

**AS BUILT PLANS**  
 Contractor: Newfarmer Excavating  
 Inspector: Fred Smith, Baughman Co.  
 pdf's by: KEK, 1/5/17

# SANITARY SEWER IMPROVEMENTS

to serve

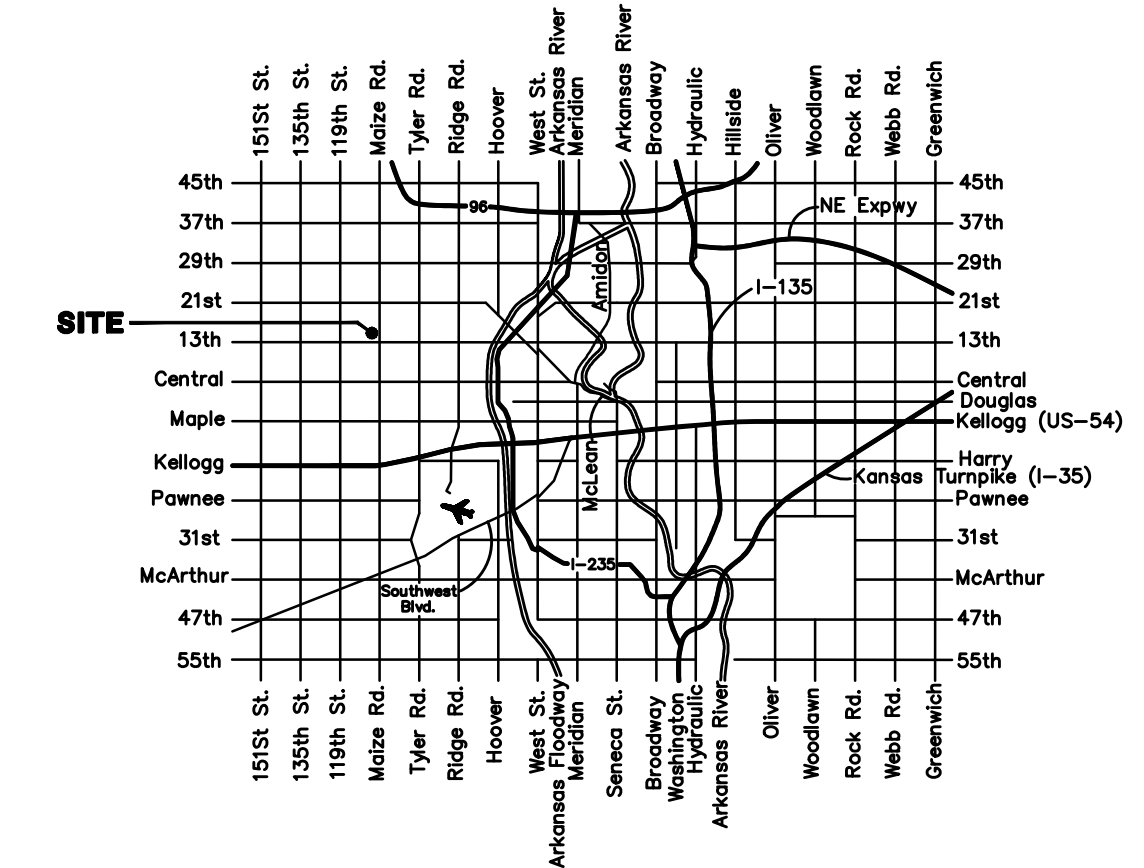
## Lots 1-4, Block A, WATERFRONT 9TH ADDITION

### CITY OF WICHITA, KANSAS

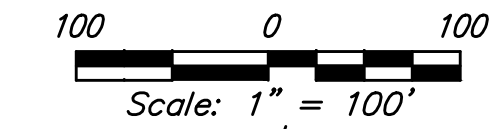
Gary Janzen, P.E. City Engineer

Project Number  
2297 PPS (607861)

**T. Mason - City of Wichita, Inspector  
 Risers  
 Release Date: 01/06/2017  
 : apr 01/09/2017**



VICINITY MAP



### GENERAL NOTES:

1. The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.

2. Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:

Kansas One-Call 687-2470

The Contractor must notify the following in case of an emergency:

AT&T 1-800-246-8464  
 Black Hills Energy 1-800-694-8989  
 City of Wichita Water & Sewer 1-316-219-8921  
 City of Wichita Stormwater 1-316-268-4090  
 City of Wichita Traffic 1-316-268-4034  
 Cox Communications 1-888-249-3530  
 Kansas Gas Service 1-888-482-4950  
 Westar Energy 1-800-544-4857

3. Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.

4. Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.

5. Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.

6. The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.

7. The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.

8. The Engineering Division shall field locate water valves one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor of his own expense. Valve boxes and water meters within the project limits shall be adjusted to match final grades by the contractor.

9. The Contractor shall notify the consultant engineer and Tom Mason at 316-268-4574 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.

10. If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at [traffic@wichita.gov](mailto:traffic@wichita.gov) before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of the Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.

11. All elevations shown are NAVD 88.

12. All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.

13. Any sidewalk, drive approach, curb, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.

14. All applicable fees (tap, equity, in lieu of & main benefit) must be paid before any connections can be made on this project. Quotes can be obtained on fees by calling 316-268-4555.

15. City Maintenance of sanitary sewer mains ends at last structure within the easement or right-of-way.

16. All stubs and capped pipes shall be located with green plastic tape in the same manner as risers.

17. Connecting to Existing Manholes: Prior to laying sewer lines using existing stubs in existing manholes, the Contractor shall expose and verify the elevation, grade and alignment of existing stubs and notify the Engineer of any deviation from the plans. Where the stub is unusable due to elevation grade or alignment, the Contractor shall remove the stub and plug the hole, and reshape the existing manhole invert to provide smooth flow. Where connecting to an existing manhole that does not have an existing stub, the Contractor shall core cut into existing manhole wall to make connection using approved water stop gasket, and reshape the existing manhole invert to provide smooth flow. The cost to connecting to existing manholes is incidental to the project.

18. Contractor shall limit the extent of trench open overnight and weekends to less than 50 feet.

19. Contractor shall provide positive drainage away from all manhole covers.

20. The Contractor shall prevent any construction debris from entering the existing sanitary sewer during construction.

21. The Contractor shall be responsible for maintaining continuous flow of sewage through construction. Contractors proposed method for maintaining sewage flow shall be submitted and approved by the Sewer Maintenance Division (316-268-4073) prior to starting and by-passing of sewage flows.

22. Any over excavation from manhole and pipe removal shall be backfilled with AB-3 compacted to 90-95% ASTM D698.

23. The Contractor shall protect from damage and support existing utilities through construction as approved by the utility owner and the Engineer at the contractors expense.

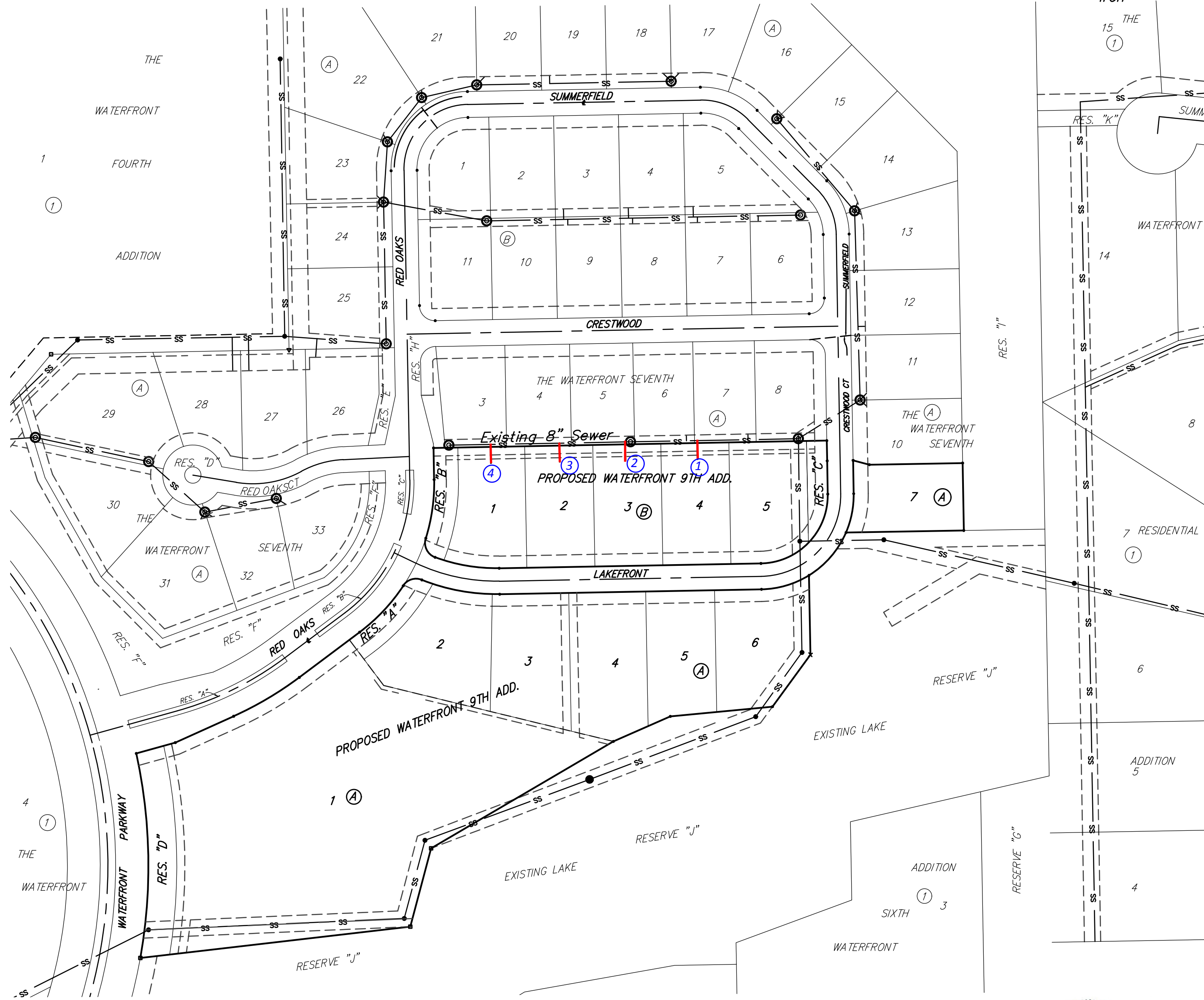
A Performance and Maintenance Bond and a Statutory Bond will be required for this project. Please refer to City of Wichita Private Project Procedures for contractors for detailed information on the bond requirements. Coordinate field inspection of work included in these plans with Tom Mason, City of Wichita and Austin Gottlob, Baughman Company, P.A.

### BENCHMARKS

BM #1:  
 "□" Chiseled on Top of Curb.  
 West End of South Median Curb  
 within Castlewood  
 Elevation = 1380.50 (NAVD 88)

BM #2  
 "X" Chiseled on Back of Walk.  
 Near the Southeast corner of  
 Lot 2, Block A, The Waterfront  
 7th Addition  
 Elevation = 1381.88 (NAVD 88)

BM #3  
 "□" Chiseled on Back of Walk.  
 Northeast corner of parking lot  
 within Lot 1, Block 1, The  
 Waterfront 4th Addition  
 Elevation = 1389.50 (NAVD 88)



### SHEET INDEX

Title Sheet	1
Line 1	2
Copy of Plat	3-4

SS Detail SS-101, SS-102, SS 103  
 and Erosion Control Details available  
 at City of Wichita web site at  
<http://www.wichita.gov/Government/Departments/PWU/Pages/Regulations.aspx>

APPROVED AS NOTED  
 BY WICHITA PUBLIC WORKS  
 ENGINEERING DIVISION  
 Engineering *Kelen Ship* 12/7/2016

Utilities *[Signature]* 12-8-16

NOTE TO CONTRACTORS  
 Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions (on file and available at Wichita.gov).

An approved copy of these plans signed by City staff are required on-site.



**Baughman**  
 Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0145  
 ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

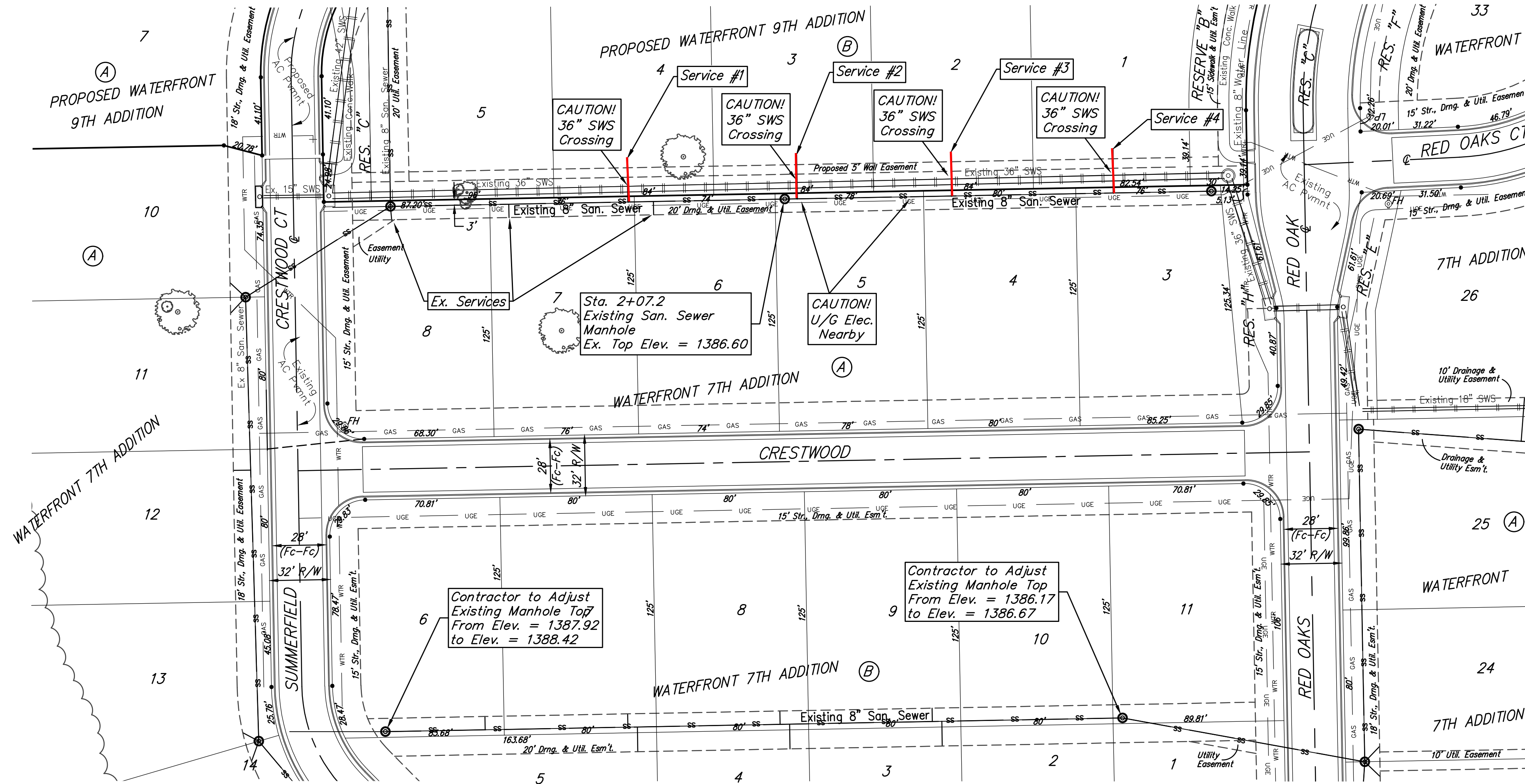
December 2016

# BENCHMARKS

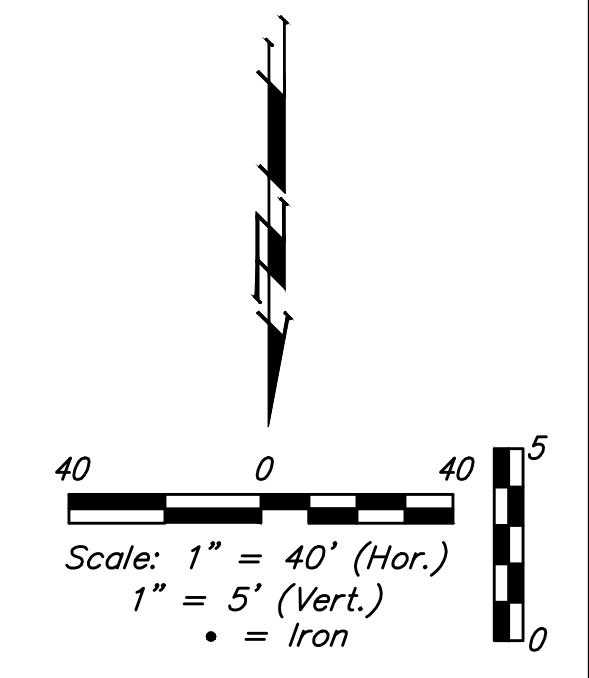
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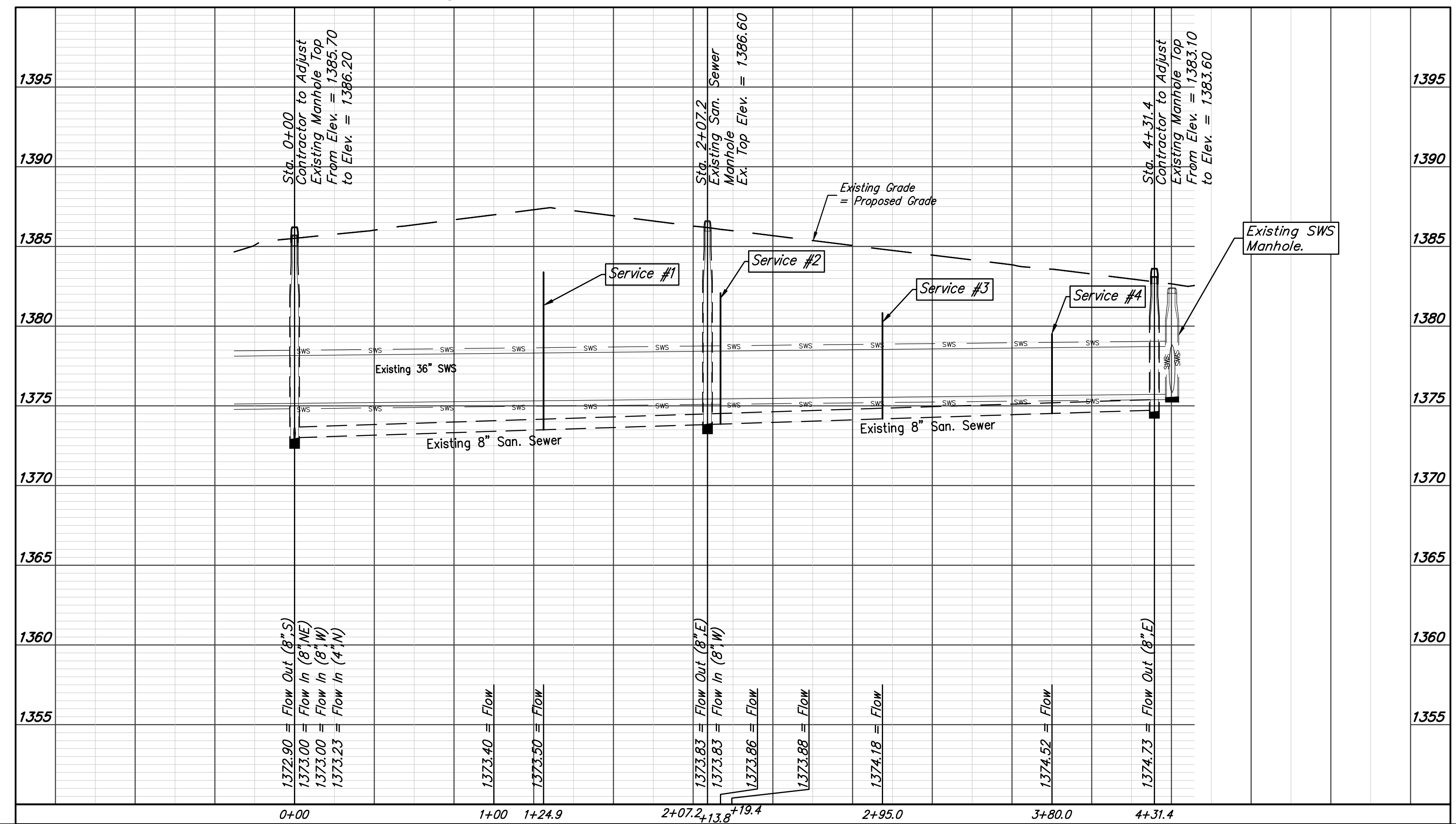
Proposed Lots 1-4 will not have basement gravity service. Ejector pumps will be required for basements.



SEWER SERVICE TABLE

NUMBER	TYPE	LOCATION			FOR INFORMATION ONLY	
		LOT	BLOCK	LINE	STATION/DIRECTION	APPROXIMATE LENGTH 4" PIPE
1	8" X 4" Tee Saddle	4	B	1	1+24.9/Lt.	8.6'
2	8" X 4" Tee Saddle	3	B	1	2+13.8/Lt.	7.7'
3	8" X 4" Tee Saddle	2	B	1	2+95.0/Lt.	5.9'
4	8" X 4" Tee Saddle	1	B	1	3+80.0/Lt.	3.9'

NOTE: Riser shall be extended to 2' minimum above ground water elevation and 4' maximum below proposed ground elevation.



**Baughman**

Waterfront 7th & Waterfront 9th Addition  
**SEWER SERVICES**  
 Sanitary Sewer Improvements

Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149  
 ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

PROJECT NUMBER  
 2297 PPS (607861)

DESIGN  
 AEG

DRAWN  
 JAK

REVISIONS:

APPROVED  
 DATE  
 12/02/16

SCALE  
 Noted  
 SHEET

2 OF 4



# FINAL PLAT

# THE WATERFRONT NINTH ADDITION

## WICHITA, SEDGWICK COUNTY, KANSAS

This plat of "THE WATERFRONT NINTH ADDITION," Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.  
 Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
 Wichita-Sedgwick County Metropolitan Area Planning Commission

\_\_\_\_\_, Chair  
 David W. Foster

\_\_\_\_\_, Secretary  
 Dale Miller

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_, Mayor  
 Jeff Longwell

\_\_\_\_\_, City Clerk  
 Karen Sublett

Reviewed in accordance with K.S.A. 58-2005 on this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

Tricia L. Robella, L.S. #1246  
 Deputy County Surveyor  
 Sedgwick County, Kansas

Entered on transfer record this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_, County Clerk  
 Kelly B. Arnold

State of Kansas) SS This is to certify that this plat has been  
 Sedgwick County) filed for record in the office of the Register of Deeds, this \_\_\_\_\_ day  
 of \_\_\_\_\_, 2017 at \_\_\_\_\_ o'clock \_\_\_\_\_ M.; and is duly recorded.

\_\_\_\_\_, Register of Deeds  
 Tonya Buckingham

\_\_\_\_\_, Deputy  
 Judy J. Paget

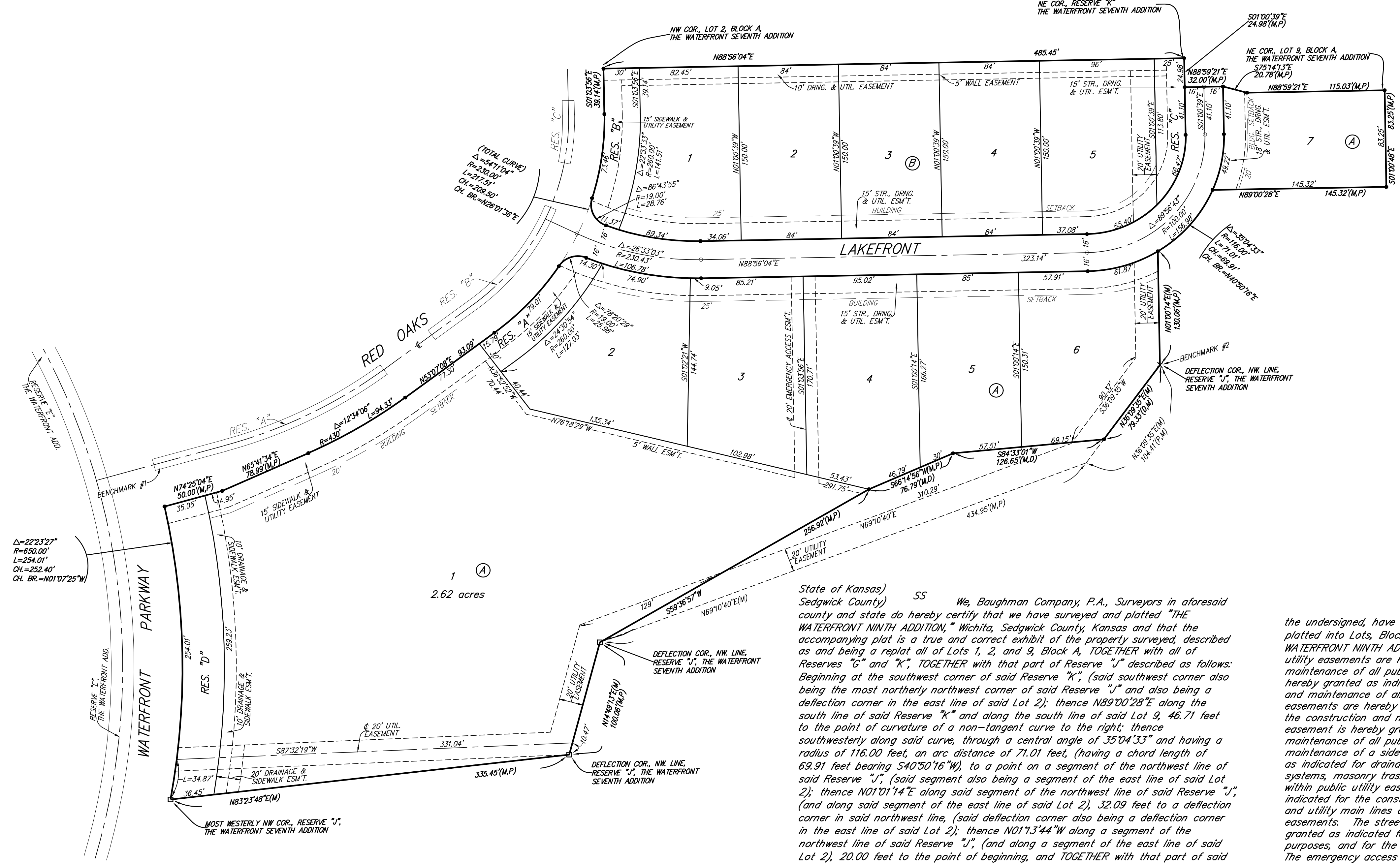
We, the undersigned holders of a mortgage on the above described property, do hereby consent to this plat of "THE WATERFRONT NINTH ADDITION," Wichita, Sedgwick County, Kansas.  
 Commerce Bank

State of Kansas) SS The foregoing instrument acknowledged before  
 Sedgwick County) me, this \_\_\_\_\_ day of \_\_\_\_\_, 2017, by \_\_\_\_\_,  
 \_\_\_\_\_ of Commerce Bank, on behalf of the bank.

\_\_\_\_\_, Notary Public

State of Kansas) SS The foregoing instrument acknowledged before  
 Sedgwick County) me, this \_\_\_\_\_ day of \_\_\_\_\_, 2017, by Johnny Stevens, Manager  
 of The Waterfront Holding Co., LLC, a Kansas limited liability company, on  
 behalf of the limited liability company.

\_\_\_\_\_, Notary Public



- = #4 REBAR W/ "BAUGHMAN" CAP (SET)
  - = #5 REBAR W/ "MACE" CAP (FOUND)
  - = 3/4" IRON IN THIMBLE (FOUND)
  - = 1/2" IRON (FOUND)(ORIGIN UNKNOWN)
  - = #5 REBAR (FOUND)(ORIGIN UNKNOWN)
  - △ = #4 REBAR W/ "KING L5908" CAP (FOUND)
  - × = CHISELED CROSS (FOUND)(ORIGIN UNKNOWN)
  - ▽ = #4 REBAR (FOUND)(ORIGIN UNKNOWN)
  - ⊠ = #5 REBAR W/ "RAB" CAP (FOUND)
- (M) = MEASURED  
 (D) = DESCRIBED  
 (P) = PLATTED  
 (CP) = CALCULATED PER PLATTED INFO.  
 (CM) = CALCULATED PER MEASURE

BENCHMARK #1:  
 CHISELED SQUARE ON TOP OF CURB, WEST END OF SOUTH  
 MEDIAN CURB WITHIN RED OAKS R/W, EAST SIDE OF  
 WATERFRONT PARKWAY R/W. (SEE FACE OF PLAT).  
 ELEV. = 1380.50 NAVD88

BENCHMARK #2:  
 CHISELED CROSS ON CONC. SIDEWALK, DEFLECTION CORNER  
 IN NORTHWEST LINE OF RESERVE "J", THE WATERFRONT  
 SEVENTH ADDITION. (SEE FACE OF PLAT).  
 ELEV. = 1381.88 NAVD88

LOT	BLOCK	ELEVATION NAVD88
1, 4-7	A	1381.0

State of Kansas) SS  
 Sedgwick County) We, Baughman Company, P.A., Surveyors in aforesaid  
 county and state do hereby certify that we have surveyed and platted "THE  
 WATERFRONT NINTH ADDITION," Wichita, Sedgwick County, Kansas and that the  
 accompanying plat is a true and correct exhibit of the property surveyed, described  
 as and being a replat all of Lots 1, 2, and 9, Block A, TOGETHER with all of  
 Reserves "G" and "K", TOGETHER with that part of Reserve "J" described as follows:  
 Beginning at the southwest corner of said Reserve "K", (said southwest corner also  
 being the most northerly northwest corner of said Reserve "J" and also being a  
 deflection corner in the east line of said Lot 2); thence N89°00'28"E along the  
 south line of said Reserve "K" and along the south line of said Lot 9, 46.71 feet  
 to the point of curvature of a non-tangent curve to the right; thence  
 southwesterly along said curve, through a central angle of 35°04'33" and having a  
 radius of 116.00 feet, an arc distance of 71.01 feet, (having a chord length of  
 69.91 feet bearing S40°50'16"W), to a point on a segment of the northwest line of  
 said Reserve "J", (said segment also being a segment of the east line of said Lot  
 2); thence N01°01'14"E along said segment of the northwest line of said Reserve "J",  
 (and along said segment of the east line of said Lot 2), 32.09 feet to a deflection  
 corner in said northwest line, (said deflection corner also being a deflection corner  
 in the east line of said Lot 2); thence N01°13'44"W along a segment of the  
 northwest line of said Reserve "J", (and along a segment of the east line of said  
 Lot 2), 20.00 feet to the point of beginning, and TOGETHER with that part of said  
 Reserve "J" described as follows: Commencing at the southwest corner of said  
 Reserve "K", (said southwest corner also being the most northerly northwest corner  
 of said Reserve "J" and also being a deflection corner in the east line of said Lot  
 2); thence S01°13'44"E along a segment of the northwest line of said Reserve "J",  
 (and along a segment of the east line of said Lot 2), 20.00 feet to a deflection  
 corner in the northwest line of said Reserve "J", (said deflection corner also being  
 a deflection corner in the east line of said Lot 2); thence S01°00'14"W along a  
 segment of the northwest line of said Reserve "J", (and along a segment of the  
 east line of said Lot 2), 130.06 feet to a deflection corner in said northwest line,  
 (said deflection corner also being the southeast corner of said Lot 2 and also  
 being a deflection corner in the southeast line of a 20.00 foot utility easement),  
 and for a point of beginning; thence S36°09'35"W along the southeast line of said  
 Lot 2, 20.00 foot utility easement, 79.33 feet; thence S84°33'01"W, 126.65 feet to a  
 point on a segment of the northwest line of said Reserve "J", (said segment also  
 being the southeast line of said Lot 2); thence N66°14'56"E along a segment of the  
 northwest line of said Reserve "J", (and along the southeast line of said Lot 2),  
 188.89 feet to the point of beginning, all as platted and granted in The Waterfront  
 Seventh Addition, Wichita, Sedgwick County, Kansas.

Existing public easements, building setbacks, access controls, and dedications,  
 if any, being vacated by virtue of K.S.A. 12-512b, as amended.

All being situated in the Southwest Quarter of Section 9, Township 27 South,  
 Range 2 East of the Sixth Principal Meridian, Sedgwick County, Kansas

Baughman Company, P.A.

Know all men by these presents that we,  
 the undersigned, have caused the land in the surveyors certificate to be  
 platted into Lots, Blocks, a Street, and Reserves, to be known as "THE  
 WATERFRONT NINTH ADDITION," Wichita, Sedgwick County, Kansas. The  
 utility easements are hereby granted as indicated for the construction and  
 maintenance of all public utilities. The drainage and utility easements are  
 hereby granted as indicated for drainage purposes and for the construction  
 and maintenance of all public utilities. The drainage and sidewalk  
 easements are hereby granted as indicated for drainage purposes and for  
 the construction and maintenance of a sidewalk. The utility and sidewalk  
 easement is hereby granted as indicated for the construction and  
 maintenance of all public utilities and for the construction and  
 maintenance of a sidewalk. The drainage easements are hereby granted  
 as indicated for drainage purposes. No signs, light poles, private drainage  
 systems, masonry trash enclosures or other structures shall be located  
 within public utility easements. The wall easements are hereby granted as  
 indicated for the construction and maintenance of private screening walls  
 and utility main lines and service lines shall be allowed to cross these  
 easements. The street, drainage, and utility easements are hereby  
 granted as indicated for street purposes, including sidewalks, for drainage  
 purposes, and for the construction and maintenance of all public utilities.  
 The emergency access easement is hereby granted as indicated for  
 emergency access purposes and no fences or other structures shall be  
 constructed or placed on or within this easement. The streets are hereby  
 dedicated to and for the use of the public. Reserves "A" and "B" are  
 hereby reserved for open space, landscaping, berms, sidewalks as confined  
 to easement, streets as confined to easements, street lighting, drainage  
 purposes, well as confined to easements and utilities as confined to easements.  
 Reserve "C" is hereby reserved for open space, landscaping,  
 berms, sidewalks, streets as confined to easements, drainage purposes,  
 well as confined to easements and utilities as confined to easements.  
 Reserve "D" is hereby reserved for open space, landscaping, entry  
 monuments, sidewalks, berms, street lighting, drainage purposes, and  
 utilities as confined to easements. Reserves "A", "B", "C" and "D" shall  
 be owned and maintained by the current owner, and/or their successors,  
 assigns, and/or a Lot Owners Association. The Minimum Building Pad  
 Elevations for the lowest opening to the structures shall be as indicated  
 on the face of the plat.

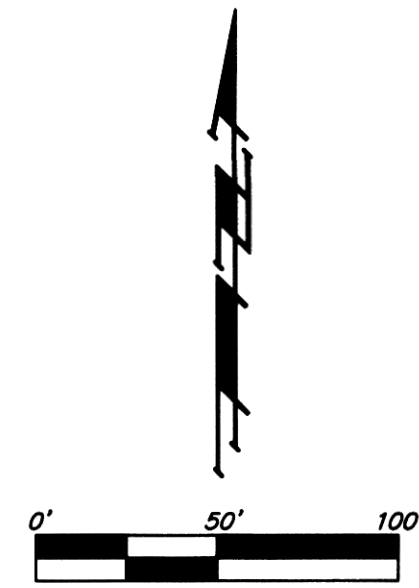
The Waterfront Holding Co., LLC,  
 a Kansas limited liability company

\_\_\_\_\_, Manager  
 Johnny Stevens

\_\_\_\_\_, Surveyor  
 Michael G. Conroy

# THE WATERFRONT SEVENTH ADDITION

## WICHITA, SEDGWICK COUNTY, KANSAS



- = #4 REBAR W/ "BAUGHMAN" CAP (SET)
- = #5 REBAR W/ "MKEC" CAP (FOUND)
- = 3/4" IRON IN THIMBLE (FOUND)
- ◇ = 1/2" IRON (FOUND)(ORIGIN UNKNOWN)
- = #5 REBAR (FOUND)(ORIGIN UNKNOWN)
- △ = #4 REBAR W/ "WING L-SHOB" CAP (FOUND)
- × = CHASELED CROSS (FOUND)(ORIGIN UNKNOWN)
- ▽ = #4 REBAR (FOUND)(ORIGIN UNKNOWN)
- ⊠ = #5 REBAR W/ "R&B" CAP (FOUND)

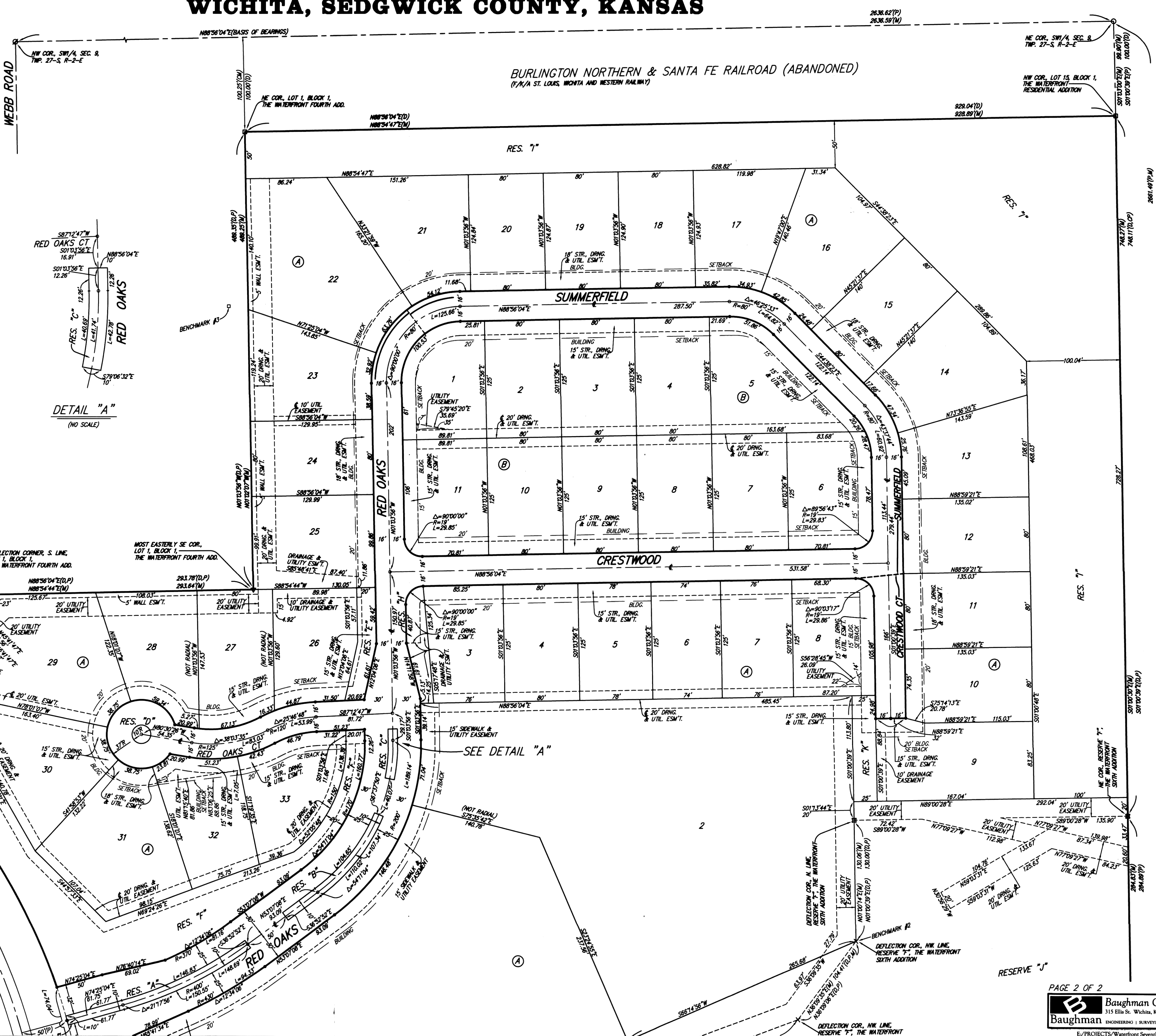
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- (D) = DESCRIBED
- (P) = PLATTED
- (CP) = CALCULATED PER PLATTED INFO.
- (CM) = CALCULATED PER MEASURE

**BENCHMARK #1:**  
CHASELED SQUARE ON TOP OF CURB, WEST END OF SOUTH MEDIAN CURB WITHIN RED OAKS R/W, EAST SIDE OF WATERFRONT PARKWAY R/W. (SEE FACE OF PLAT).  
ELEV. = 1380.50 NAVD88

**BENCHMARK #2:**  
CHASELED CROSS ON CONC. SIDEWALK, DEFLECTION CORNER IN NORTHWEST LINE OF RESERVE "J", THE WATERFRONT SEVENTH ADDITION. (SEE FACE OF PLAT).  
ELEV. = 1381.88 NAVD88

**BENCHMARK #3:**  
CHASELED SQUARE ON TOP OF CONC. LIGHT POLE BASE, (IN PARKING LOT LOCATED IN LOT 1, BLOCK 1, THE WATERFRONT FOURTH ADDITION), 3.9' N. & 20.6' W. OF THE NW COR. LOT 23, BLOCK "A", THE WATERFRONT SEVENTH ADDITION. (SEE FACE OF PLAT).  
ELEV. = 1388.50 NAVD88

MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES		
LOT	BLOCK	ELEVATION NAVD88
1, 2, 9	A	1381.0



**NOTE:**  
A drainage plan has been developed for the plat and that all drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer and unobstructed to allow for the conveyance of stormwater.