDED THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PARKING AREA. BURNING OF TIMBER WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES.
  - AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
  - OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX OF 25 OR LESS, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN FOUR INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER PRIOR TO BRINGING ON SITE.
  - EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.
  - AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR EQUIVALENT. ALL MATERIAL ALL PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
  - IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE ENGINEER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
  - ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED.
  - ALL SLOPES EXCEEDING 3:1 SHALL BE PROTECTED BY RIP RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS, THAT WILL PREVENT EROSION AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.
  - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
  - CONTRACTOR SHALL USE SILT FENCE, BALES OF HAY OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.
  - CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
  - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
  - IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.
  - PIPE LENGTHS ARE CENTER TO CENTER OF STRUCTURE OR TO END OF END SECTIONS.
  - HANDICAP STALLS SHALL MEET ADA REQUIREMENTS AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION AT THE BUILDING ENTRY AND ACCESSIBLE PARKING STALLS. SLOPES EXCEEDING 2.0% WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

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3TENSTUDIO.COM 316.259.9309  
157 S OLIVER WICHITA KS 67218



**KAW VALLEY ENGINEERING**  
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER PROFESSIONAL ENGINEERING SERVICES IN THE STATE OF KANSAS UNDER AUTHORIZATION # E-113, EXPIRES 12/31/16

The Pinnacle  
apartment project  
429 West Central  
Wichita, Kansas

PROJ. NO.	G1400114	DESIGNER	SRS	DRAWN BY	JSB
CFN	0114DDET	SHEET	06_GP	REV	
PORTION OF LOT 2, EMERSON ADDITION WICHITA, KS					
GRADING PLAN					
REV	DATE	DESCRIPTION	DSN	DWN	CHK













# EMERSON ADDITION

WICHITA, SEDGWICK COUNTY, KANSAS

This plat approved and all dedications shown hereon accepted by the Board of County Commissioners of Sedgwick County, Kansas, this 12th day of May, 1980

Everett Poffert, Chairman  
Tom Goff, Commissioner  
Donald E. Dragg, Commissioner

ATTEST: Dorothy K. White, County Clerk  
Dorothy K. White

Entered on transfer record this 12 day of May, 1980

Dorothy K. White, County Clerk  
Dorothy K. White

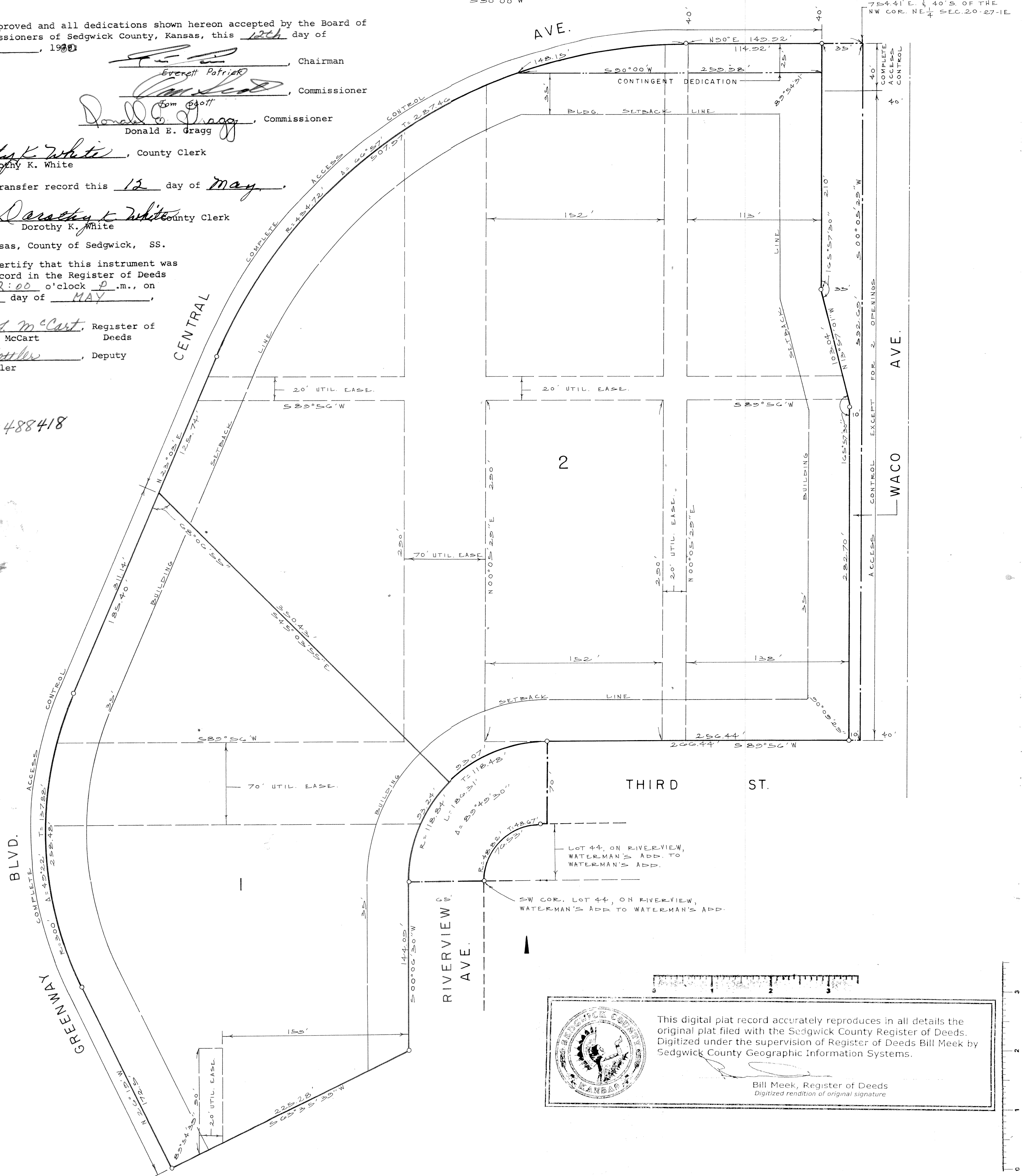
State of Kansas, County of Sedgwick, SS.

This is to certify that this instrument was filed for record in the Register of Deeds Office, at 2:00 o'clock P.m., on the 12th day of MAY, 1980.

Bette F. McCart, Register of Deeds  
Bette F. McCart

Pat Kettler, Deputy  
Pat Kettler

#488418



This digital plat record accurately reproduces in all details the original plat filed with the Sedgwick County Register of Deeds. Digitized under the supervision of Register of Deeds Bill Meek by Sedgwick County Geographic Information Systems.  
Bill Meek, Register of Deeds  
Digitized rendition of original signature

State of Kansas, County of Sedgwick, SS.  
I, Lowell D. High, Land Surveyor in said State and County, do hereby certify that I have surveyed and platted "EMERSON ADDITION", Wichita, Sedgwick County, Kansas and that the accompanying plat is A REPLAT OF and a true and correct exhibit of said survey described as follows: Beginning at the SW corner of Reserve F in Park Plaza First Addition, Wichita, Sedgwick County, Kansas, said SW corner of said Reserve F being a point on the east line of Greenway Boulevard as platted in said Park Plaza First Addition; thence northwesterly, northerly, northeasterly and easterly along the east line of said Greenway Boulevard and the easterly and southerly line of Central Avenue as platted in said Park Plaza First Addition to a point 40 feet south of the north line of the NE 1/4 of Section 20, T27S, R1E of the 6th P.M., Sedgwick County, Kansas; thence east parallel to and 40 feet south of said NE 1/4, 149.92 feet to the intersection of the south line of Central Avenue and the west line of Waco Avenue as platted in Waterman's Addition to Waterman's Addition to the Town of Wichita, said intersection being the NE corner of E. P. Waterman's Reserve in said Waterman's Addition to Waterman's Addition and also the NE corner of Lot 7 in Waco Avenue Addition to Wichita, Kansas; thence south on the west line of Waco Avenue, as platted in said Waterman's Addition to Waterman's Addition to the north line of Third Street as platted in said Addition; thence west on said north line of said Third Street, 266.44 feet to the P.C. of a curve; thence southwesterly on a curve to the left having a radius of 118.84 feet and a deflection angle of 89°49'30", 186.31 feet to the P.T. of said curve, said P.T. being a point on the west line of Riverview Avenue and the east line of Reserve A, Park Plaza Second Addition, Wichita, Sedgwick County, Kansas; thence south on the west line of said Riverview Avenue, 144.09 feet to the SE corner of Reserve A in said Park Plaza Second Addition; thence southwesterly along the south line of said Reserve A and along the south line of Reserve F in said Park Plaza First Addition, 225.28 feet to the point of beginning. The property described above includes all of Reserves D, E and F in Park Plaza First Addition, Wichita, Sedgwick County, Kansas, Reserve A in Park Plaza Second Addition, Wichita, Sedgwick County, Kansas, odd and even Lots 45 to 56 inclusive on River Street, now Riverview Avenue, in Waterman's Addition to Waterman's Addition to the Town of Wichita, odd Lots 61 to 71 inclusive on Waco Avenue in said Waterman's Addition to Waterman's Addition, that part of E. P. Waterman's Reserve in said Waterman's Addition to Waterman's Addition lying south of Central Avenue as platted in said Park Plaza First Addition, part of Lot 1 and all of Lots 2 to 11 inclusive, and strips A, B and C in Waco Avenue Addition to Wichita, Kansas, said Waco Avenue Addition, being a replat of said E. P. Waterman's Reserve, and all the streets, alleys and unplatted land, if any, lying within the bounds of the above described property, said lots, streets and alleys being vacated and replatted by virtue of K.S.A. 1970 Supp. 12-512(b).

Also part of Lot 44 on River Street, now Riverview Avenue, in Waterman's Addition to Waterman's Addition to the Town of Wichita described as follows: Beginning at the SW corner of said Lot 44; thence north on the west line of said Lot 44, 48.67 feet to the NW corner of said Lot 44; thence east on the north line of said Lot 44, 48.67 feet; thence southwesterly on a curve to the left having a radius of 48.82 feet and a deflection angle of 89°49'30", a distance of 76.53 feet to the point of beginning.

Lowell D. High, Land Surveyor  
Lowell D. High

Know all men by these presents that The Urban Renewal Agency of the Wichita, Kansas Metropolitan Area, a public corporation, by Maxine I. Hansen, Chairman and Unified School District No. 259, a Quasi-Municipality, by Jo Ann Pottorff, President, have caused the land described in the Land Surveyor's certificate to be platted into lots and streets to be known as "EMERSON ADDITION", Wichita, Sedgwick County, Kansas. Utility easements as indicated on the plat are hereby granted for the construction and maintenance of all public utilities. The streets are hereby dedicated to and for the use of the public.

All abutter's rights of access to or from Greenway Boulevard and Central Avenue, over and across the west line of Lot 1 and the west and north line of Lot 2 are hereby granted to the City of Wichita. All abutter's rights of access to or from Waco Avenue, over and across the east line of Lot 2 are hereby granted to the City of Wichita, provided, however, that Lot 2 shall have access to Waco Avenue at two locations, except over and across the north 40 feet of the east line of said Lot 2, such locations to be designated by the City Engineer of Wichita, Kansas. The contingent dedication as indicated on the plat is hereby dedicated to and for the use of the public for street purposes contingent upon the City of Wichita's need for the additional right of way for any street purpose.

ATTEST: Kenneth H. Kitchen, Secretary  
Maxine I. Hansen, Chairman  
Maxine I. Hansen

ATTEST: Martin Hartley, Clerk of the Board  
Jo Ann Pottorff, President  
Jo Ann Pottorff

State of Kansas, County of Sedgwick, SS.

The foregoing instrument was acknowledged before me this 21st day of February, 1980 by Maxine I Hansen, Chairman of The Urban Renewal Agency of the Wichita, Kansas Metropolitan Area, a Public Corporation, on behalf of the corporation.

My Commission expires: July 24, 1981  
James C. Shupley, Notary Public  
James C. Shupley

State of Kansas, County of Sedgwick, SS.

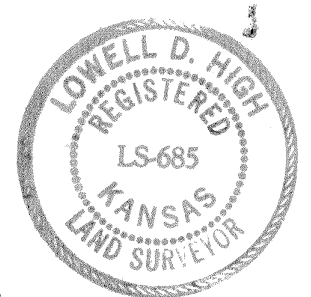
The foregoing instrument was acknowledged before me this 18th day of February, 1980 by Jo Ann Pottorff, President of Unified School District No. 259, a Quasi-Municipality, on behalf of the Quasi-Municipality.

My Commission expires: 1-18-82  
June Carter, Notary Public  
June Carter

This plat of "EMERSON ADDITION", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.  
Dated this 19th day of NOVEMBER, 1979.

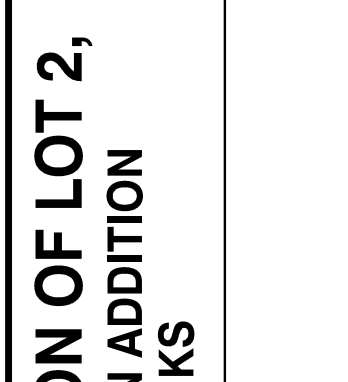
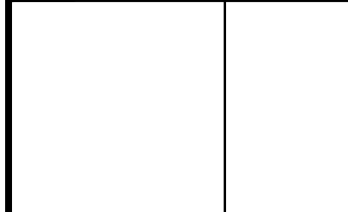
Wichita-Sedgwick County Metropolitan Area Planning Commission  
William J. Goebel, Chairman  
William J. Goebel  
Robert A. Lakin, Secretary  
Robert A. Lakin

This plat approved and all dedications shown hereon accepted by the Board of City Commissioners of the City of Wichita, Kansas, this 25th day of MARCH, 1980  
Tony Casado, Mayor  
Tony Casado  
Donald C. Gisick, City Clerk  
Donald C. Gisick



SCOTT R. SERVIS  
ENGINEER  
KS # 17874

200 N. EMPORIA, SUITE 100  
WICHITA, KANSAS 67202-440-4309  
PH: (316) 261-4400  
www.kawvalley.com | www.kveing.com



PORTION OF LOT 2,  
EMERSON ADDITION  
WICHITA, KS

PROJ. NO.	G1400114
DESIGNER	SRS
DRAWN BY	JSB
CFN	0114DDET
SHEET	13_PLAT
REV	

PLAT	DESCRIPTION	DATE	REV	DATE	DESCRIPTION	DSN	DWN	CHK

20.00