

# GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:  
Kansas One-Call 687-2470  
The Contractor must notify the following in case of an emergency:  
AT&T 1-800-246-8464  
Black Hills Energy 1-800-694-8989  
City of Wichita Water 1-316-268-4555  
City of Wichita Sewer 1-316-268-4073  
City of Wichita Stormwater 1-316-268-4090  
City of Wichita Traffic 1-316-268-4034  
Cox Communications 1-888-249-3530  
Kansas Gas Service 1-888-482-4950  
Westar Energy 1-800-544-4857
- Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Water Distribution Division shall field locate water valve one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades.
- The Contractor shall notify the consultant engineer and Tom Mason with the City at 316-268-4574 with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic is impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at [traffic@wichita.gov](mailto:traffic@wichita.gov), before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are U.S.G.S. Datum (NAVD 88).
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.
- A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top of the manhole.
- Geotechnical report available upon request.
- Contractor shall limit the extend of trench open overnight and weekends to less than 50 feet.
- Contractor shall provide positive drainage away from all manhole covers.
- City maintenance of storm sewer ends at right-of-way or easement line. All other stormwater lines, including SWS Line 1 are private owned and maintained.
- Any sidewalk, drive approach, curb, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- The inspecting firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.
- All excess excavation shall remain on-site and shall be stockpiled or spread at a location determined by the engineer.
- The Contractor shall not begin work on the project until the Project Inspector is assigned and on site. Any work completed without inspection will be required to be uncovered for inspection at the Contractor's expense.
- Structure location coordinates are to the center of structure and are to be located with a coordinate datum per the provided control points.

## BENCHMARK

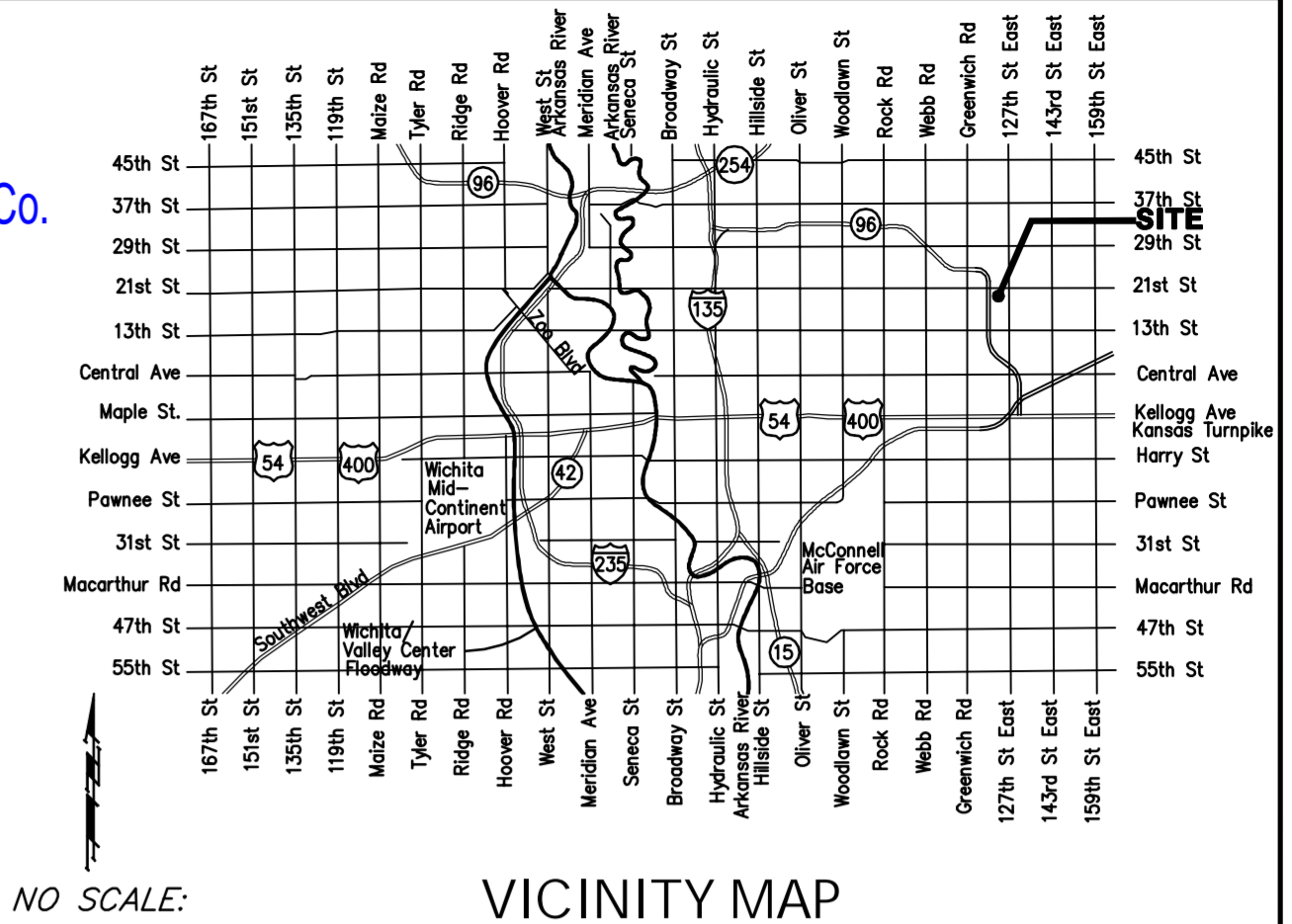
"Square" Chiseled on Top of Catch Basin  
Approx. 41' West and 13' South of the NE  
property corner of Parcel B-1, Part of Lot  
4, Block 1, The Collective, An Addition to  
Wichita, Sedgwick County, Kansas.  
Elevation=1373.49 (NAVD 88)

# STORM SEWER IMPROVEMENTS to serve Parcel A, Lot 4, Block 1, The Collective Add. CITY OF WICHITA, KANSAS

Gary Janzen, P.E. City Engineer  
Project Number  
0328 PPD (607861)

## AS BUILT PLANS

Contractor: Newfarmer Excavating  
Inspector: David Vancycle, Baughman Co.  
pdf's by: KEK, 11/23/15



## SHEET INDEX:

Title Sheet	1
Line 1	2
Reference Grading Plan/ERU	3
Reference Erosion Control Plan	4
Copy of Plan	5

## VICINITY MAP

## SITE ERU INFO.

Site Area:	±28,704 sq. ft. (±0.66 acres)
Existing Impervious Area:	0 sq. ft.
Proposed Impervious Area:	±19,312 sq. ft. (±0.44 acres)
Pervious Area:	±9,392 sq. ft. (±0.22 acres)

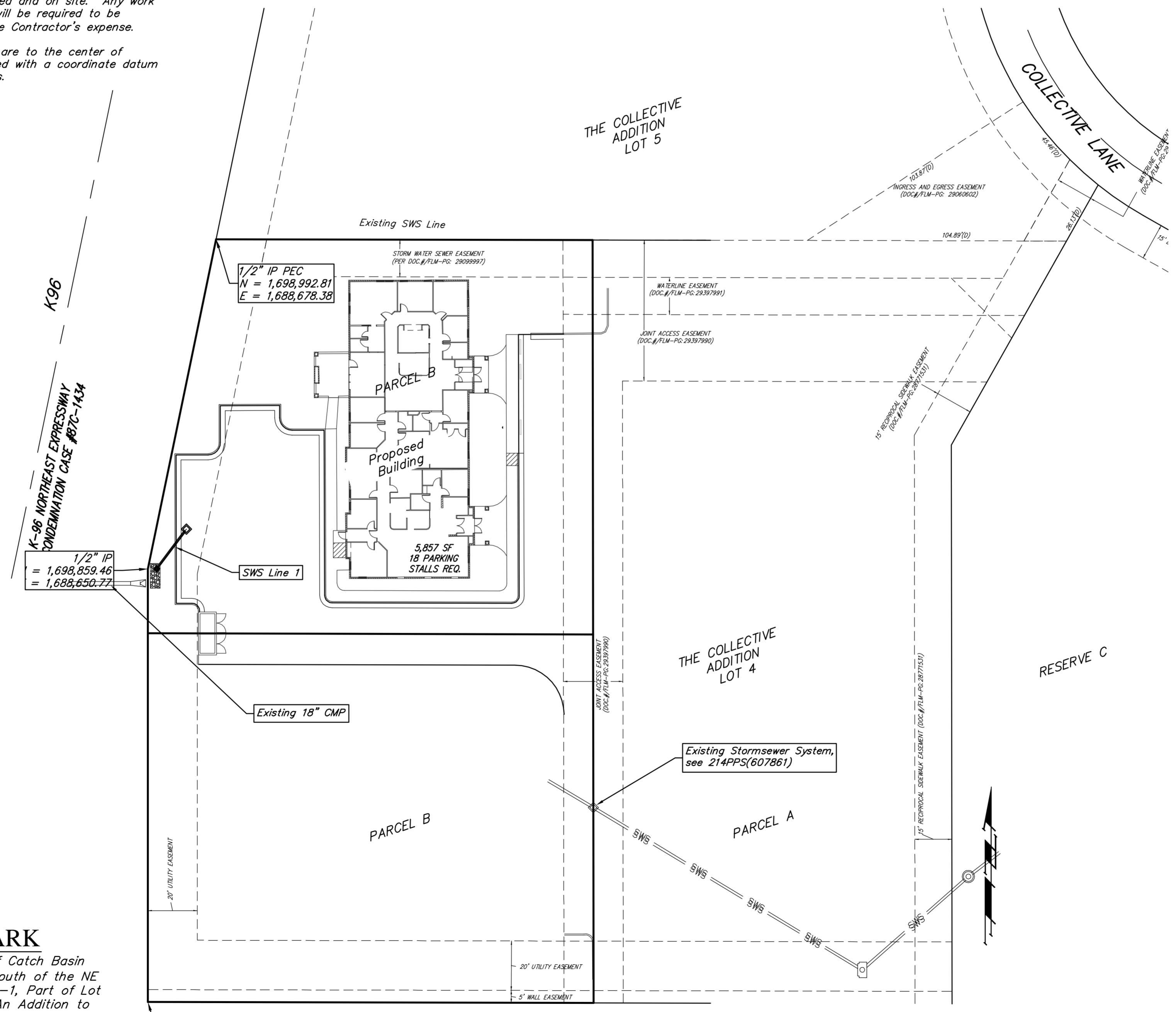
## Stormwater Narrative & Certification

These improvements were prepared in accordance with the current Storm Water Management Regulations as set forth in the City of Wichita's Storm Water Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Storm Water Manual.

Site Area: 28,704 sq. ft.  
Water Quality Treatment: East part of Site: Wet Detention Basin, Draining East (\*)  
West part of Site: Area Inlet with Snout & Sump, Draining West

**Detention: Wet Detention Basin (\*)**  
(Eastern third of site drainage) See 214PPD(607861) for water quality detention calculations. Area draining to Wet detention basin has accounted for proposed runoff and water quality requirements, see prior PPD noted.  
(West two-thirds of site drainage) drains directly to K-96 Right of Way. Per approved Drainage Report, net decrease of drainage area addresses proposed improvements. Water quality measures address with area inlet with snout & sump.

**BMPs used for this development are:**  
Silt Fence, Area Inlet protection, & TRM,  
Downstream Channel Protection Downstream Channel Protection is not required, subject to total site improvements do not exceed 5.0 acres.  
**Water Quality Requirements** East third of site will drain to the existing stormsewer system located on parcel A & B of Lot 4. This drains into the wet detention basin located in Reserve C and has been justified to treat water quality requirements, see 0214PPD(607861) for details. The west two thirds of the site drains into a Area Inlet with a Snout & Sump, to provide water quality measures, then daylighting west and draining into an existing CMP located in the K-96 Right of Way.



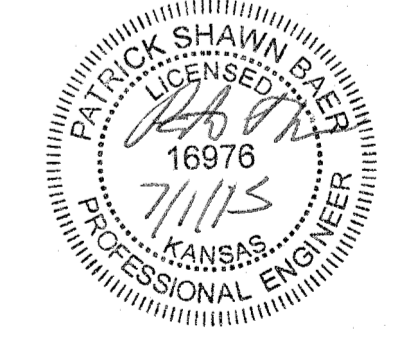
APPROVED AS NOTED  
BY WICHITA PUBLIC WORKS ENGINEERING  
AND STORMWATER DIVISION

Engineering *Robert J. Janzen* 7/1/2016  
Stormwater *[Signature]* 07/01/15

NOTE TO CONTRACTORS

Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions. (on file and available at Wichita.gov).

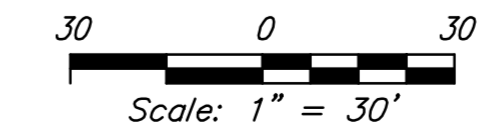
An approved copy of these plans signed by City staff are required on-site.



JUNE 2015

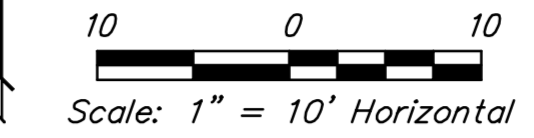


Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149  
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE



**BENCHMARK**

"Square" Chiseled on Top of Catch Basin  
 Approx. 41' West and 13' South of the NE  
 property corner of Parcel B-1, Part of Lot  
 4, Block 1, The Collective, An Addition to  
 Wichita, Sedgwick County, Kansas.  
 Elevation=1373.49 (NAVD 88)



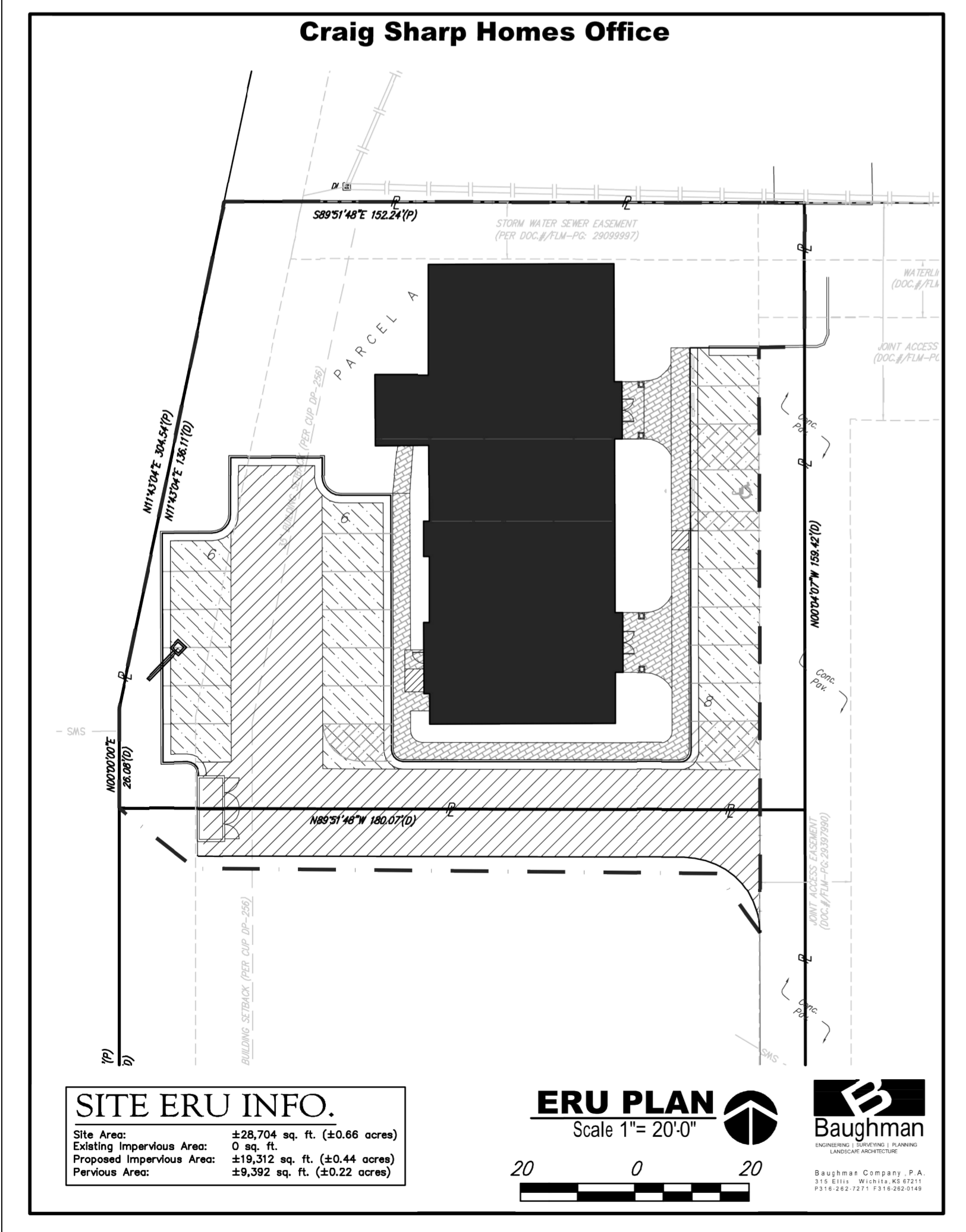
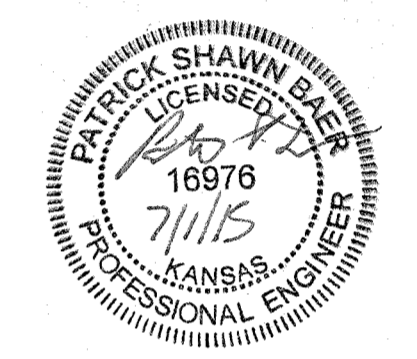
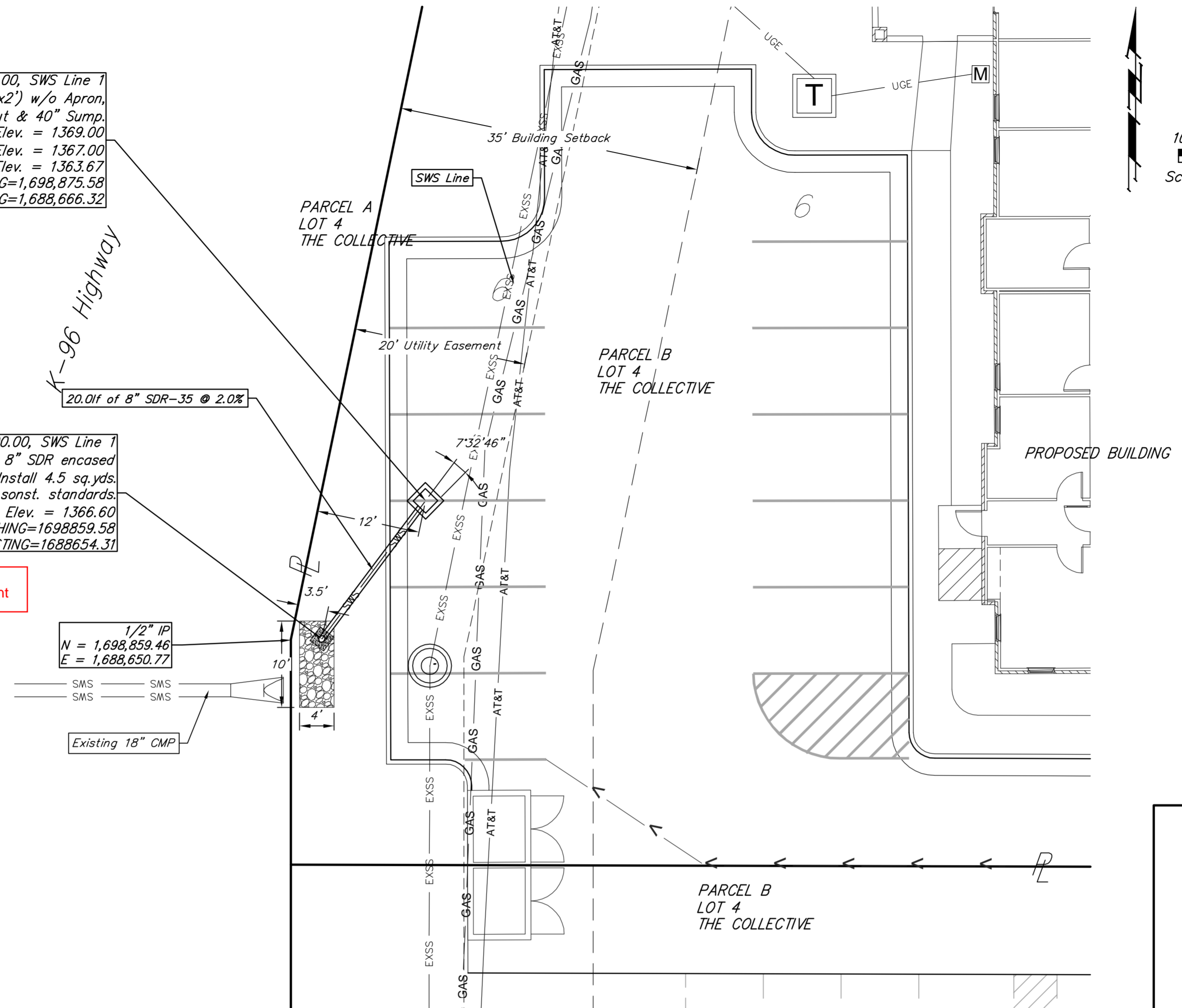
Sta. 0+20.00, SWS Line 1  
 Install Single Area Inlet (2'x2') w/o Apron,  
 w/ LP318F Snout & 40" Sump.  
 Rim Elev. = 1369.00  
 8" FL Elev. = 1367.00  
 Sump Elev. = 1363.67  
 NORTHING=1,698,875.58  
 EASTING=1,688,666.32

Sta. 0+00.00, SWS Line 1  
 Begin SWS Line 1, Install 8" SDR encased  
 with 24"x24"x6" Concrete Apron. Install 4.5 sq.yds.  
 of Light Stone Rim-rap per COW const. standards.  
 8" FL Elev. = 1366.60  
 NORTHING=1698859.58  
 EASTING=1688654.31

3.5 SY installed of rip-rap  
 Apron 24"x21" no encasement

1/2" IP  
 N = 1,698,859.46  
 E = 1,688,650.77

Existing 18" CMP

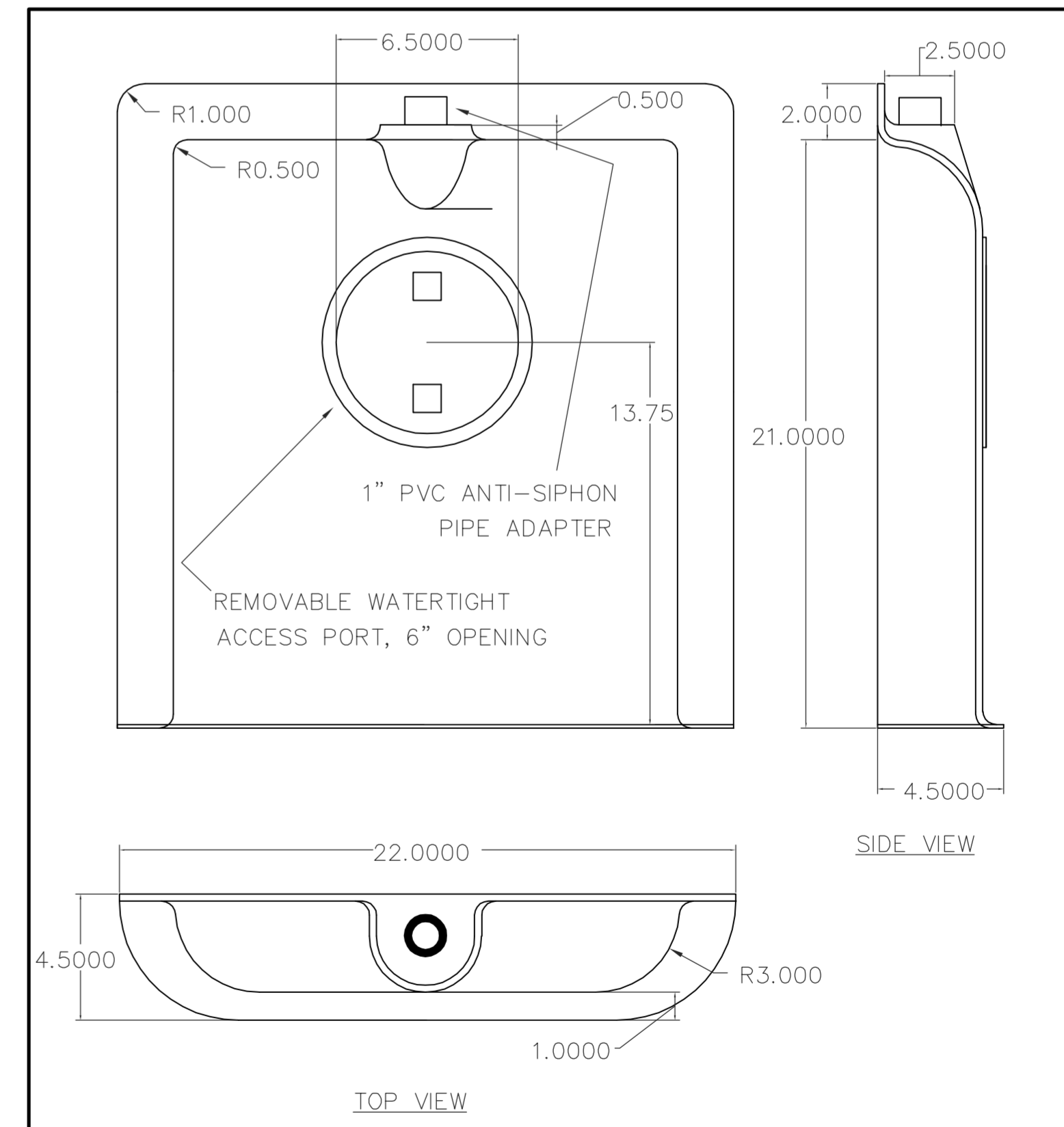


**SITE ERU INFO.**  
 Site Area: ±28,704 sq. ft. (±0.66 acres)  
 Existing Impervious Area: 0 sq. ft.  
 Proposed Impervious Area: ±19,312 sq. ft. (±0.44 acres)  
 Pervious Area: ±9,392 sq. ft. (±0.22 acres)

**ERU PLAN**  
 Scale 1"= 20'-0"



Baughman Company, P.A.  
 215 SOUTH WICHITA, KANSAS 67201  
 316.262.0149



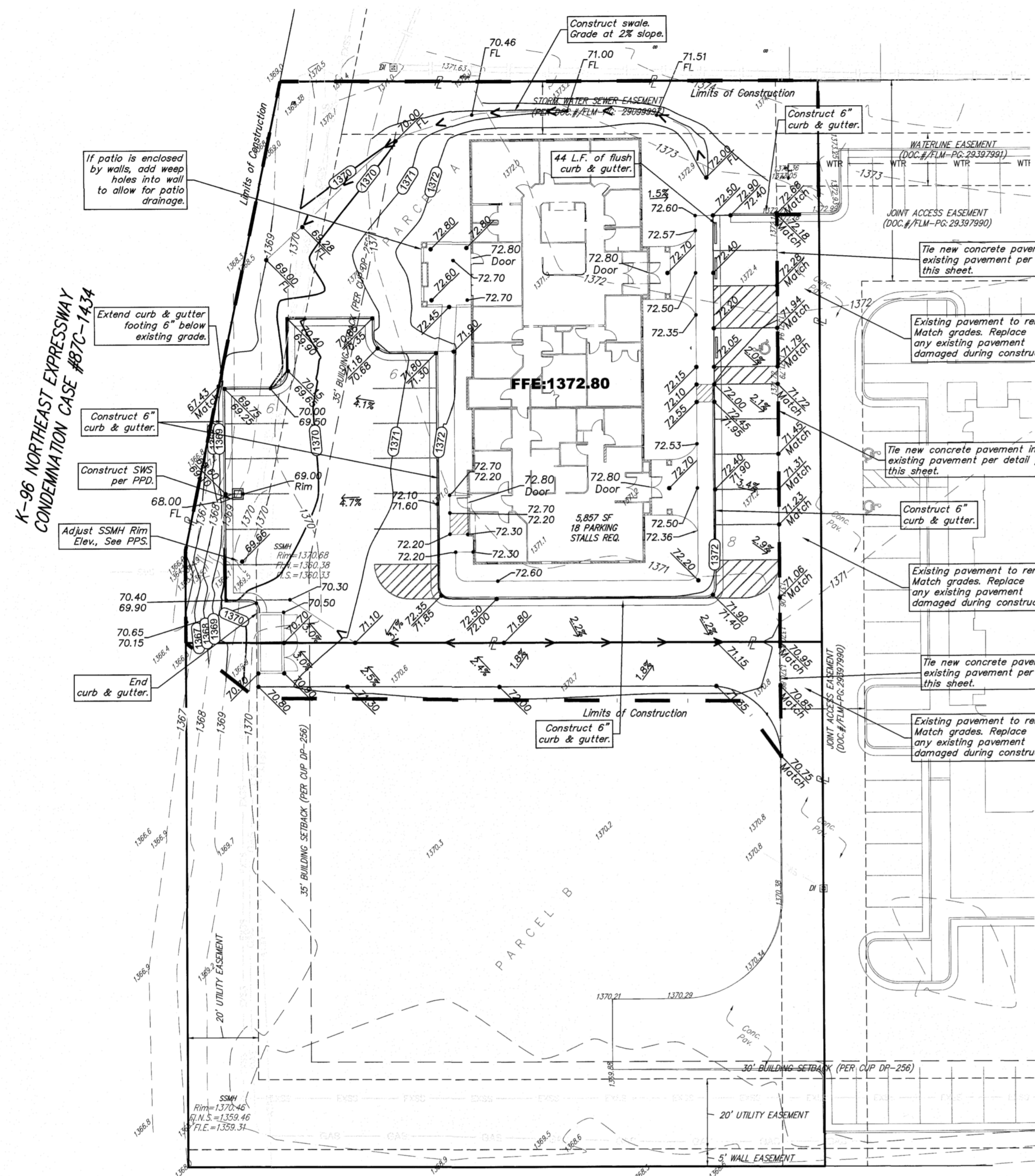
US PATENT #6126817  
 CANADA PATENT# 2285146

<b>BMP, INC.</b>		
53 MT. ARCHER ROAD, LYME, CT. 06371 (800) 504-8008 FAX: (860)434-3195		
DESCRIPTION	DATE	SCALE
BMP LP318F	04/02/07	NONE
LOW PROFILE		
SNOUT	DRAWING NUMBER	LP318F

Baughman Company, P.A.  
 315 E. 10th St., Wichita, KS 67201 P: 316.262.0149  
 800.504.8008 F: 860.434.3195  
 KANSAS LICENSE #16976  
 PROFESSIONAL ENGINEER

Craig Sharp Office  
**LINE 1**  
 Storm Water Drain Improvements

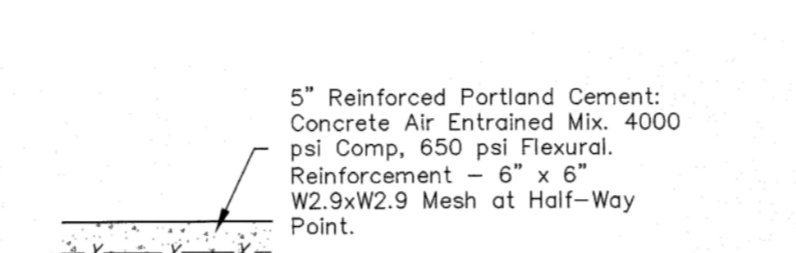
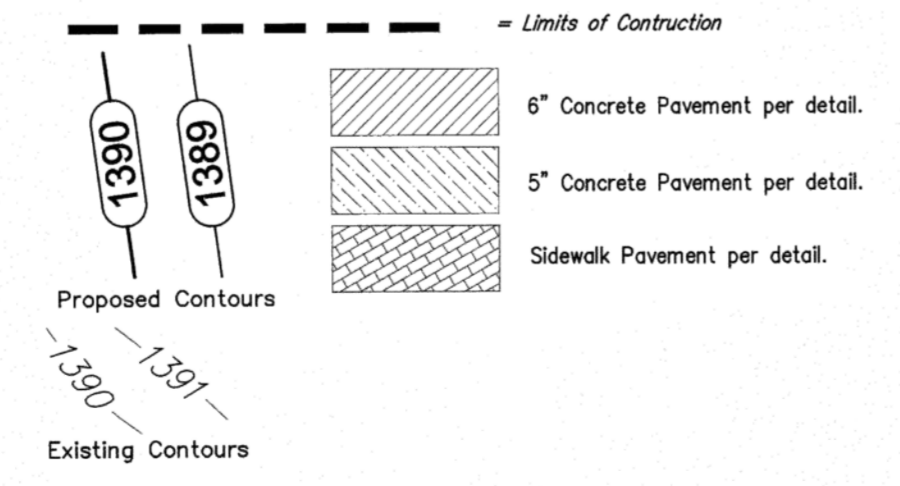
SHEET  
 OF  
 2  
 5



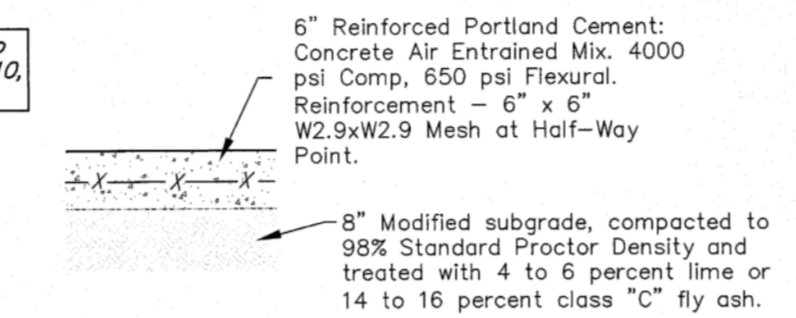
**SITE GRADING PLAN**  
Scale 1" = 20' 0"

**GRADING LEGEND**

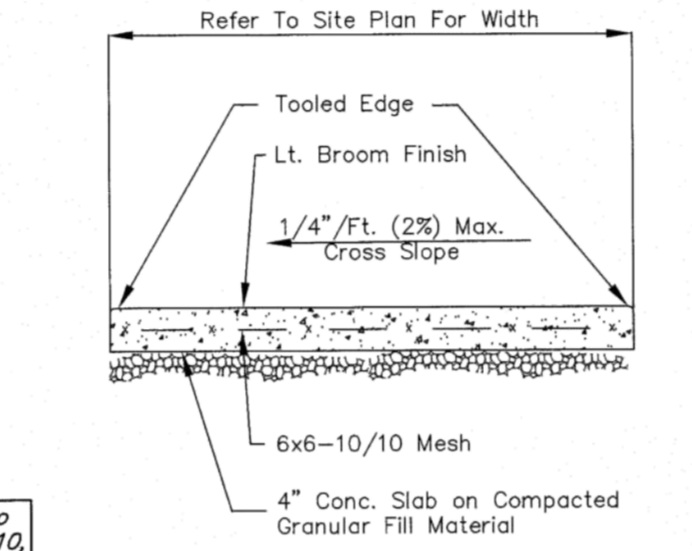
Existing Utilities		Electric Underground	
— UGE	— UGE	— OHE	— OHE
— WTR	— WTR	— GAS	— GAS
— PIPELINE	— PIPELINE	— SWS	— SWS
— EXSS	— EXSS	— TELE	— TELE
— C&TV	— C&TV	— TELE	— TELE



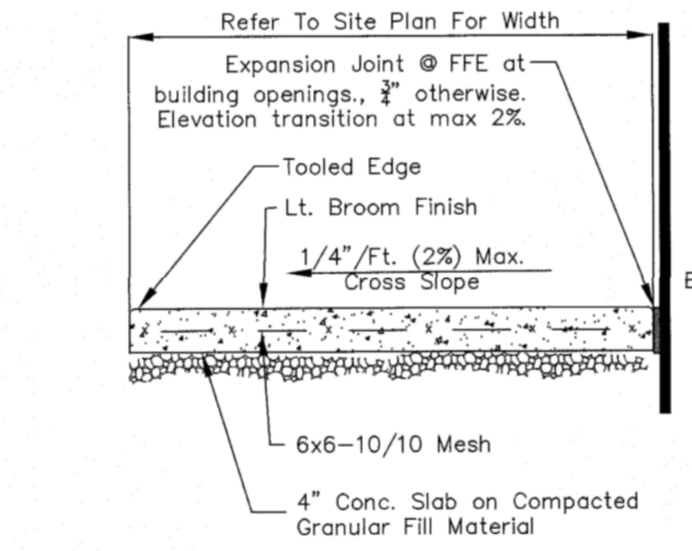
**1 5\"/>**



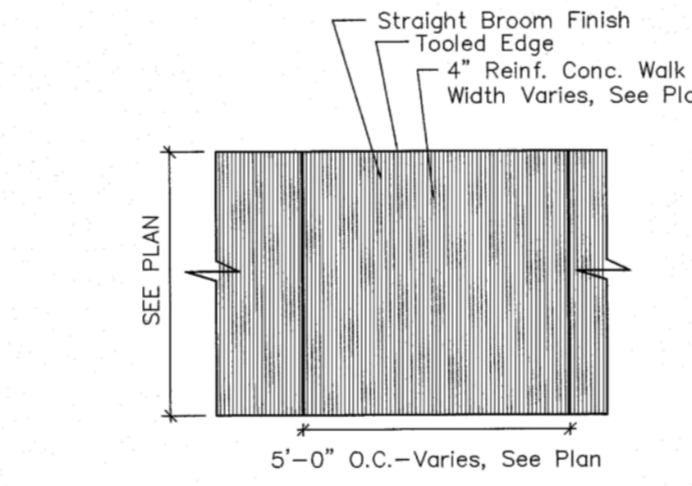
**2 6\"/>**



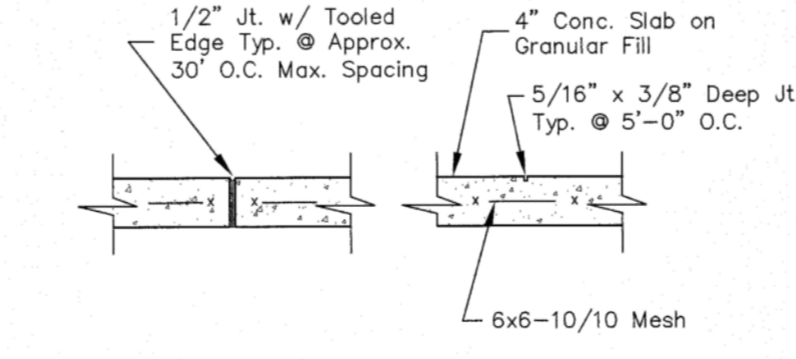
**3 TYP. CONC. WALK SECTION**  
NOT TO SCALE



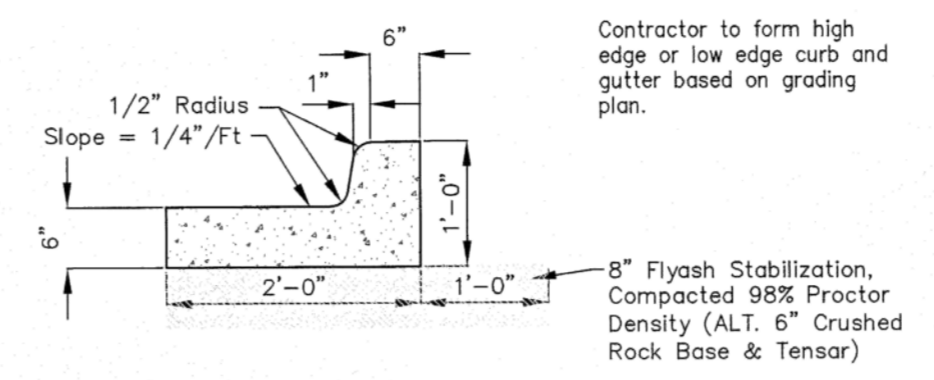
**4 TYP. CONC. WALK @ BLDG WALL**  
NOT TO SCALE



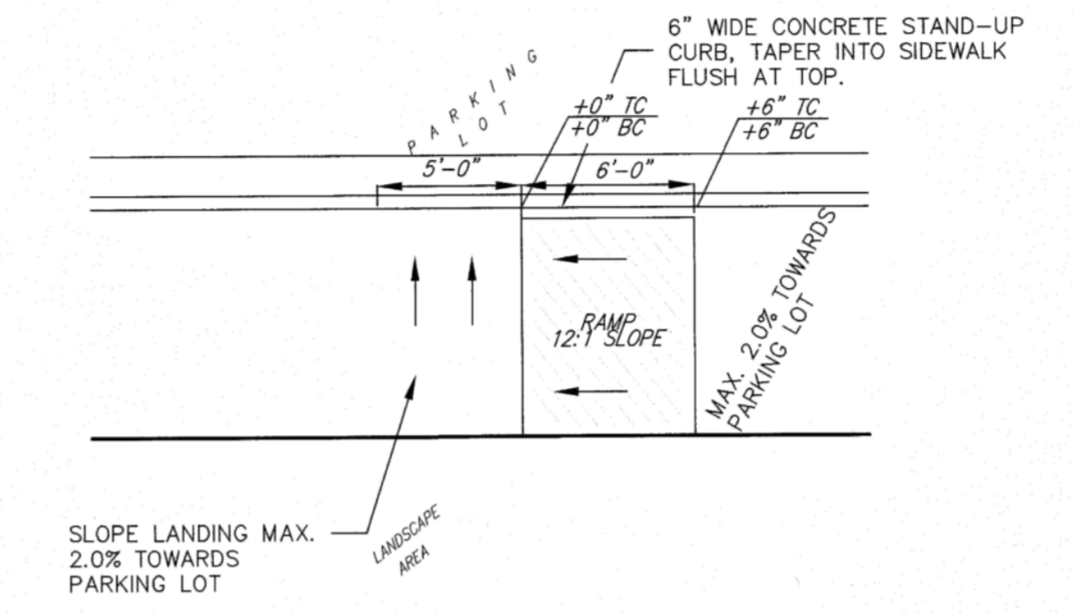
**5 TYP. PATTERN IN WALK**  
NOT TO SCALE



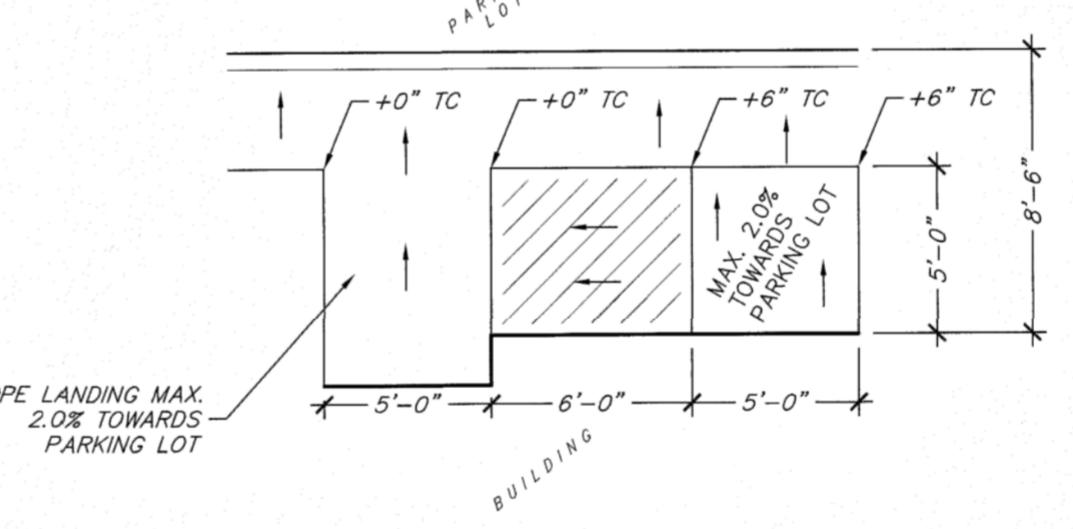
**6 SIDEWALK JOINTS**  
NOT TO SCALE



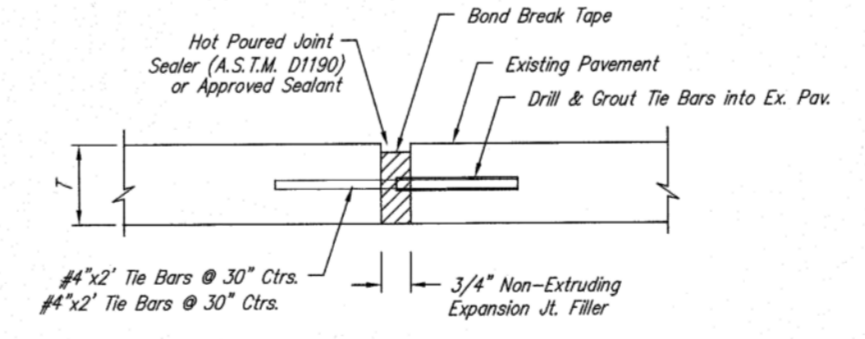
**7 CURB & GUTTER SECTION**  
NOT TO SCALE



**8 HANDICAP RAMP**  
NOT TO SCALE



**9 HANDICAP RAMP @ SW ENTRANCE**  
NOT TO SCALE



**10 EXPANSION JOINT (E.J.)**  
NOT TO SCALE

**BENCHMARK**

"□" Chiselled on Top of Catch Basin Approx. 41' West and 13' South of the NE property corner of Parcel B-1, The Collective, An Addition to Wichita, Sedgwick County, Kansas.  
Elevation=1373.49 (NAVD 88)

**LEGAL DESCRIPTION**

Parcel A, The Collective, An Addition to Wichita, Sedgwick County, Kansas.

**SITE INFORMATION**

Total Area:	±28,704 sq. ft. (0.66 acres)
Disturbed Area:	±28,704 sq. ft. (0.66 acres)
Impervious Area:	±19,312 sq. ft. (0.44 acres)
ERU Ex. Impervious:	0 sq. ft.
ERU Proposed Impervious:	±19,312 sq. ft. (0.44 acres)
Building Area:	5,857 sq. ft.
Parking Required:	5857/333=17.6=18
Parking Provided:	20 Spaces, including 1 Accessible Stall

**GRADING NOTES**

- Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of three (3) working days prior to any excavation or work adjacent to utilities.  
Kansas One Call 1-800-DIG-SAFE
- The Contractor must notify the following in case of an emergency:  
Kansas Gas Service (Gas).....1-888-482-4950  
Black Hills Energy (Gas).....1-800-303-0357  
Westar Energy (Electric).....383-8650  
Cox Communications (Telecommunication).....262-4270  
AT&T (Telecommunication).....288-2759  
City of Wichita Water Dept. (Water).....288-4563  
or 288-4908  
City of Wichita Sewer Maint. (San. Sewer).....268-4024  
or 262-6000  
City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4090  
City of Wichita Traffic Maint. (Traf. Control).....268-4034  
or 268-4203  
Conoco Pipeline Co. (Petroleum).....1-800-231-2551  
Williams Pipeline Co. (Petroleum).....529-6600  
or 1-800-324-9696  
Phillips Pipeline Co. (Petroleum).....1-800-766-8230
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by demolition on this project shall be handled in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD).
- The Contractor shall provide appropriate signage throughout the sequence of construction clearly stating where construction entrances are.
- The Contractor shall take all necessary precautions to protect the general public during the construction and demolition process. This may include the use of fences and signage.
- Refer to Landscape Plan for Treatment of All Disturbed Areas.
- Signaling and striping shall be installed in accordance with Local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
- Paved Lot to be constructed with Paving as shown. Subgrade to be compacted to 98% Standard Proctor Density and treated with 4 to 6 percent lime or 14 to 16 percent class "C" fly ash. Refer to pavement details to verify depths and Paving type.
- Cross-Slopes on sidewalks shall not exceed 1/4" per foot (or 2%). Notify Engineer of any discrepancies prior to forming of walks.

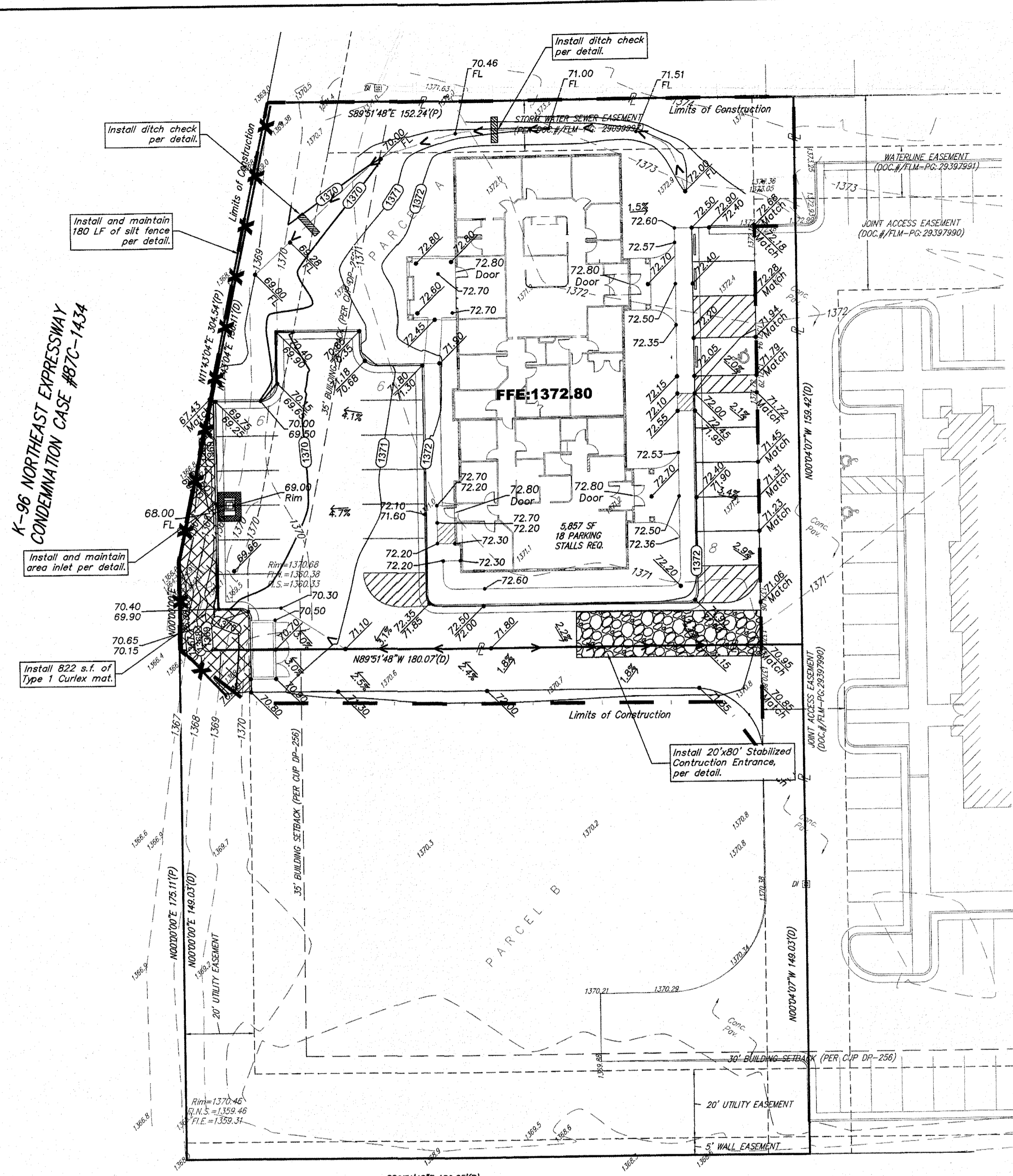
**FOR REFERENCE ONLY  
SEE APPROVED FINAL SITE  
PLANS FOR CONSTRUCTION**



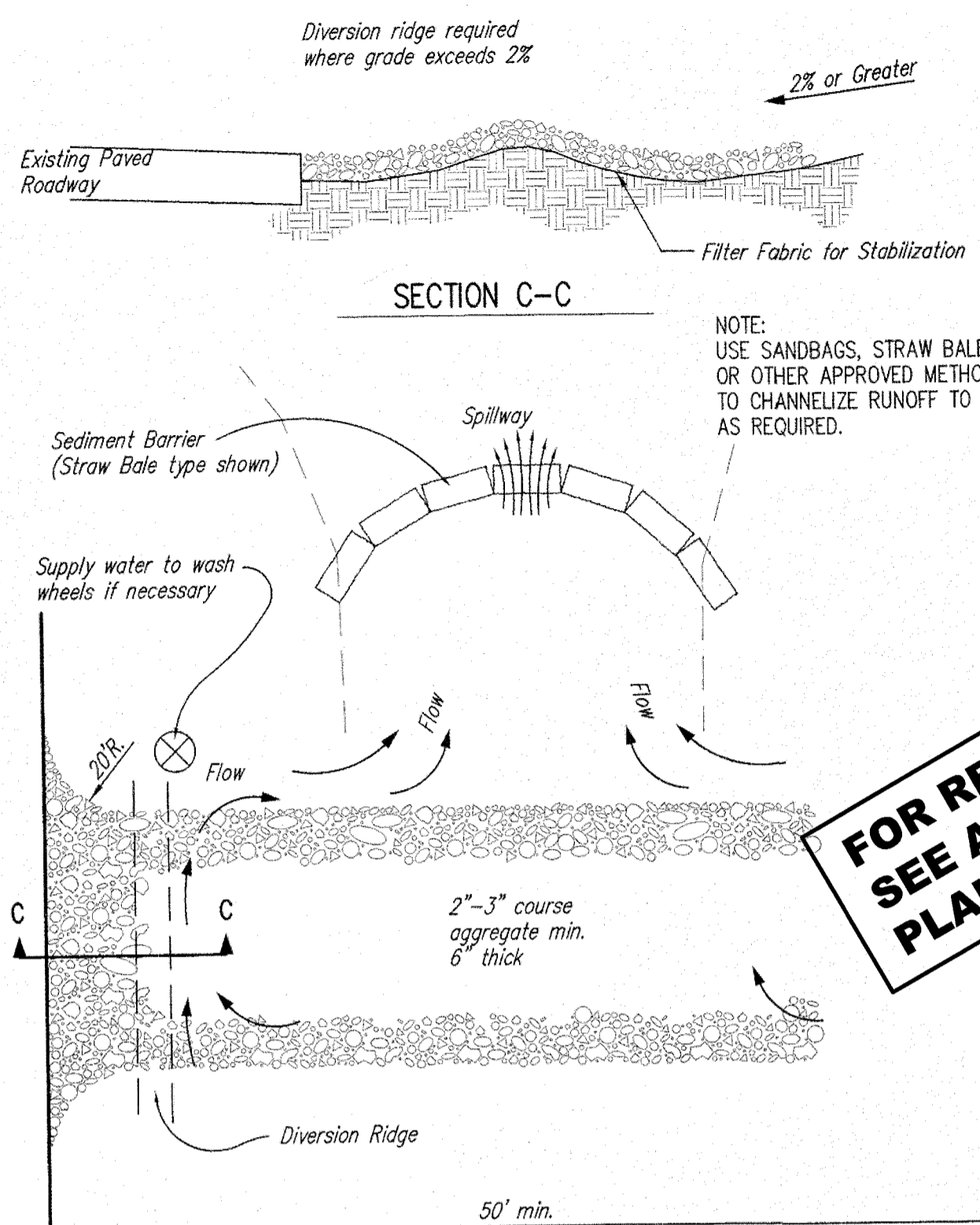
**Baughman GRADING PLAN**  
Parcel "A", Lot 4, Block 1

PROJECT NUMBER 1504-E237	DESIGN DML	DRAWN DML
REVISIONS:	APPROVED DATE 5/29/15	SCALE AS SHOWN
SHEET <b>2 OF 5</b>		

E:\Project\The Collective\_1504E237\Craig Sharp Home Office\Engineering\CSH\_BASE.dwg

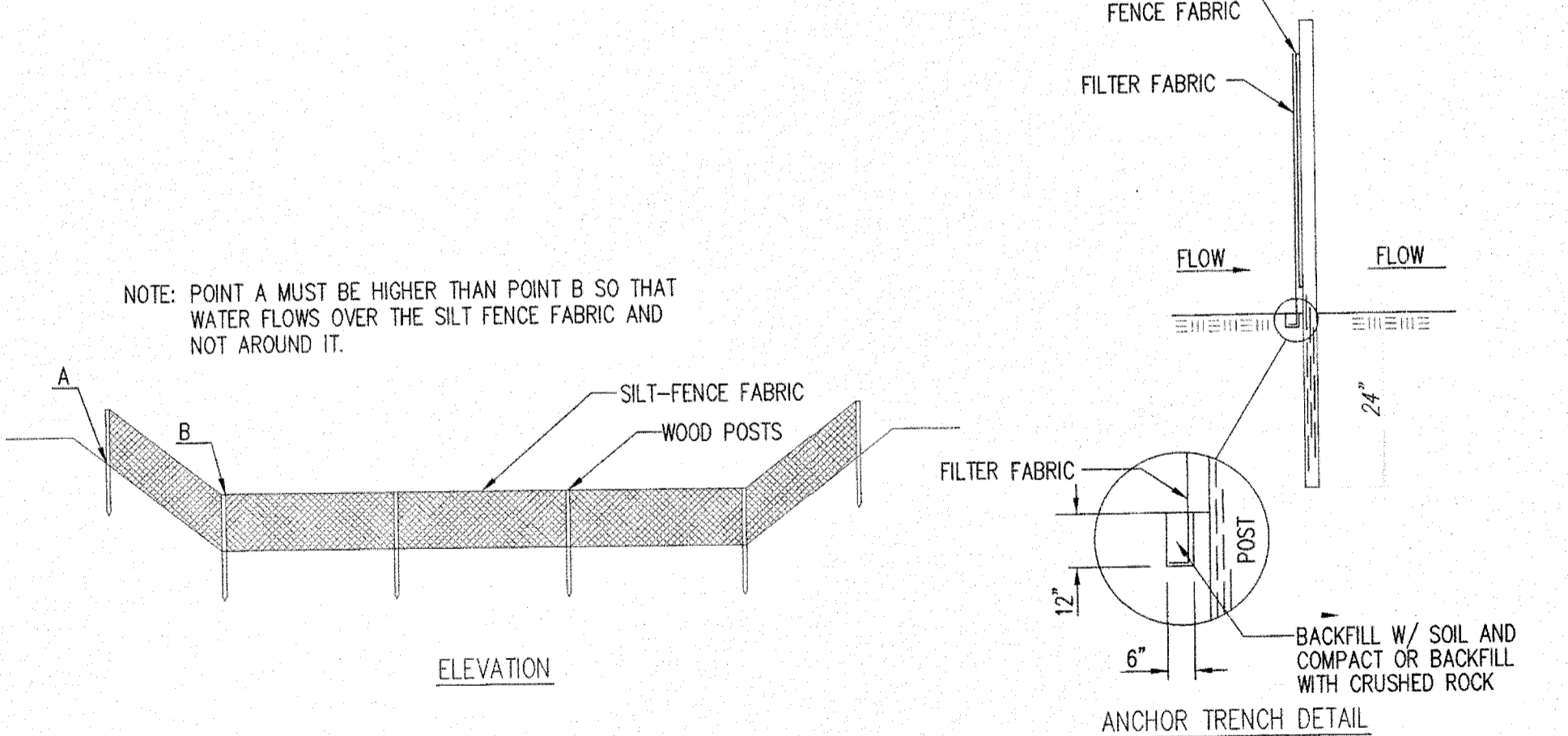


**SITE EROSION CONTROL PLAN**  
Scale 1" = 20' 0"

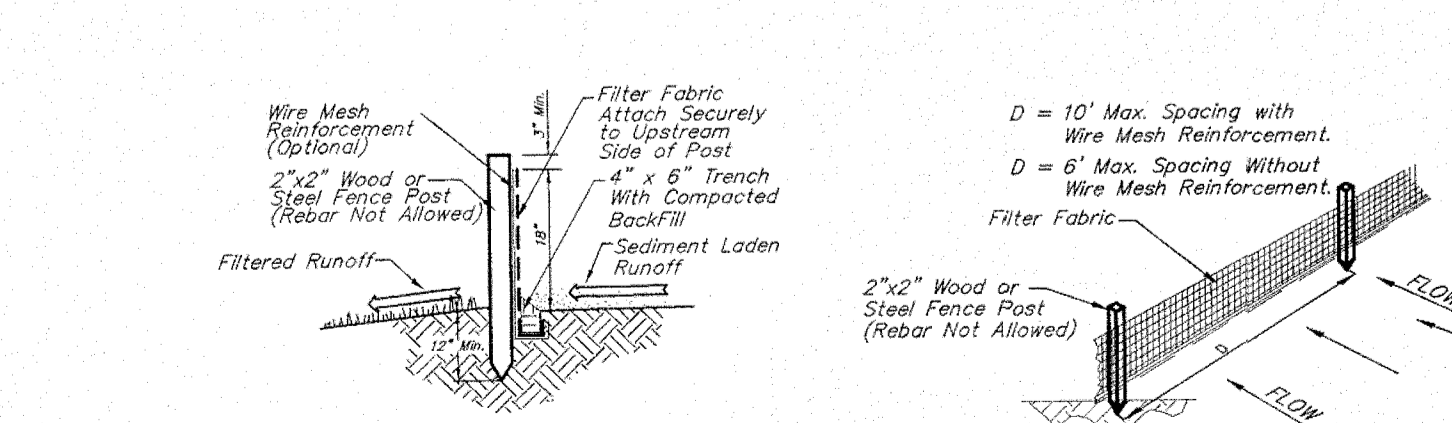


- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
  4. DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

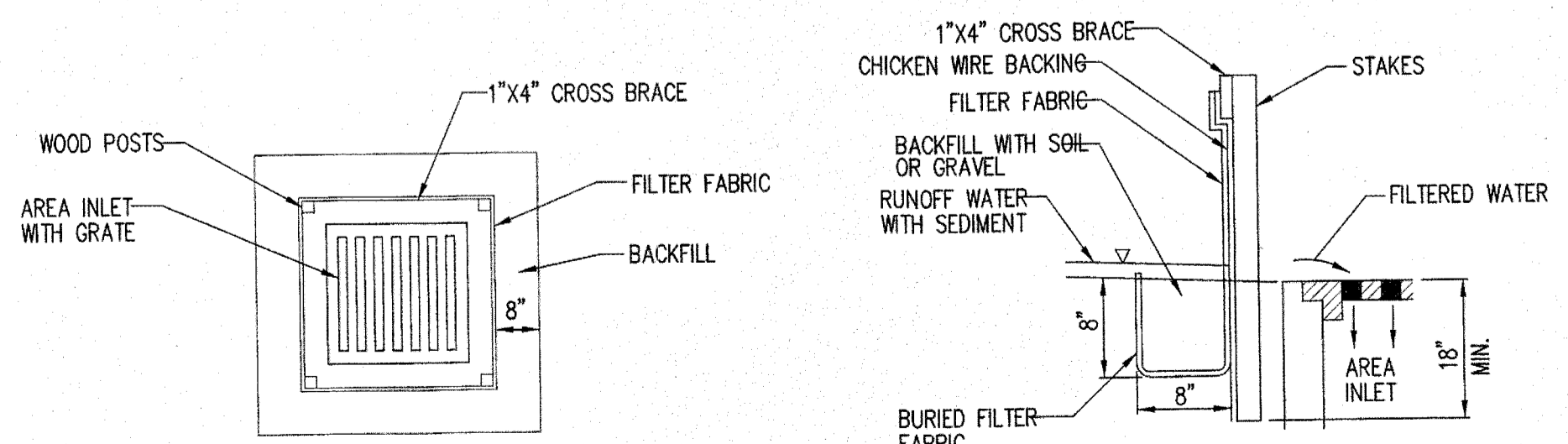
**1 STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**2 SILT FENCE DITCH CHECKS**  
NOT TO SCALE



**4 SILT FENCE DETAIL**  
NOT TO SCALE



**3 SILT FENCE BARRIER FOR AREA INLETS**  
NOT TO SCALE

**BENCHMARK**

" " Chiseled on Top of Catch Basin Approx. 41' West and 13' South of the NE property corner of Parcel B-1, The Collective, An Addition to Wichita, Sedgwick County, Kansas.  
Elevation=1373.49 (NAVD 88)

**LEGAL DESCRIPTION**

Parcel A, The Collective, An Addition to Wichita, Sedgwick County, Kansas.

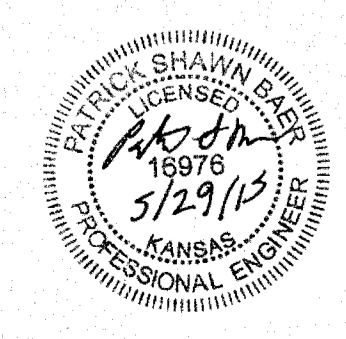
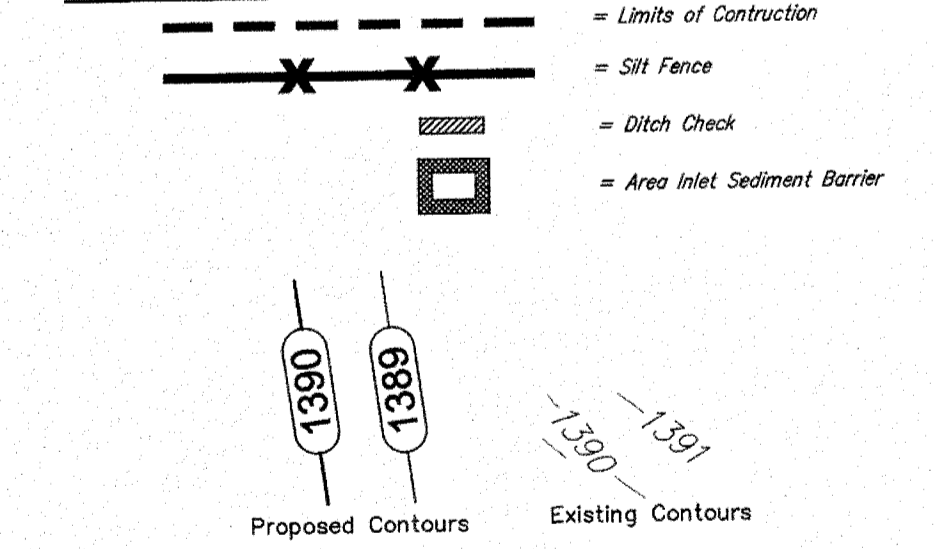
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Building Area:	5,857 sq. ft.
Parking Required:	5857/333=17.6=>18
Parking Provided:	20 Spaces, including 1 Accessible Stall

**EROSION CONTROL NOTES**

1. No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #11).
2. All exposed areas shall be seeded as specified within 21 days of final GRADING. Seed is to include straw mulch, crimped in place per industry standards.
3. Should construction stop for longer than 14 days, the site shall be seeded as specified.
4. Maintain erosion control measures after each rain and at least once a week.
5. This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
6. Contractor shall comply with all state and local ordinances that apply.
7. Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
8. Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
9. If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
10. See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
11. This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
12. ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
13. This site is under an acre in size. Therefore an NPDES Permit is not required.

**EROSION CONTROL LEGEND**



**The Collective EROSION CONTROL**  
Parcel "A", Lot 4, Block 1

Design: DML, Approved: DML, Date: 5/29/15  
Scale: AS SHOWN  
Sheet: 5 OF 5

PROJECT NUMBER: 1504E237  
REVISIONS:

