

# GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:  
 Kansas One-Call 687-2470  
 The Contractor must notify the following in case of an emergency:  
 AT&T 1-800-246-8464  
 Black Hills Energy 1-800-694-8989  
 City of Wichita Water 1-316-268-4555  
 City of Wichita Sewer 1-316-268-4073  
 City of Wichita Stormwater 1-316-268-4090  
 City of Wichita Traffic 1-316-268-4034  
 Cox Communications 1-888-249-3530  
 Kansas Gas Service 1-888-462-4950  
 Westar Energy 1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Water Distribution Division shall field locate water valve one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades.
- The Contractor shall notify the consultant engineer and Tom Mason with the City at 316-268-4574 with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic is impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at [traffic@wichita.gov](mailto:traffic@wichita.gov) before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are Datum NAVD 88.  
  
 All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.
- 

- All stubs and plugged pipes shall be located with green plastic tape in the same manner as risers.
- Connecting to Existing Manholes:  
 Prior to laying sewer lines using existing stubs in existing manholes, the Contractor shall expose and verify the elevation, grade and alignment of existing stubs and notify the Engineer of any deviation from the plans. Where connection to an existing manhole that does not have an existing stub or the stub is unusable due to elevation grade or alignment, the Contractor shall bore cut into existing manhole wall to make connection using approved water stop gasket, and reshape the existing manhole invert to provide smooth flow. The cost to connect to existing manholes is incidental to the project.
- Contractor shall limit the extend of trench open overnight and weekends to less than 50 feet.
- Contractor shall provide positive drainage away from all manhole covers.
- The Contractor shall prevent any construction debris from entering the existing sanitary sewer during construction.
- The Contractor shall be responsible for maintaining continuous flow of sewage through construction. Contractors proposed method for maintaining sewage flow shall be submitted and approved by the Sewer Maintenance Division (316-268-4073) prior to starting and by-passing of sewage flows.
- Any over excavation from manhole and pipe removal shall be backfilled with AB-3 compacted to 90-95% ASTM D698.
- City Maintenance of sanitary sewer mains ends at last structure within easement or right-of-way line.
- Any sidewalk, drive approach, curb, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- All existing and proposed erosion control measures including silt fencing, erosion control mat, straw bales, inlet barriers, and const. entrance shall be maintained throughout construction by the contractor and until project is accepted by the City of Wichita. The on-site engineer shall complete weekly reports on the status of erosion control measures. The contractor shall be required to comply with maintenance and/or replacement of erosion control measures as determined by the on-site engineer until project is accepted by City of Wichita. Maintenance and/or replacement of erosion control measures to be paid by L.S. bid item "Site Restoration".
- All excess excavation shall remain on-site and shall be stockpiled or spread at a location determined by the engineer.
- All areas disturbed during construction shall be seeded, mulched, and fertilized as follows (Permanent Seeding):  
 Seed: Kansas Premium Fescue Blend: 8 lbs./1000 sq. ft.  
 Mulch: Prairie Hay: 2 tons/acre  
 Fertilizer: 12-24-12: 850 lbs./acre  
  
 All costs associated with seeding, mulching, and fertilizing shall be included in bid item "Seeding". All seeding operations shall conform to City of Wichita Standard Specifications.
- The Contractor shall not begin work on the project until the Project Inspector is assigned and on site. Any work completed without inspection will be required to be uncovered for inspection at the Contractor's expense.

## Benchmark:

BM #1: 5/8" Rebar w/ Pink GSS Cap, located 45' North and 51' West of the Northeast Corner of the Northeast Quarter of Section 31, Township 26 South, Range 1 West of the 6th Principal Meridian, Sedgwick County, Kansas.  
 Elevation = 1355.25 (NAVD88)

BM #2: "X" cut on concrete square, 80.56' W and 51.75' N of intersection of 37th Street North and Maize Road.  
 Elevation = 1354.57 (NAVD88)

BM #3: "X" cut on concrete transformer pad, 32.81' E and 14.66' S of SW corner Lot 1, Block 1, Wadley Ranch Addition.  
 Elevation = 1357.16 (NAVD88)

**AS BUILT PLANS**  
 Contractor: McCullough Excavating  
 Inspector: David Vansickle, Baughman Co.  
 pdf's by: KEK, 2/14/17

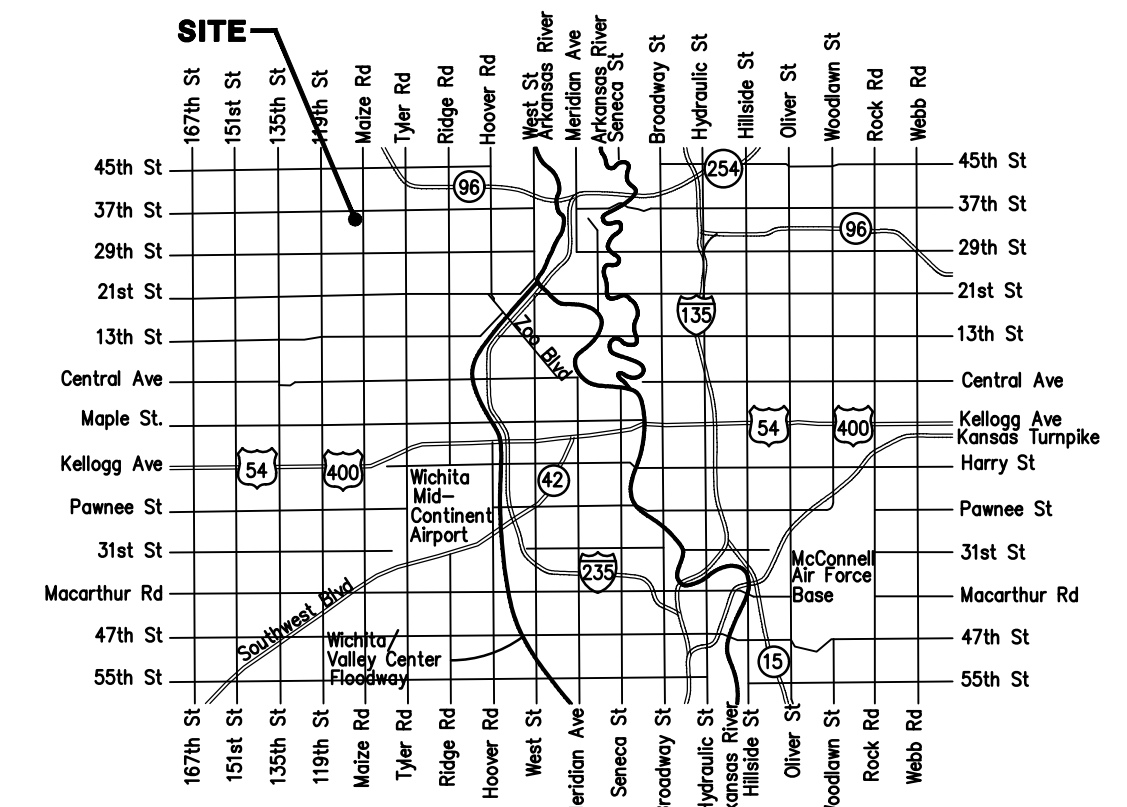
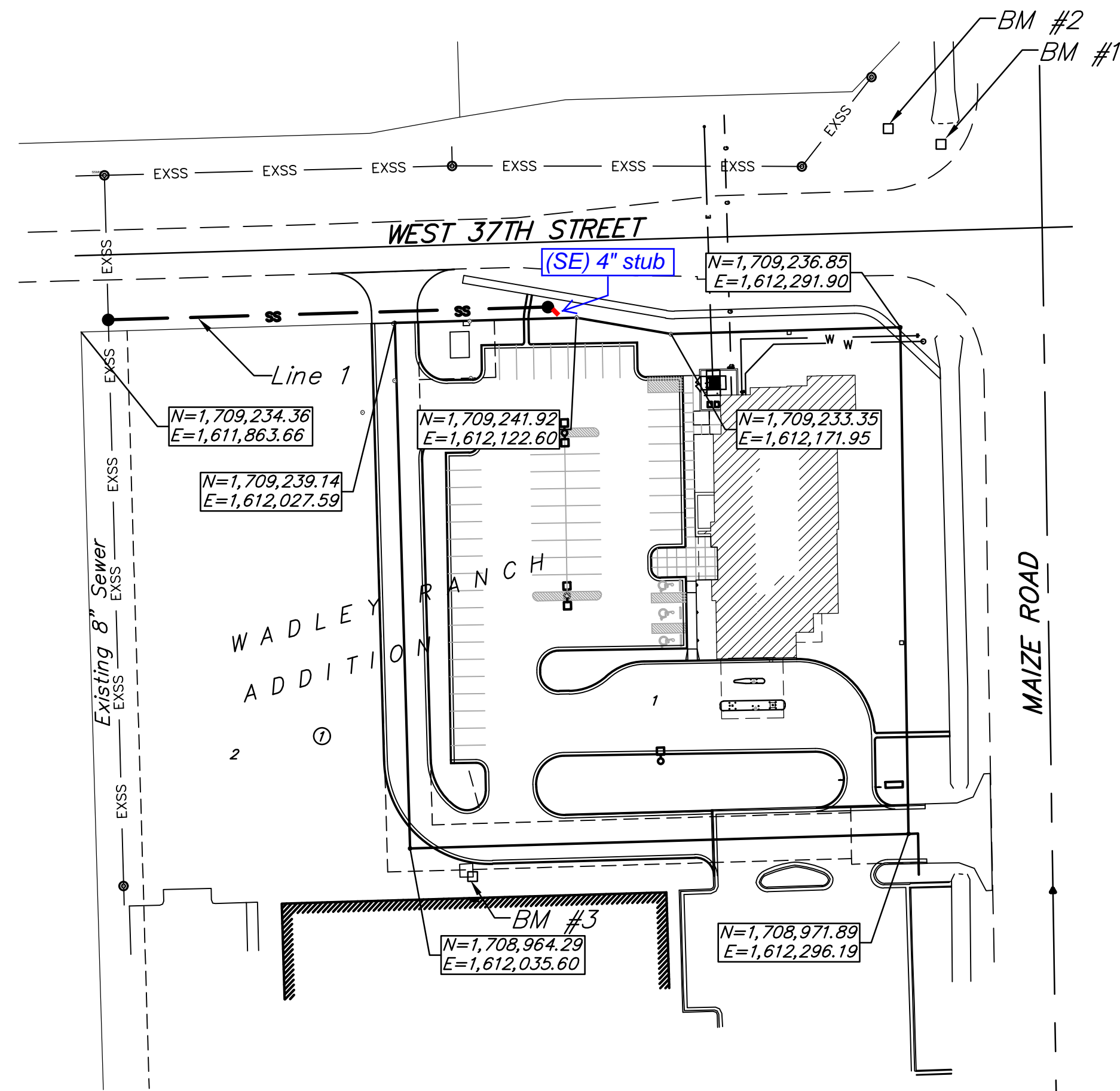
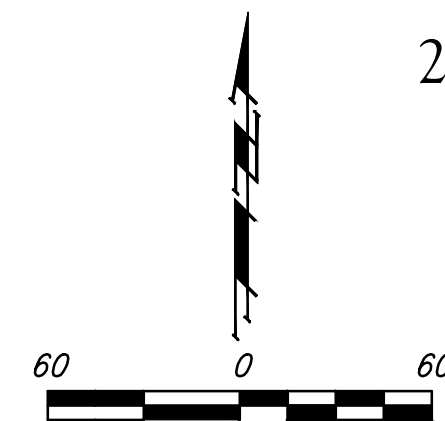
# SANITARY SEWER IMPROVEMENTS to serve

# WADLEY RANCH ADDITION HEARTLAND CREDIT UNION

3777 N. MAIZE ROAD  
 CITY OF WICHITA, KANSAS

Gary Janzen, P.E. City Engineer

Project Number  
 2282 PPS (607861)



Vicinity Map

T. Mason - City of Wichita, Inspector  
 Release Date: 2/23/2017  
 apr 2/23/2017

## Sheet Index

Title Sheet	1
Line 1	2
Copy of Plat	3

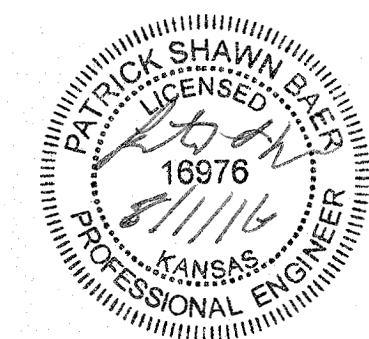
SS Details SS-101, SS-102 and  
 Erosion Control Details available at  
 City of Wichita web site at  
<http://www.wichita.gov/Government/Departments/PWU/Pages/Regulations.aspx>

APPROVED AS NOTED  
 BY WICHITA PUBLIC WORKS  
 ENGINEERING DIVISION

Engineering *Rebecca Dill* 8/4/16

Utilities *[Signature]* 8-4-16

NOTE TO CONTRACTORS  
 Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions (on file and available at Wichita.gov).  
  
 An approved copy of these plans signed by City staff are required on-site.



July 2016



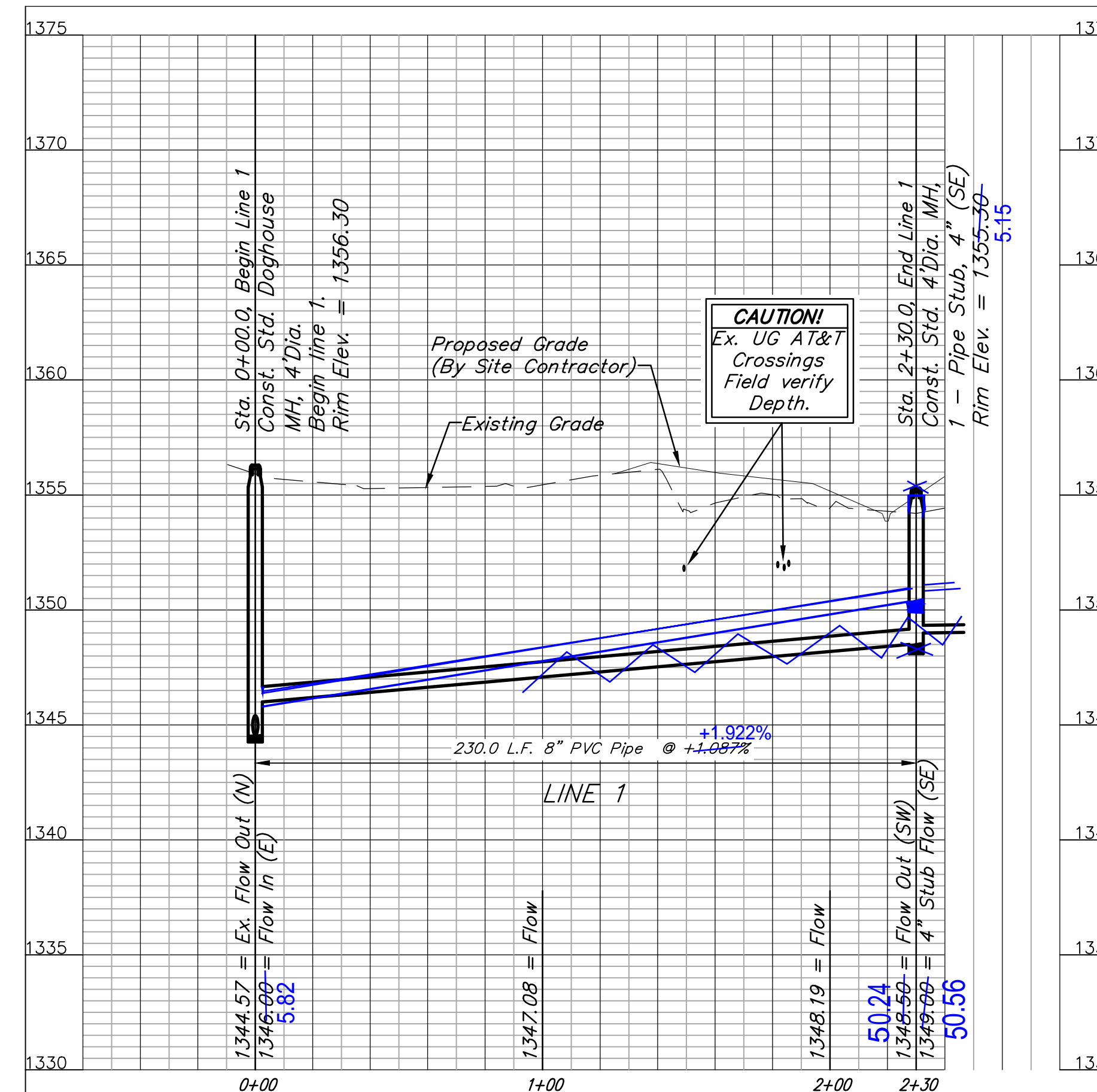
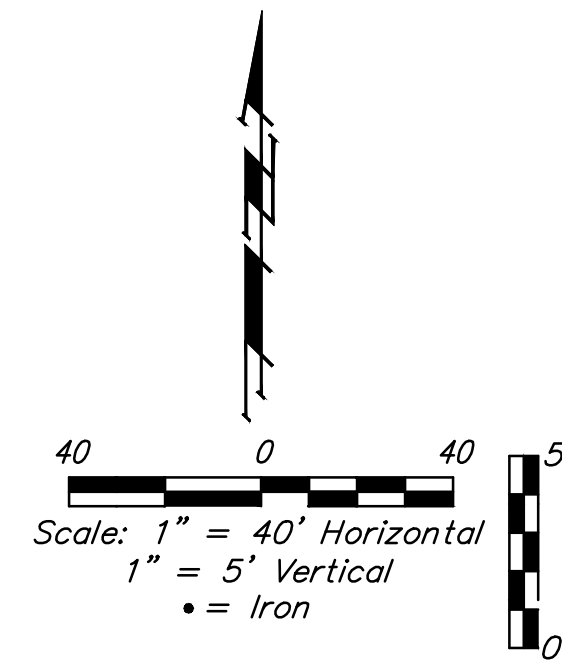
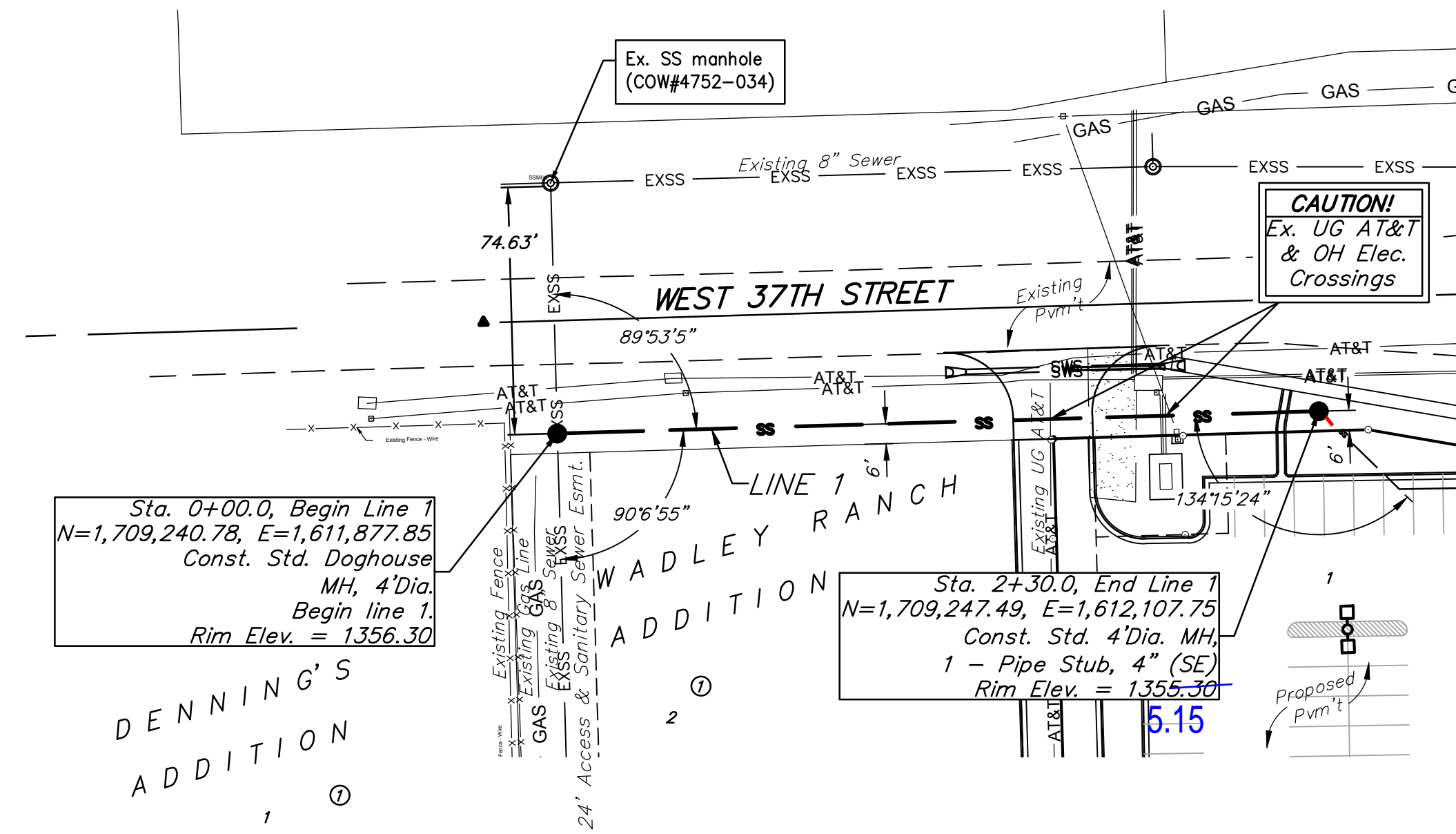
Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149  
 ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

**BENCHMARK:**

BM #1: 5/8" Rebar w/ Pink GSS Cap, located 45' North and 51' West of the Northeast Corner of the Northeast Quarter of Section 31, Township 26 South, Range 1 West of the 6th Principal Meridian, Sedgwick County, Kansas.  
Elevation = 1355.25 (NAVD88)

BM #2: "X" cut on concrete square. 80.56' W and 51.75' N of intersection of 37th Street North and Maize Road.  
Elevation = 1354.57 (NAVD88)

BM #3: "X" cut on concrete transformer pad. 32.81' E and 14.66' S of SW corner Lot 1, Block 1, Wadley Ranch Addition.  
Elevation = 1357.16 (NAVD88)



Contractor shall verify elevation and alignment of existing sanitary sewerpipe & utilities prior to construction and notify Engineer of any discrepancy.



State of Kansas )  
Sedgwick County ) ss

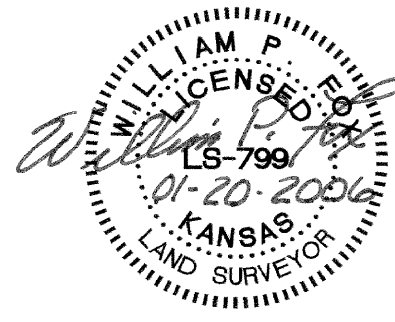
I, the undersigned licensed land surveyor of the State of Kansas, do hereby certify that the following described tract of land was surveyed on October 19, 2005 and the accompanying final plat prepared and that all monuments shown therein actually exist and their positions are correctly shown to the best of my knowledge and belief:

A tract of land described as follows:

Parcel 1  
A Point of Beginning being the northeast corner of the northeast quarter of Section 31, Township 26 South, Range 1 West of the Sixth Principle Meridian, Sedgwick County, Kansas; Thence west for a distance of 503.79 feet to a point on the north line of said northeast quarter; Thence south at a right angle for a distance of 318.43 feet; Thence west at a right angle for a distance of 513.04 feet, more or less, to a point on the north line of the south 308.55 feet of the north half of the northeast quarter of said section 31; thence east parallel with the south line of the north half of the northeast quarter of said section 31 for a distance of 809.11 feet to a point on the east line of said northeast quarter; thence northerly for a distance of 1015.12 feet, more or less, to the Point of Beginning; EXCEPT a tract of land described more accurately as A Point of Beginning being a point 600 feet south of the northeast corner of said northeast quarter and on the east line of said northeast quarter; Thence west at a right angle for a distance of 240 feet; Thence south 150 feet; Thence east 240 feet to a point on the east line of said northeast quarter; Thence north 150 feet to the Point of Beginning of Exception.

Parcel 2  
A tract of land described as follows:  
A Point of Beginning being a point 600 feet south of the northeast corner of the northeast quarter of Section 31, Township 26 South, Range 1 West, of the Sixth Principle Meridian, Sedgwick County, Kansas, and on the east line of said northeast quarter; Thence west at a right angle for a distance of 240 feet; Thence south for a distance of 150 feet; Thence east 240 feet to a point on the east line of said northeast quarter; Thence north 150 feet to the Point of Beginning.

Existing public dedications, rights-of-way, and easements being vacated by virtue of K.S.A. 12-512(b).



William P. Fox, L.S. # 799, Surveyor

State of Kansas )  
Sedgwick County ) ss

This is to certify that the undersigned owner(s) of the land described in the Land Surveyor's Certificate; have caused the same to be surveyed and subdivided on the accompanying plat into lots, a block, and other public ways under the name of WADLEY RANCH ADDITION, to the City of Maize, Sedgwick County, Kansas; that all highways, streets, alleys easements and public sites as denoted on the plat are hereby dedicated to and for the use of the public for the purpose of construction, operating, maintaining and repairing public improvements; and further that the land contained herein is held and shall be conveyed subject to any applicable restrictions, reservations and covenants now on file or hereafter filed in the Office of the Register of Deeds of Sedgwick County, Kansas. The drainage easements are hereby granted for drainage purposes. All abutters rights of access to or from 37th Street North and/or Maize Road as shown are granted to the City of Maize. The access openings designated as right-ins/outs are at the discretion of the City Engineer for the City of Maize. The access easements are for the benefit of the property owners to access public right of way.

LOT 2  
Goodwill Industries Easter Seals of Kansas, Inc.

Signature: Emily Capl  
Print: Emily Capl  
Title: President/CEO

LOT 3  
Gregory A. Neville Revocable Trust of Kansas, Inc.

Signature: Gregory A. Neville  
Print: Gregory A. Neville  
Title: Trustee

LOT 1, 4, 5 & 6

Signature: Dane C. Wadley  
Print: Dane C. Wadley  
Signature: Jennifer L. Wadley  
Print: Jennifer L. Wadley

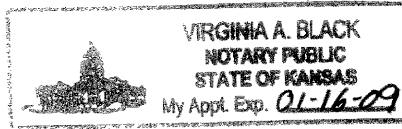
State of Kansas )  
Sedgwick County ) ss

BE IT REMEMBERED that on this 20th day of December, 2005, before me, the undersigned, a notary public in and for the County and State aforesaid came Ruby O. Parillo, Trustee, Gregory A. Neville Revocable Trust, personally known to me to be the same persons who executed this instrument and such person duly acknowledged the execution of the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

My appointment expires 1-16-09

Signature: Virginia A. Black  
Print: Virginia A. Black  
Title: Notary Public



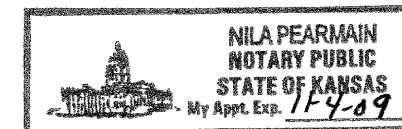
State of Kansas )  
Sedgwick County ) ss

BE IT REMEMBERED that on this 20th day of December, 2005, before me, the undersigned, a notary public in and for the County and State aforesaid came Emily Compton, President/CEO, Goodwill Industries Easter Seals of Kansas, Inc., personally known to me to be the same persons who executed this instrument and such person duly acknowledged the execution of the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

My appointment expires 11-4-09

Signature: Nila Pearmain  
Print: NILA PEARMAIN  
Title: Notary Public



We, Emprise Bank, Ray E. Stuewe VP, holders of a mortgage on the above described property do hereby consent to the plat of "Wadley Ranch Addition".

Emprise Bank

Signature: Ray E. Stuewe  
Print: Ray E. Stuewe  
Title: Vice President

Signature: Ray E. Stuewe  
Print: Ray E. Stuewe  
Title: Vice President

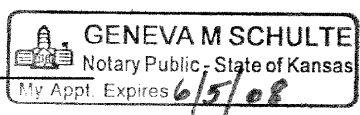
State of Kansas )  
Sedgwick County ) ss

BE IT REMEMBERED that on this 27th day of January, 2006, before me, the undersigned, a notary public in and for the County and State aforesaid came Ray E. Stuewe, Vice President for Emprise Bank, personally known to me to be the same persons who executed this instrument and such person duly acknowledged the execution of the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

My appointment expires 6/5/2008

Signature: Geneva M. Schulte  
Print: Geneva M. Schulte  
Title: Notary Public



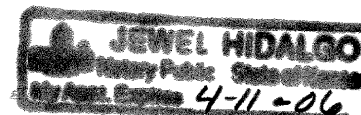
State of Kansas )  
Sedgwick County ) ss

BE IT REMEMBERED that on this 20th day of December, 2005, before me, the undersigned, a notary public in and for the County and State aforesaid came Dane C. Wadley and Jennifer L. Wadley, Husband & Wife, personally known to me to be the same persons who executed this instrument and such person duly acknowledged the execution of the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

My appointment expires 4-11-06

Signature: Jewel Hidalgo  
Print: Jewel Hidalgo  
Title: Notary Public



FOR REFERENCE ONLY  
NOT TO SCALE



LEGEND

- = 5/8" Rebar w/ POE Cap(Set)
- ⊗ = 5/8" Rebar(Found)
- = 1/2" Rebar(Found)
- = Rebar w/ Savoy cap(Found)
- ▲ = Section Corner
- (M) = Measured
- (D) = Deed
- (C) = Calculated

SCALE



\* 30' OPENING IS RIGHT IN/RIGHT OUT ONLY DATE OF PREPARATION: 10/20/05

State of Kansas )  
Sedgwick County ) ss

This plat was approved by the Maize Planning Commission on NOV. 3, 2005.

Signed Feb. 13, 2006

Signature: Andrew Sciolano  
Print: Andrew Sciolano  
Title: Chairperson

Attest:

Signature: Gerald Woodard  
Print: Gerald Woodard  
Title: Secretary

State of Kansas )  
Sedgwick County ) ss

This plat approved pursuant to the provisions of K.S.A. 12-401.

Date Signed: February 15, 2006

Signature: Tom Powell  
Print: Tom Powell  
Title: City Attorney

State of Kansas )  
Sedgwick County ) ss

The dedications shown on this plat, if any, are hereby accepted by the Governing Body of the City

of Maize, Kansas on November 28, 2005

Signature: Clair E. Donnelly  
Print: Clair Donnelly  
Title: Mayor

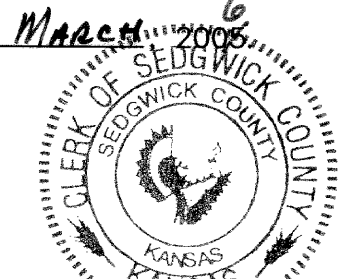


Attest:

Signature: John Silvestri  
Print: John Silvestri  
Title: City Clerk

Entered on transfer record this day 17th of March, 2006

Signature: Don Bruce  
Print: Don Bruce  
Title: County Clerk

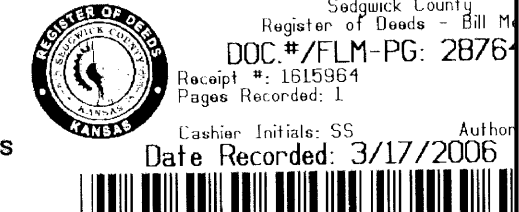


This is to certify that this instrument was filed for record in the Register

of Deeds Office at 2:57 (P.M.) on the 17th day of

March, 2006 and is duly recorded.

Signature: Bill Meek  
Print: Bill Meek  
Title: Register of Deeds

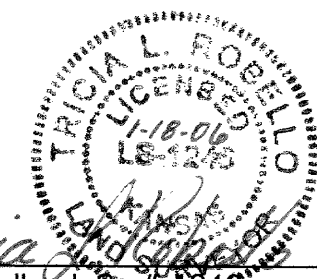


Signature: Tonya Buckingham  
Print: Tonya Buckingham  
Title: Deputy

Reviewed in accordance with K.S.A. 58-2005 on this 18th day of

January, 2006.

Signature: Tricia L. Robello  
Print: Tricia L. Robello  
Title: Deputy County Surveyor



POE & ASSOCIATES, INC.  
CONSULTING ENGINEERS  
5940 E. Central, Suite 200 ■ Wichita, KS 67208-4242  
Phone 316/685-4114 ■ FAX 316/685-4444

WADLEY RANCH ADDITION  
Copy of PLAT  
Baughman Company, P.A.  
1518 E. 15th St., Wichita, KS 67204  
Phone: 316-261-1111

WADLEY RANCH ADDITION  
Copy of PLAT