

GENERAL NOTES:

STORM SEWER IMPROVEMENTS

to serve

Steven Chevrolet Lankin Addition and Lankin 2nd Addition

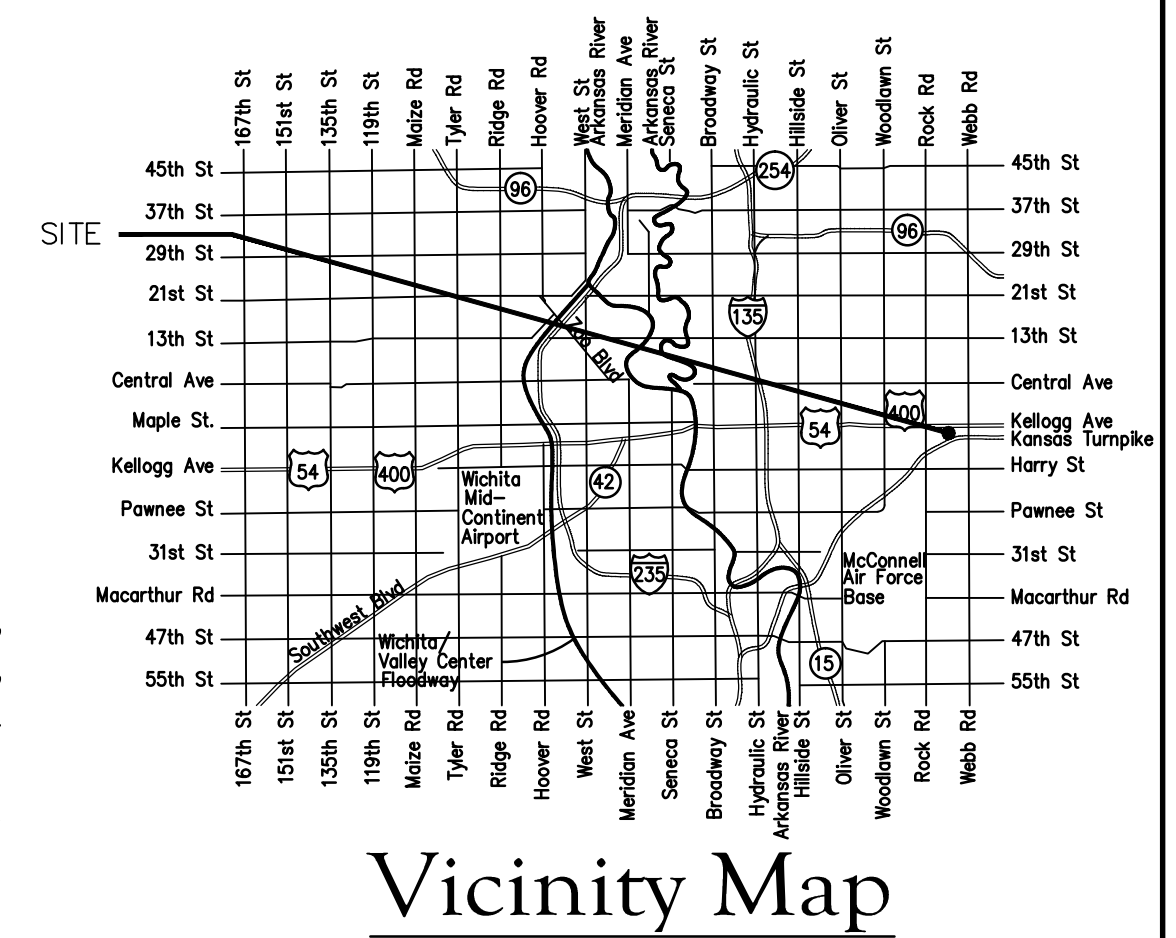
8801 E. Kellogg Drive

CITY OF WICHITA, KANSAS

Gary Janzen, P.E. City Engineer
Project Number
0366 PPD (607861)

AS BUILT PLANS

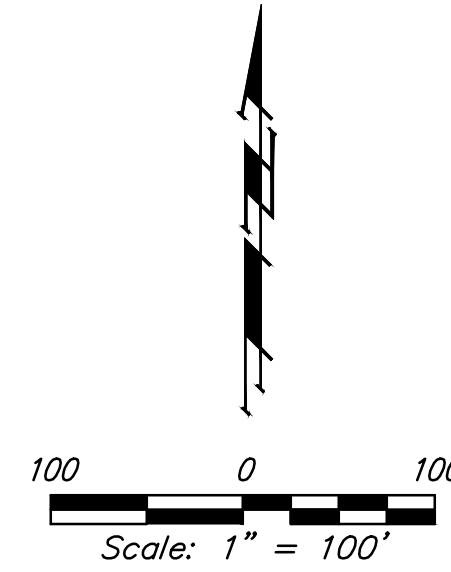
Contractor: McCullough Excavating
Inspector: Fred Smith, Baughman Co.
pdfs by: KEK, 7/15/16



SHEET INDEX:

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SW101, SW103, SW105, SW201, SW202,
SW301-SW303, SW501-SW505 Details are
available at City of Wichita web site at
[http://www.wichita.gov/Government/
Departments/PWU/Pages/Regulations.aspx](http://www.wichita.gov/Government/Departments/PWU/Pages/Regulations.aspx)

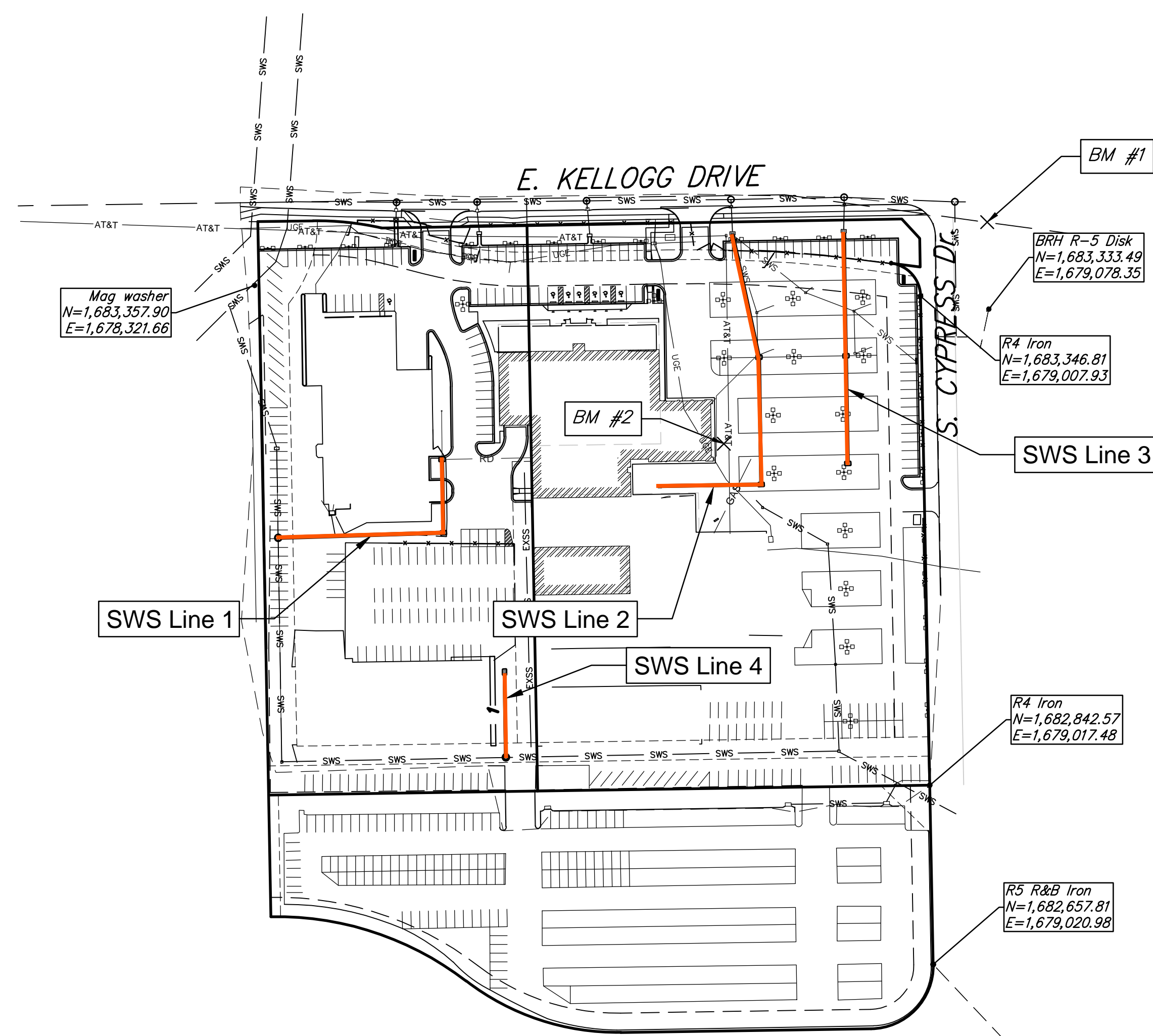


- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:

Kansas One-Call 687-2470

The Contractor must notify the following in case of an emergency:

AT&T 1-800-246-8464
Black Hills Energy 1-800-694-8989
City of Wichita Water 1-316-268-4555
City of Wichita Sewer 1-316-268-4073
City of Wichita Stormwater 1-316-268-4090
City of Wichita Traffic 1-316-268-4034
Cox Communications 1-888-249-3530
Kansas Gas Service 1-888-482-4950
Westar Energy 1-800-544-4857
- Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Water Distribution Division shall field locate water valve one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades.
- The Contractor shall notify the consultant engineer and Tom Mason with the City at 316-268-4574 with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic is impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at traffic@wichita.gov before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are U.S.G.S. Datum (NAVD 88).
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.
- A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top of the manhole.
- Geotechnical report available upon request.
- Contractor shall limit the extend of trench open overnight and weekends to less than 50 feet.
- Contractor shall provide positive drainage away from all manhole covers.
- City maintenance of storm sewer ends at right-of-way or easement line. Lines 1, 2 & 3 are to be maintained by the owner.
- Any sidewalk, drive approach, curb, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- The inspecting firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.
- All excess excavation shall remain on-site and shall be stockpiled or spread at a location determined by the engineer.
- The Contractor shall not begin work on the project until the Project Inspector is assigned and on site. Any work completed without inspection will be required to be uncovered for inspection at the Contractor's expense.
- Structure location coordinates are to the center of structure and are to be located with a coordinate datum per the provided control points.



BENCHMARKS

Benchmark #1
CROSS
Elev. = 1344.68' NAVD 88

Benchmark #2
MAGNAIL
Elev. = 1341.84' NAVD 88

Stormwater Narrative & Certification

This improvements were prepared in accordance with the current Storm Water Management Regulations as set forth in the City of Wichita's Storm Water Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Storm Water Manual.

Site Area: 544,196 Sq. Ft. (12.49 acres)

Water Quality Treatment: Snouts Within Outlets

Area Disturbed:	178,681 Sq. Ft.
Impervious Areas:	Ex to be removed: 178,681 sq. ft. Prop. to be added: 169,375 sq. ft.
Required Treatment Area:	(30% redeveloped + 100% New) 30% x 178,681 = 53,604 sq. ft.
Proposed Treatment Area:	102,230 sq. ft.*

* Area draining to Inlets with Snout.

BMPs used for this development are:
Silt Fence, Area Inlet & curb inlet protection, TRM.

Detention Requirements: Redevelopment does not increase existing drainage conditions. Addition Detention is not required.
Downstream Channel Protection: Redevelopment does not increase existing drainage conditions. Downstream Channel Protection is not required.

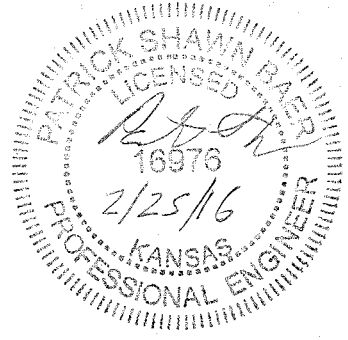
APPROVED AS NOTED
BY WICHITA PUBLIC WORKS ENGINEERING
AND STORMWATER DIVISION

Engineering *Rebecca Smith* 2/29/2016
Stormwater *[Signature]* 02/29/2016

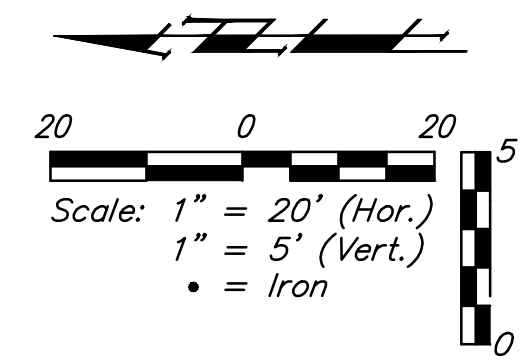
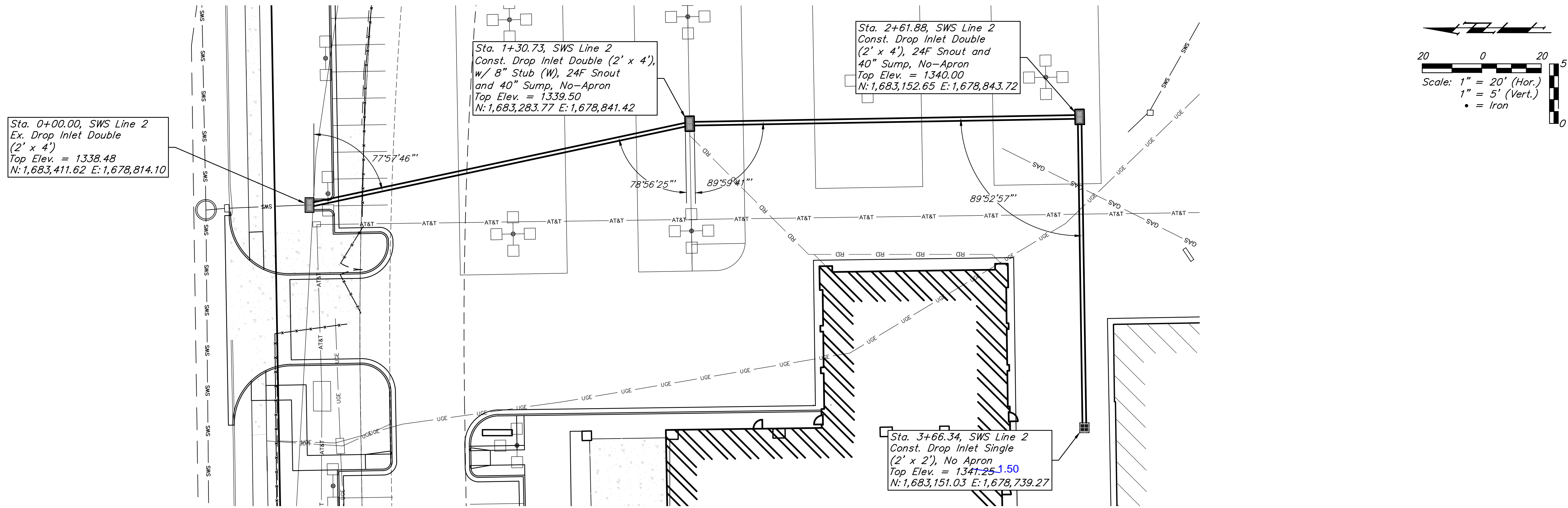
NOTE TO CONTRACTORS

Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions. (on file and available at Wichita.gov).

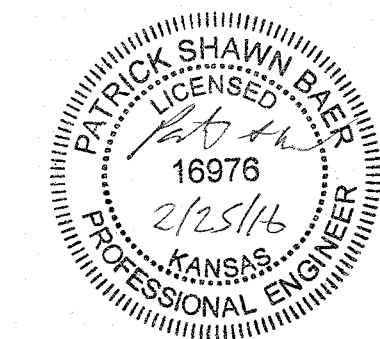
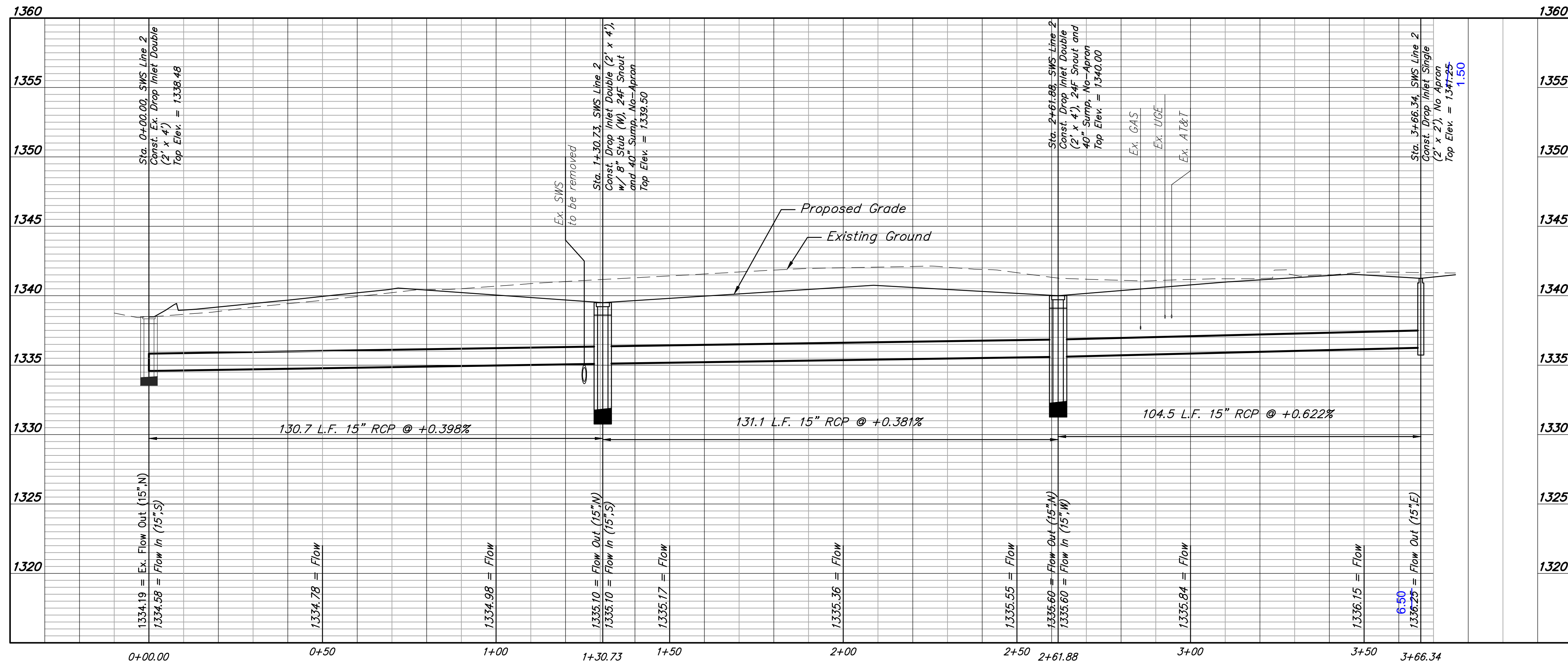
An approved copy of these plans signed by City staff are required on-site.

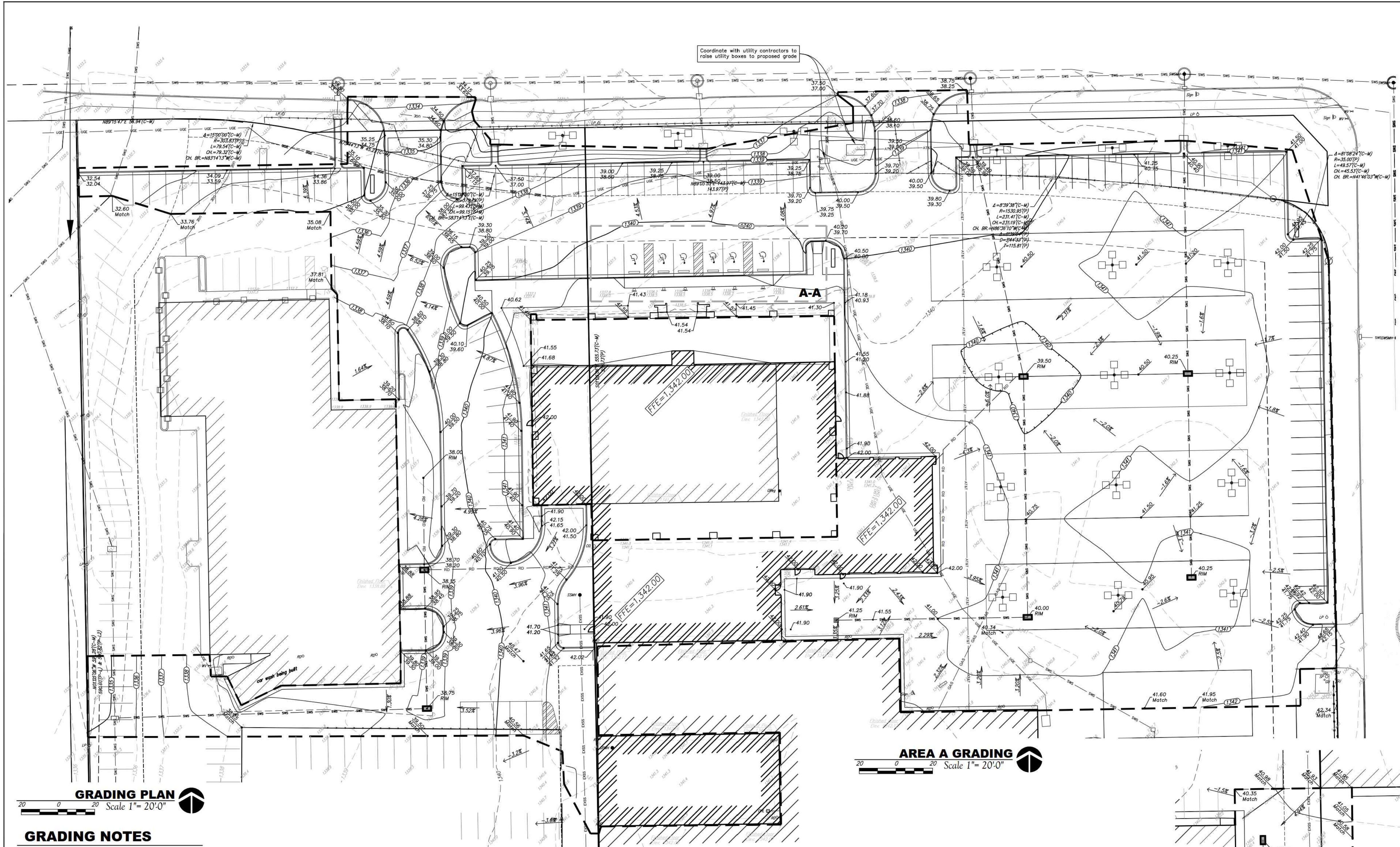


Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE



SWS Line 2





For Reference Only
See Site Plans
Not To Scale

GRADING PLAN
Scale 1" = 20'-0"

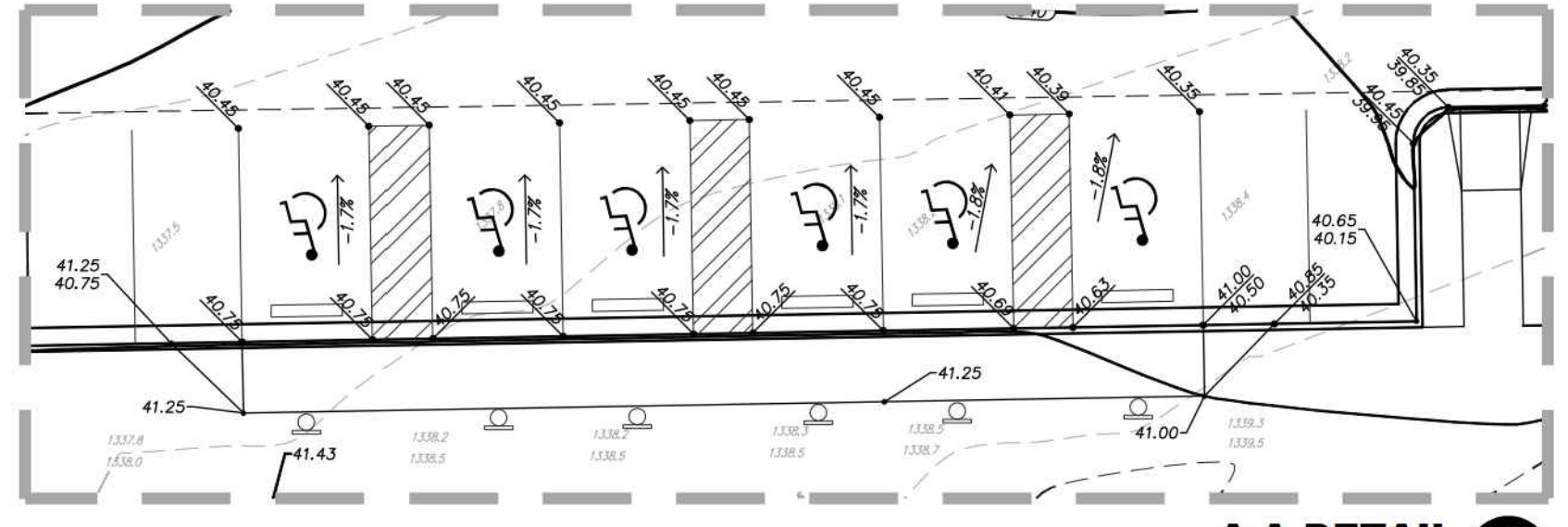
GRADING NOTES

- Contractor shall be required to provide notice to Kansas One Call at 887-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
- The Contractor must notify the following in case of an emergency:
 Kansas Gas Service (Gas).....1-888-482-4950
 Black Hills Energy (Gas).....1-800-303-0357
 Westar Energy (Electric).....303-9650
 Cox Communications (Telecommunication).....282-4270
 AT&T (Telecommunication).....288-2759
 City of Wichita Water Dept. (Water).....288-4563
 or 288-4908
 City of Wichita Sewer Maint. (San. Sewer).....288-4024
 or 282-6000
 City of Wichita Storm Sewer Maint. (Storm Sewer).....288-4090
 or 288-4034
 of Wichita Traffic Maint. (Tral. Contra).....288-4033
 or 288-4033
 Pipeline Co. (Petroleum).....1-800-231-2551
 Pipeline Co. (Petroleum).....329-6600
 or 1-800-324-9696
 Pipeline Co. (Petroleum).....1-800-766-9230
- existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Refer to Landscape Plan for Treatment of All Disturbed Areas.
- Signage and striping shall be installed in accordance with Local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
- Paved Lot to be constructed with Paving as shown. See Architectural Site Plan and Geotechnical Report for Pavement and subgrade details.
- Proposed storm water sewer shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Project." The storm sewer system shall be designed separately, and undergo Local City review and approval. The installation of the storm sewer is required to be done by a bonded contractor, inspected and certified. Refer to Separate Sewer and Storm Water Sewer Plan Set. The Contractor shall construct the sewer only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- The Contractor shall notify adjacent landowners prior to proceeding with any construction work on landowner's property.
- Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%). Notify Landscape Architect of any discrepancies prior to forming of walks.
- Landscape Areas adjacent to Building shall be set 4" Below FFE, unless otherwise noted. At areas adjacent to the building and Sidewalk, landscape shall be graded to match the sidewalk section and drain away from the building. Transition landscape to match sidewalk to 4" below with a slope not exceeding 1/2.

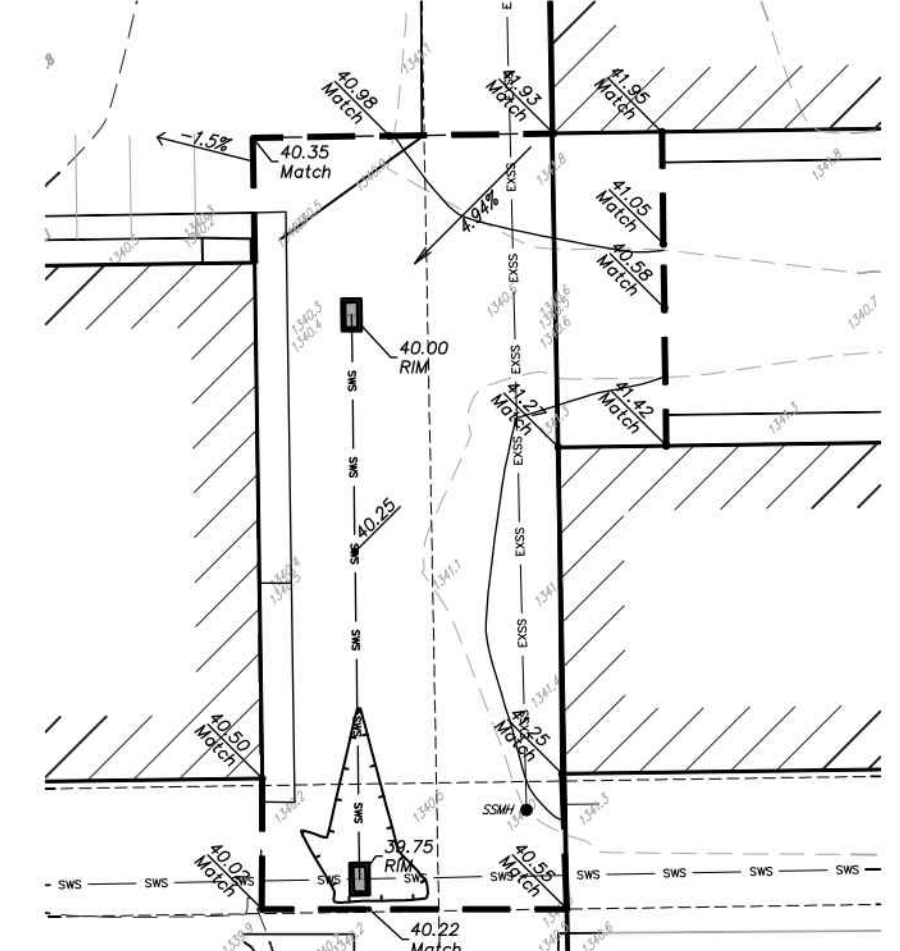
BENCHMARKS

Benchmark #1
"X" Centerline of Cypress and south ROW of Kellogg Frontage Road.
Elev. = 1344.65 (NAVD 88)

Benchmark #2
Mag washer 48' west of 33.5' north of NW corner of 8701 E. Kellogg Bldg.
Elev. = 1331.96 (NAVD 88)



A-A DETAIL
Scale 1" = 10'-0"



AREA B DETAIL
Scale 1" = 20'-0"



Baughman Company, P.A.
Wichita, KS

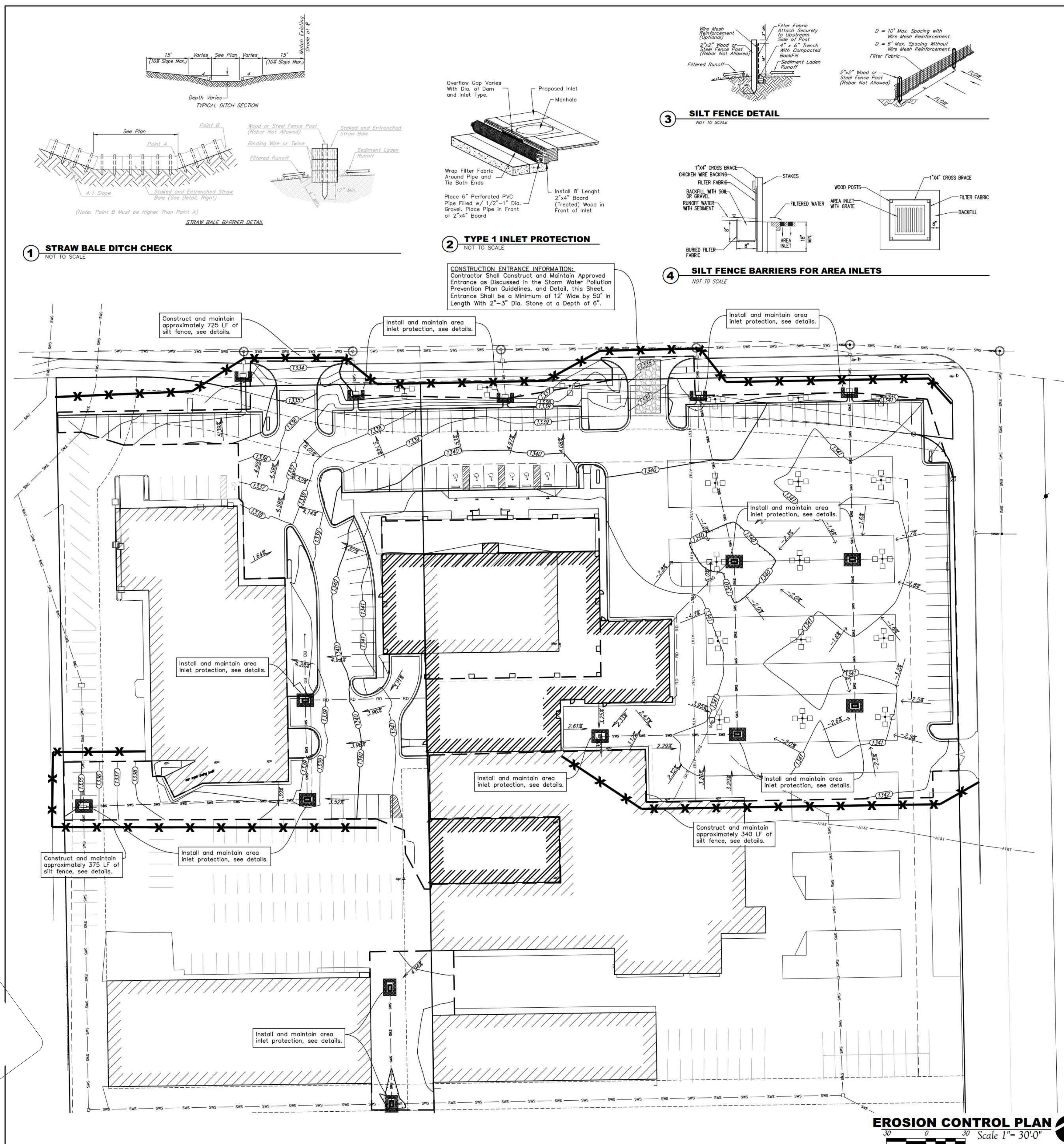
Grading Plan
Wichita, KS

5
7

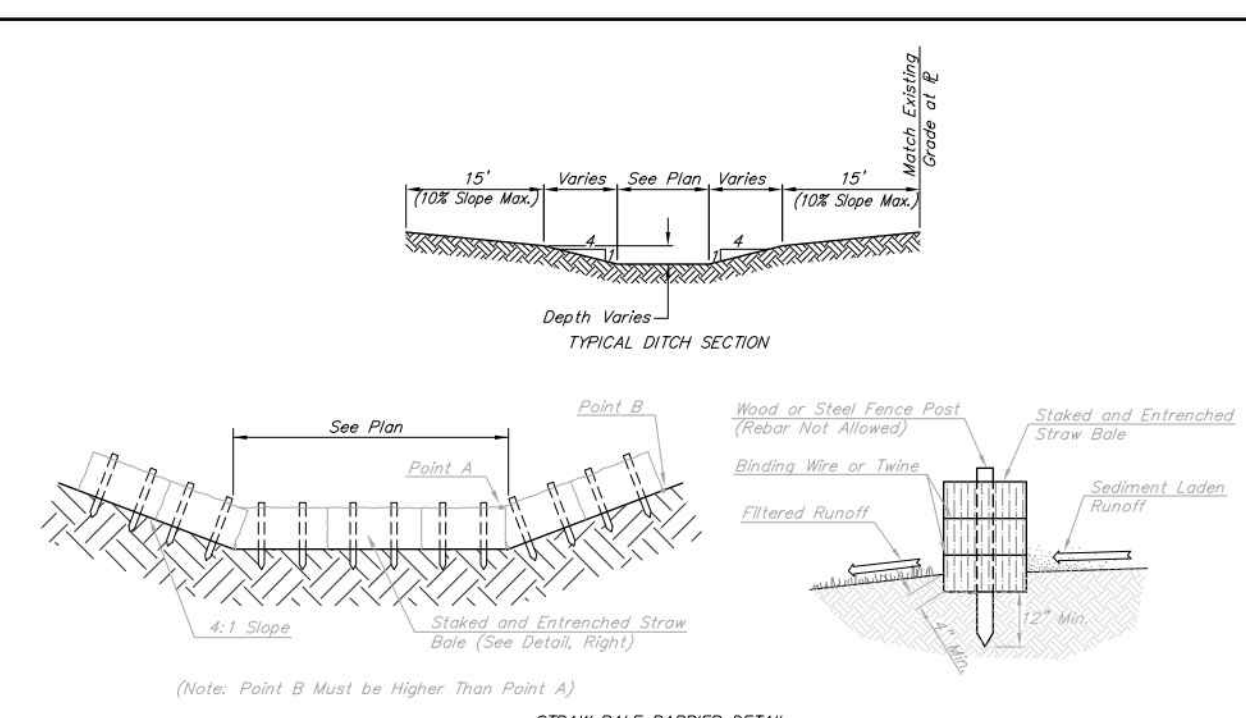
For Reference Only
See Site Plans
Not To Scale

Baughman Company, P.A.
115 E. 15th St., Wichita, KS 67211 P: 316-262-2271 F: 316-262-6040
JAMES H. BAUGHMAN, P.E. LICENSE NO. 18976 STATE OF KANSAS
The P. A. of Eddy's Chevrolet, 1515 S.E. 15th St., Lawrence, KS 66044

Eddy's Chevrolet (Lankin Addition)
GRADING PLAN
Storm Water Drain Improvements



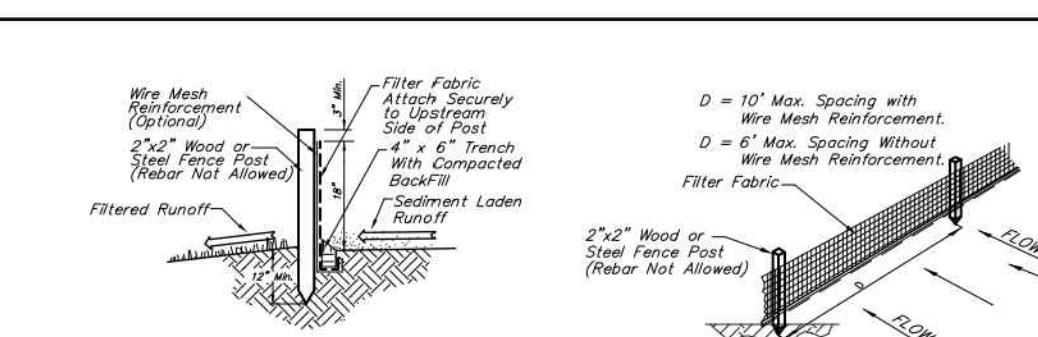
1 STRAW BALE DITCH CHECK
NOT TO SCALE



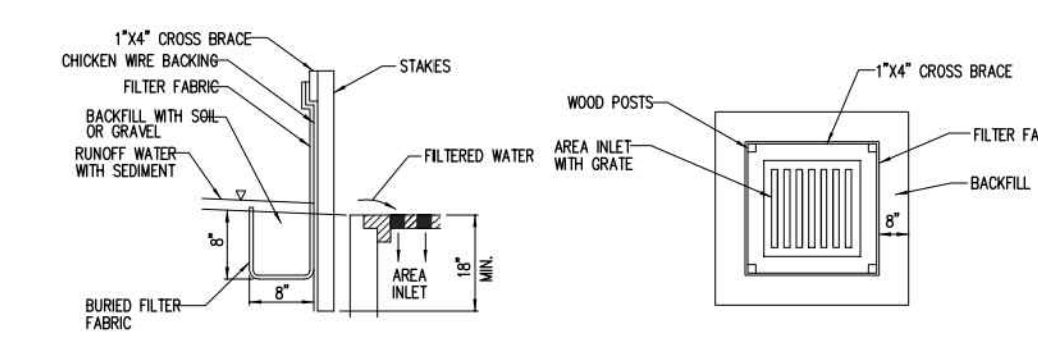
2 TYPE 1 INLET PROTECTION
NOT TO SCALE

CONSTRUCTION ENTRANCE INFORMATION:
Contractor Shall Construct and Maintain Approved Entrance as Discussed in the Storm Water Pollution Prevention Plan Guidelines, and Detail, this Sheet. Entrance Shall be a Minimum of 12' Wide by 50' in Length With 2"-3" Dia. Stone at a Depth of 6".

3 SILT FENCE DETAIL
NOT TO SCALE



4 SILT FENCE BARRIERS FOR AREA INLETS
NOT TO SCALE



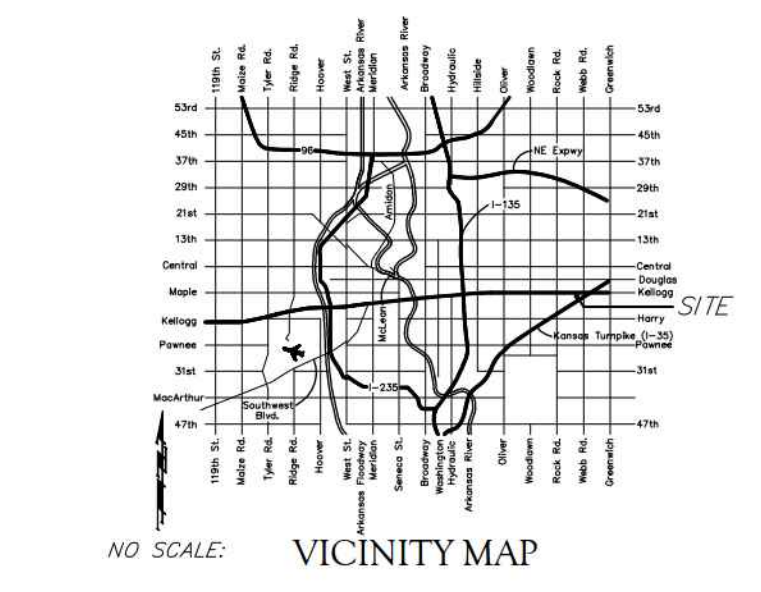
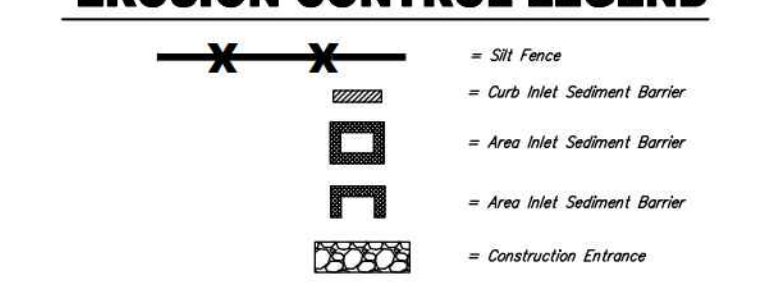
EROSION CONTROL NOTES

- No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and city specs (See #1).
- All exposed areas shall be seeded as specified within 21 days of final GRADING. Seed is to include straw mulch, crimped in place per industry standards.
- Should construction stop for longer than 14 days, the site shall be seeded as specified.
- Maintain erosion control measures after each rain and at least once a week.
- This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
- Contractor shall comply with all state and local ordinances that apply.
- Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
- Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
- If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
- All disturbed R/W areas not intended for pavement or sidewalk construction shall be hydroseeded with a Bermuda / Perennial Rye Grass Seed Mix. See Mass Grading specification sheet for seed mixture rate requirements.
- This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
- ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
- An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.
- Silt Fence is to be constructed to encompass 15' outside the Fair Cloth Skimmers at Sediment Basins 1, 2, & 3. Install Fair Cloth Skimmer per manufacturers specifications. Install maintain skimmer & silt fence per SWPP requirements.
- The Contractor is not allowed to import or export soil from this site. See site plans for stock pile requirements for this site.
- Contractor is responsible to maintain existing temporary and permanent erosion control measure during construction. If the existing channels have evidence of erosion, contractor is to restore channel to proposed grades and install cortex type 1 TRM to maintain channel until permanent vegetation is established.

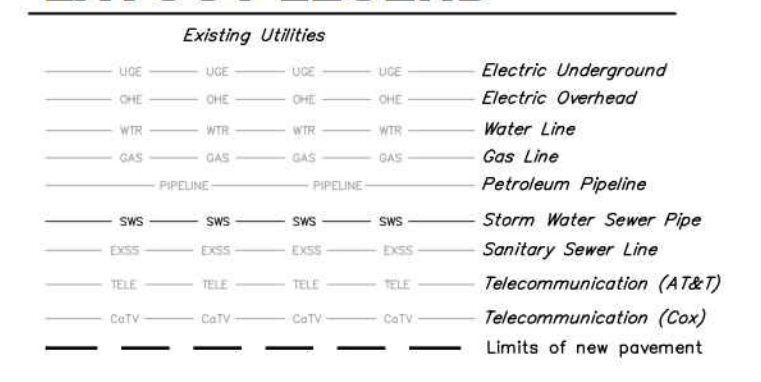
SITE INFORMATION

Part of Lot 1, Block 1, Lanekin Addition,
Part of Lot 1, Block 1, Lanekin Second Addition,
Lot 1 Turnpike Entrance 2nd Addition
Total Lot Area: 544,196sq. ft. (±12.49 acres)
Redeveloped Area: ±178,681 sq. ft. (4.10acres)

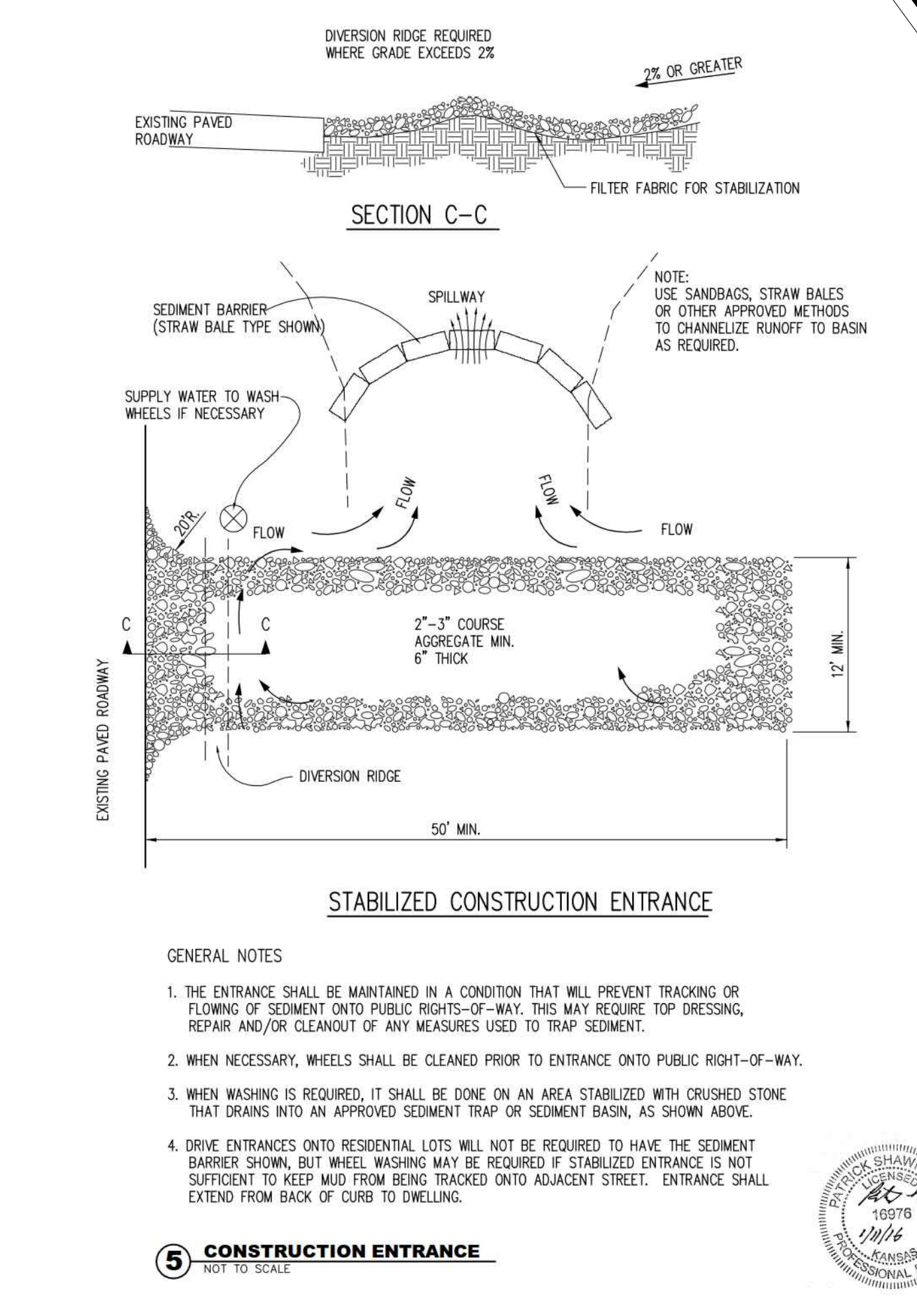
EROSION CONTROL LEGEND



LAYOUT LEGEND



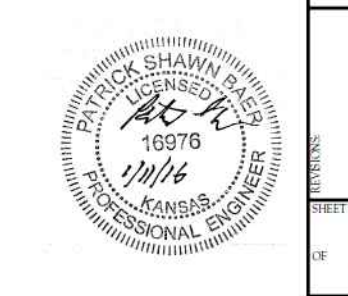
For Reference Only
See Site Plans
Not To Scale



5 CONSTRUCTION ENTRANCE
NOT TO SCALE

GENERAL NOTES

- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN WASHING IS REQUIRED, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
- DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.



For Reference Only
See Site Plans
Not To Scale

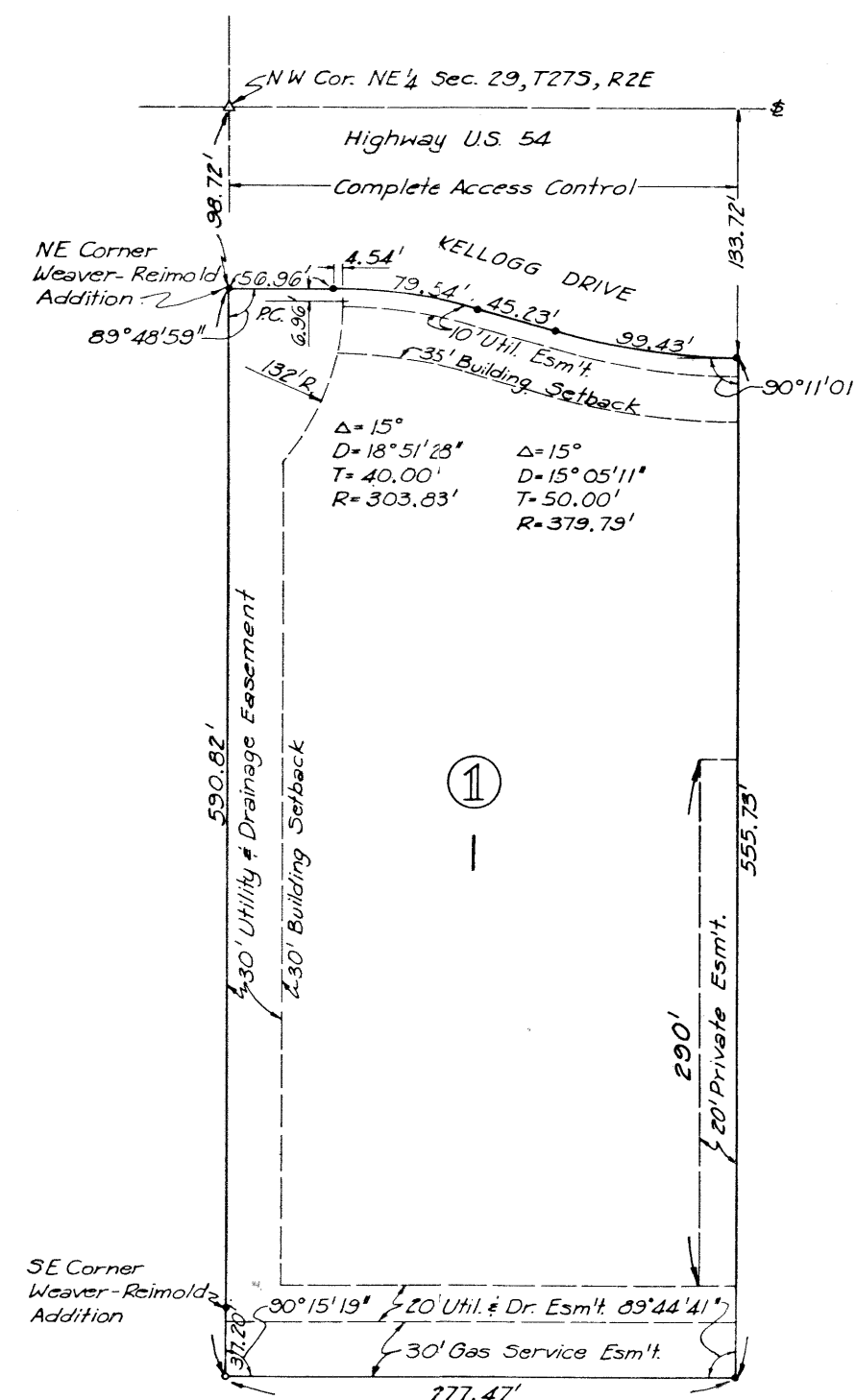
EROSION CONTROL PLAN
Scale 1" = 30' 0"

Erosion Control
W. Hill, KS

LANKIN SECOND ADDITION

SEDGWICK COUNTY, KANSAS

NE 1/4 SEC. 29-T27S-R2E



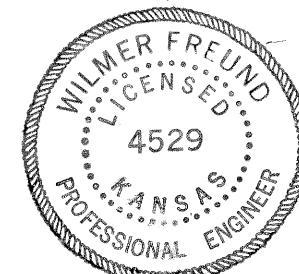
Scale 1"=100'
 • Irons (3/4" Pipe)
 set this survey
 • Irons (3/4" Pipe)
 previous survey

State of Kansas }
 County of Sedgwick } s.s

I, Wilmer Freund, a Licensed Professional Engineer in the State of Kansas, do hereby certify that I have surveyed and platted LANKIN SECOND ADDITION, Sedgwick County, Kansas, into a Block and a Lot, and that the accompanying plat is a true and correct exhibit of the property surveyed, described as follows: The west Seven Hundred Sixteen and Forty-eight Hundredths Feet (716.48') of the north Six Hundred Ninety Feet (690.0') of the NE 1/4 Section 29, T27S, R2E of the Sixth P.M., Sedgwick County, Kansas, except Lankin Addition, and except right of way for U.S. 54 Highway, said tract containing 3.65 acres, more or less.

March 23, 1971

Wilmer Freund
 Wilmer Freund, P.E.



Know all men by these presents that we, the undersigned, owners of the land described in the engineer's certificate, have caused the same to be surveyed and platted into a block and a lot, the same to be known as LANKIN SECOND ADDITION, Sedgwick County, Kansas. Utility and drainage easements as shown hereon are granted for the construction and maintenance of public utilities or drainage.

Kathleen Lankin
 Kathleen Lankin

Arthur Lankin
 Arthur Lankin

State of Kansas }
 County of Sedgwick } s.s

Be it remembered that on this 25th day of MARCH, 1971, before me, a Notary Public in and for said County and State, came Arthur Lankin and Kathleen Lankin, husband and wife, to me personally known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

My Commission expires FEBRUARY 11, 1974

Dee Ann Brooker
 Dee Ann Brooker, Notary Public

This plat of LANKIN SECOND ADDITION has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas. Dated this 11th day of March, 1971.

Robert A. Lakin
 Robert A. Lakin, Secretary

Floyd Soudiers
 Floyd Soudiers, Chairman

This plat approved and all dedications shown hereon accepted by the Board of City Commissioners of the City of Wichita, Kansas, this 26th day of October, 1971.

Ralph C. Eberly
 Ralph C. Eberly, City Clerk

Jack H. Greer
 Jack H. Greer, Mayor

This plat approved and all dedications shown hereon accepted by the Board of County Commissioners of Sedgwick County, Kansas, this 4th day of February, 1972.

ATTEST:

Marie Warden
 Marie Warden, County Clerk

Elmer S. Peters
 Elmer S. Peters, Chairman

Tom Scott
 Tom Scott, Commissioner

Earl E. Rush
 Earl E. Rush, Commissioner

Entered on transfer record this 4 day of February, 1972

102852

Marie Warden
 Marie Warden, County Clerk

State of Kansas }
 County of Sedgwick } s.s

This is to certify that this instrument was filed for record in the Register of Deeds Office, at 11 o'clock A.M., on the 4th day of February, 1972

Pearl Gilbert
 Pearl Gilbert, Deputy

John Hale
 John Hale, Register of Deeds

3-15-71 231-B-301

722-231-124

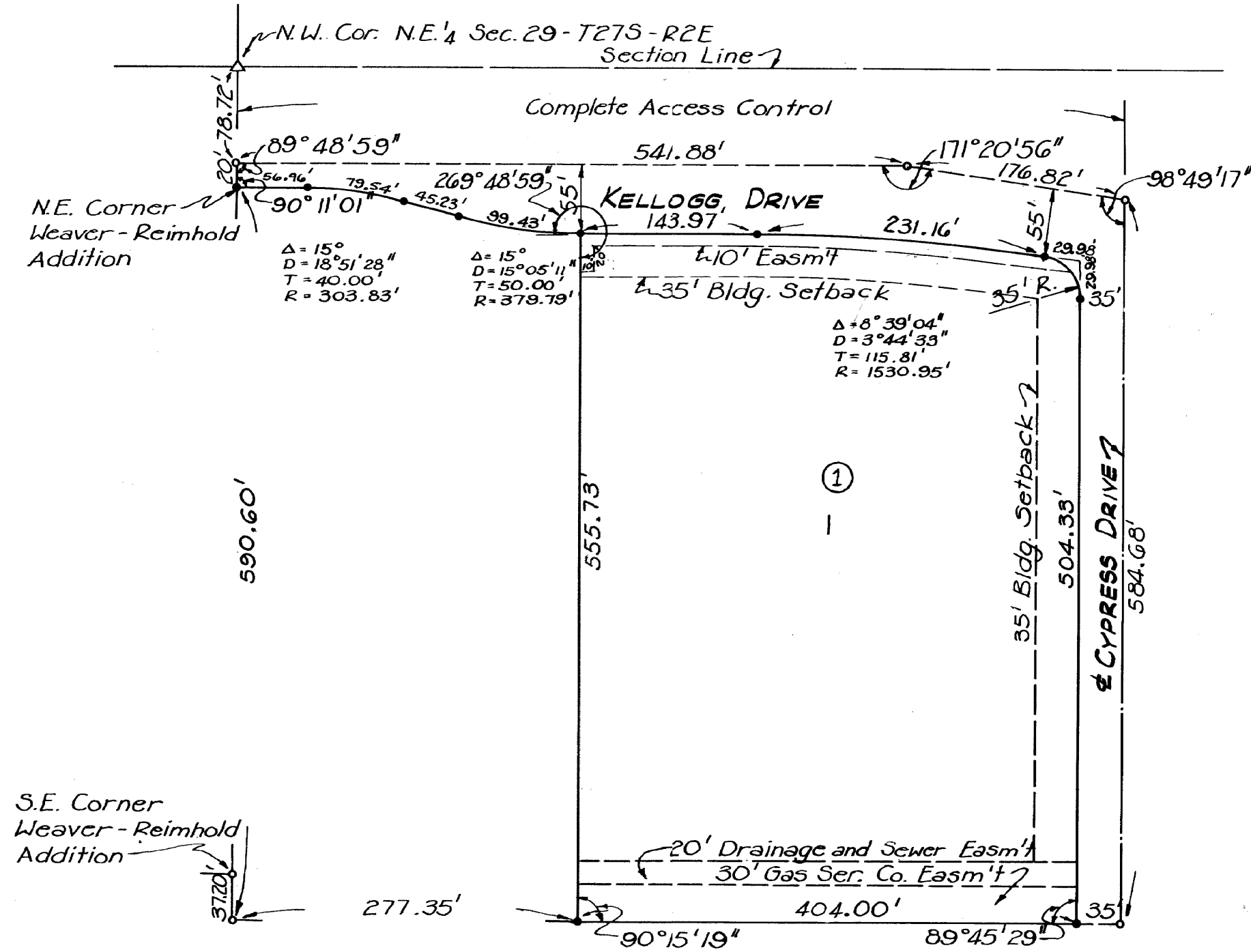
Baughman Company, P.A.
 15 E. 15th St., Wichita, KS 67211 P 162-2271 F 162-2040
 REGISTERED PROFESSIONAL ENGINEERS - KANSAS
 15 E. 15th St., Wichita, KS 67211 P 162-2271 F 162-2040

Eddy's Chevrolet (Lankin Addition)
 Copy of Plat
 Lankin Second Addition
 Storm Water Drain Improvements

SHEET
 OF 7
 8

LANKIN ADDITION

NE 1/4 SEC. 29-T27S-R2E
SEDGWICK COUNTY, KANSAS



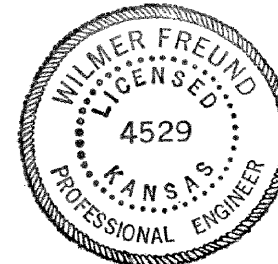
Scale 1"=100'
• Irons (3/4" pipe)
set this survey
• Irons previous
survey

State of Kansas }
County of Sedgwick } s.s

I, Wilmer Freund, a Licensed Professional Engineer in the State of Kansas, do hereby certify that I have surveyed and platted LANKIN ADDITION in Sedgwick County, Kansas, into a Block, a Lot and Drives, and that the accompanying plat is a true and correct exhibit of the property surveyed, described as follows: Beginning at a point Seventy-eight and Seventy-two Hundredths feet (78.72') south of the N.W. corner of the N.E. 1/4, Section 29-T27S-R2E, thence east along U.S. 54 Highway Right-of-Way line Five Hundred Forty-one and Eighty-eight Hundredths feet (541.88'), thence east-southeast along the Kansas Turnpike Right-of-Way line One Hundred Seventy-six and Eighty-two Hundredths feet (176.82'), thence south Five Hundred Eighty-four and Sixty-eight Hundredths feet (584.68'), thence west Four Hundred Thirty-nine feet (439.00') to a point Two Hundred Seventy-seven and Thirty-five Hundredths feet (277.35') east of the west line of said N.E. 1/4, thence north Five Hundred Fifty-five and Seventy-three Hundredths feet (555.73'), thence westerly on a curve to the right having tangent lengths of Fifty feet (50.00') and a radius of Three Hundred Seventy-nine and Seventy-nine Hundredths feet (379.79') a distance of Ninety-nine and Forty-three Hundredths feet (99.43'), thence westerly on tangent a distance of Forty-five and Twenty-three Hundredths feet (45.23'), thence westerly on a curve to the left having tangent lengths of Forty feet (40.00') and a radius of Three Hundred Three and Eighty-three Hundredths feet (303.83') a distance of Seventy-nine and Fifty-four Hundredths feet (79.54'), thence west Fifty-six and Ninety-six Hundredths feet (56.96') to a point on the west line of said N.E. 1/4 Section, thence north on said west line Twenty feet (20.00') to point of beginning, all in the N.E. 1/4 Section 29-T27S-R2E of the Sixth P.M.

Date April 22, 1969

Wilmer Freund
Wilmer Freund, P.E.



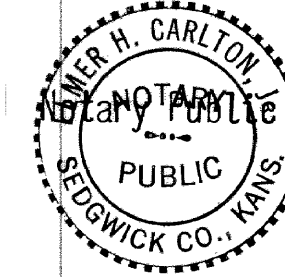
Know all men by these presents that we, the undersigned, owners of the land described in the engineer's certificate, have caused the same to be surveyed and platted into a block, a lot, and drives, the same to be known as LANKIN ADDITION in Sedgwick County, Kansas. Said drives are hereby dedicated to and for the use of the public. Utility easements as indicated on the accompanying plat are hereby granted for the construction and maintenance of public utilities. All rights of access along U.S. 54 Highway and Kansas Turnpike Authority Right-of-Way have been taken under Condemnation Case No. 54089 and Case No. A-57770 in the District Court of Sedgwick County, Kansas.

Arthur Lankin
Arthur Lankin

Kathleen Lankin
Kathleen Lankin

State of Kansas }
County of Sedgwick } s.s
Be it remembered that on this 25th day of April, 1969, before me, a Notary Public in and for said County and State, came Arthur Lankin and Kathleen Lankin, husband and wife, to me personally known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

My Commission expires April 10, 1971
Elmer H. Carlton, Jr.
Elmer H. Carlton, Jr.



This plat of LANKIN ADDITION has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.
Dated this 28th day of April, 1969.

Wichita-Sedgwick County Metropolitan Area
Planning Commission

By William J. Goebel, Chairman
William J. Goebel

By C. Bickley Foster, Secretary
C. Bickley Foster

The dedications shown on this plat accepted by the Board of City Commissioners of the City of Wichita, Kansas, this 20th day of May, 1969.

A. Price Woodard, Jr., Mayor
A. Price Woodard, Jr.

Ralph C. Eberly, City Clerk
Ralph C. Eberly

The dedications shown on this plat accepted by the Board of County Commissioners of Sedgwick County, Kansas, this 27th day of May, 1969.

ATTEST:
Earl E. Rush, Chairman
Earl E. Rush

Marie Warden, County Clerk
Marie Warden

Tom Scott, Commissioner
Elmer S. Peters, Commissioner
Tom Scott
Elmer S. Peters

Entered on transfer record this 27 day of May, 1969.

Marie Warden, County Clerk
Marie Warden

State of Kansas }
County of Sedgwick } s.s
This is to certify that this instrument was filed for record in the Register of Deeds Office, at 8 o'clock A.M., on the 27th day of May, 1969.

John Hale, Register of Deeds
John Hale
Pearl Gilbert, Deputy
Pearl Gilbert