

# GENERAL NOTES:

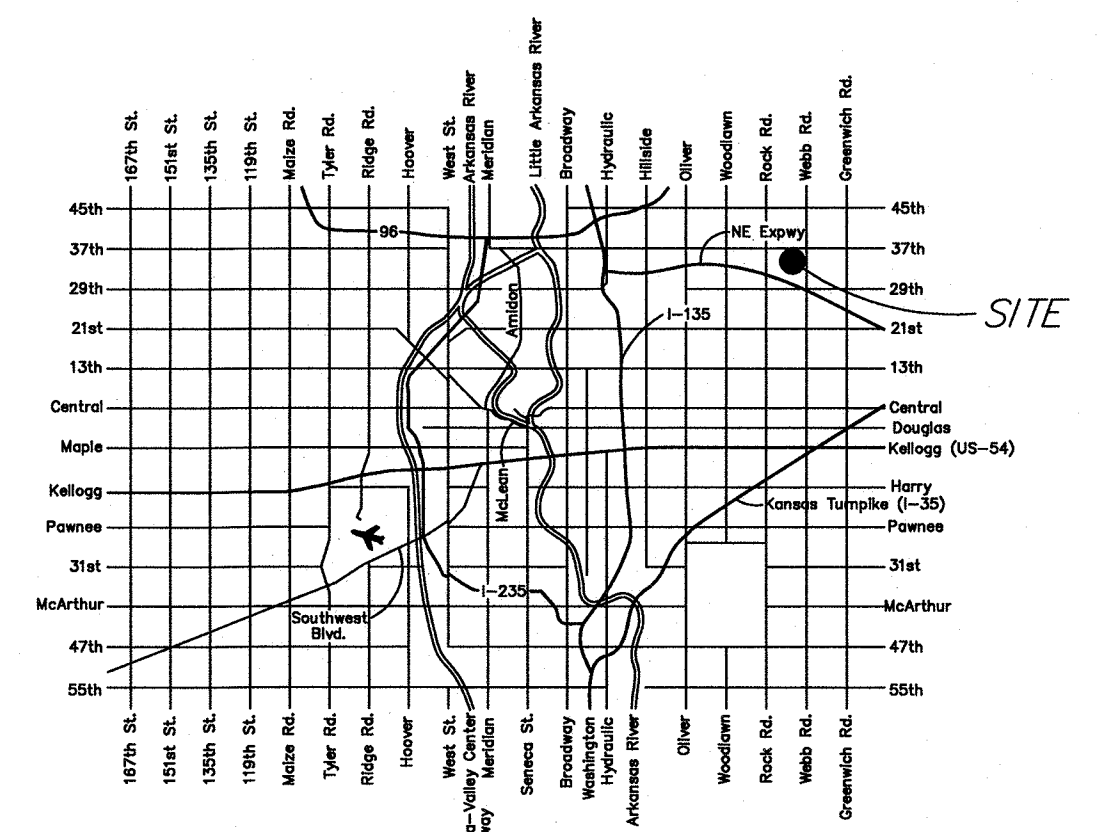
- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:  
  
Kansas One-Call 687-2470  
  
The Contractor must notify the following in case of an emergency:  
  
AT&T 1-800-246-8464  
Black Hills Energy 1-800-694-8989  
City of Wichita Water & Sewer 1-316-219-8921  
City of Wichita Stormwater 1-316-268-4090  
City of Wichita Traffic 1-316-268-4034  
Cox Communications 1-888-249-3530  
Kansas Gas Service 1-888-482-4950  
Westar Energy 1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valves one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match final grades by the contractor.
- The Contractor shall notify the consultant engineer and Tom Mason at 316-268-4574 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at [traffic@wichita.gov](mailto:traffic@wichita.gov) before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of the Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are NAVD 88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.

- Any sidewalk, drive approach, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- City maintenance of storm sewer ends at the last structure in the easement or right-of-way.
- A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top to the manhole.
- Geotechnical report available upon request.
- Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.
- The inspecting firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.
- The Contractor shall protect from damage and support existing utilities through construction as approved by the utility owner and the Engineer at the contractors expense.

**AS BUILTS**

Contractor: McCullough Excavation, Inc.	Project Inspector: Larry Gann
5/03/2017	
117 E. Lewis, Wichita, KS 67202 (316)264-0242	

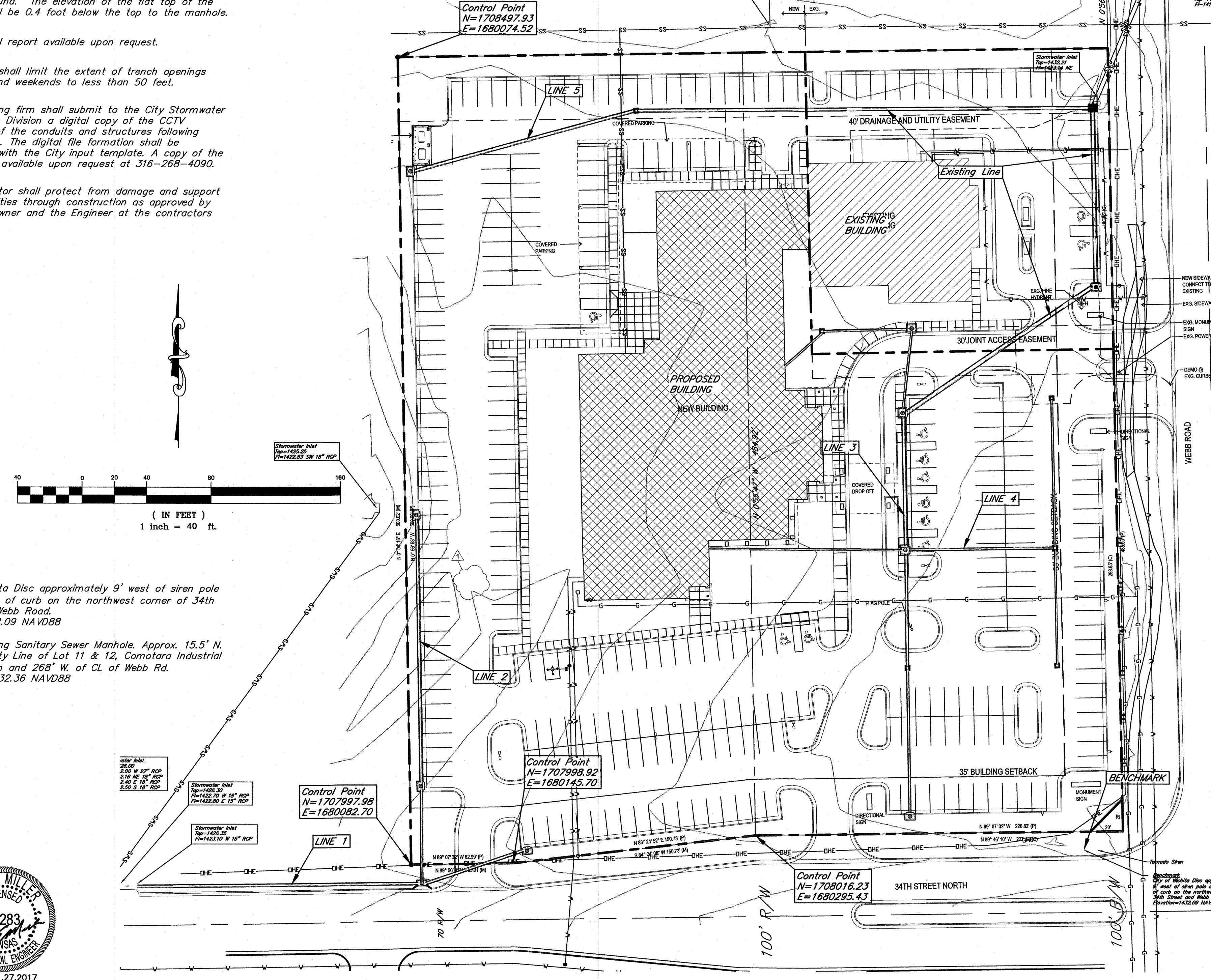
## STORM SEWER IMPROVEMENTS to serve Lot 11 & 12, Comotara Industrial Fifth Addition 3555 North Webb Rd. CITY OF WICHITA, KANSAS Gary Janzen, P.E., City Engineer 0436 PPD (607861)



Vicinity Map

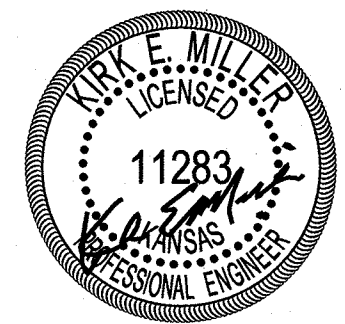
Index of Sheets:

1.0	Cover Sheet
2.0	Grading Plan
3.0	ERU Plan
4.0	Line 1
4.1	Line 2
4.2	Line 3
4.3	Line 4 & 5
5.0	Drainage Plan
6.0	Drop Inlet Detail
6.1	Type 1 Curb Inlet Detail
7.0	Erosion Plan
7.1-7.5	Erosion Control BMP Details (attached or available on City's website)
8.0	Plat



**Benchmark:**  
City of Wichita Disc approximately 9' west of siren pole and 3' north of curb on the northwest corner of 34th Street and Webb Road.  
Elev. = 1432.09 NAVD88

Top of Existing Sanitary Sewer Manhole. Approx. 15.5' N. of N. Property Line of Lot 11 & 12, Comotara Industrial Fifth Addition and 268' W. of CL of Webb Rd.  
Elevation=1432.36 NAVD88



DATE: 01.27.2017  
THIS SHEET HAS BEEN  
SIGNED, SEALED AND  
DATED ELECTRONICALLY

**Stormwater Certification:**  
New Development

These construction plans were prepared in accordance with the current Stormwater Management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Stormwater Manual.

Disturbed Area: 37789 sq. ft.  
Water Quality Treatment: Off-site water quality credits  
Downstream Channel Protection: N/A  
Detention: Provided by existing pond.  
The BMP used for this development is Off-site water quality credits.

APPROVED AS NOTED  
BY WICHITA PUBLIC WORKS ENGINEERING  
AND STORMWATER DIVISION

Engineering *Robert Dief* 2/21/17  
Stormwater *Joe Hilde* PE 2/22/17

NOTE TO CONTRACTORS

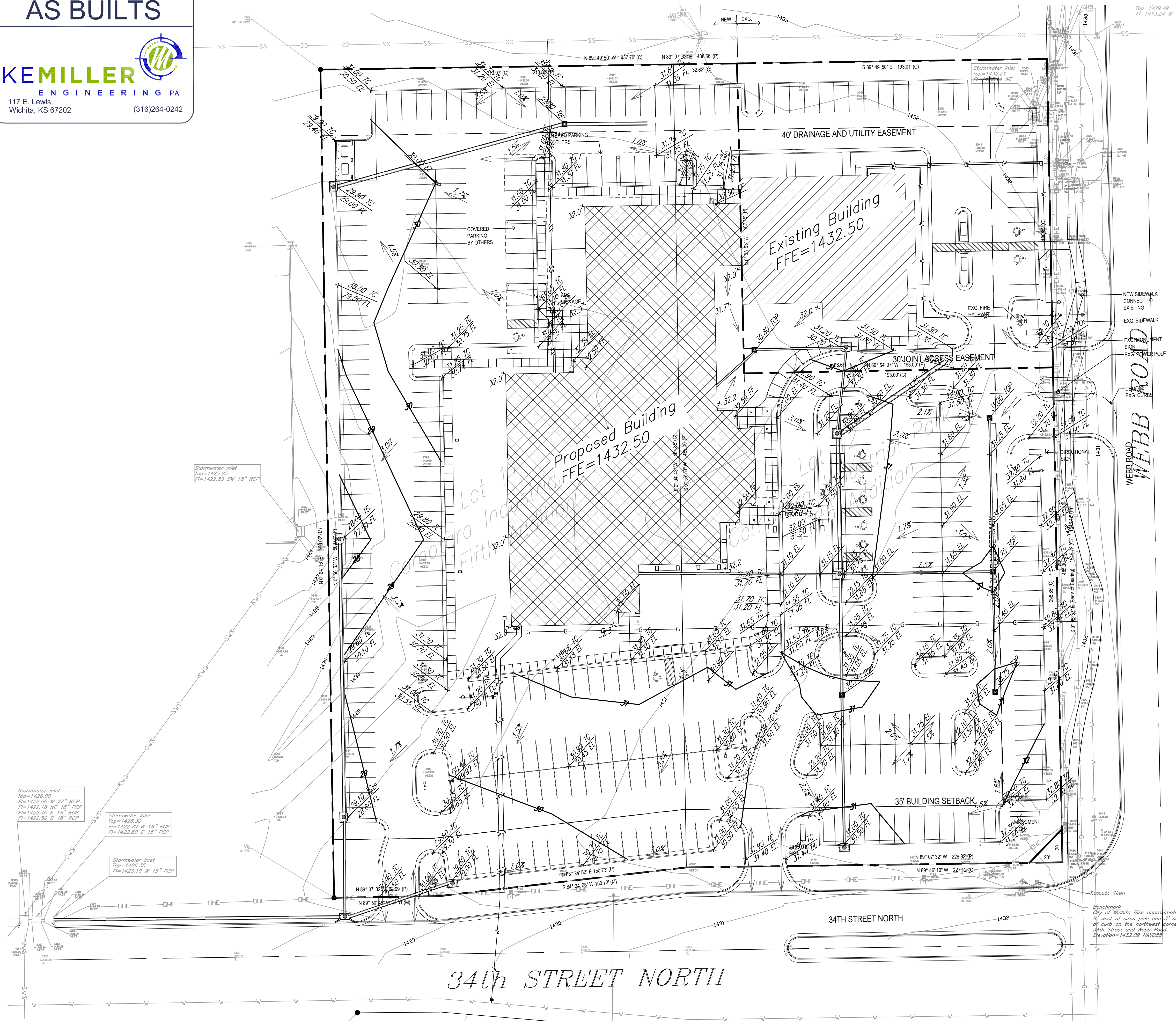
Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions. (on file and available at Wichita.gov).

An approved copy of these plans signed by City staff are required on-site.

**KEMILLER**  
ENGINEERING PA  
117 E. Lewis, Wichita, KS 67202 (316)264-0242

November 2016

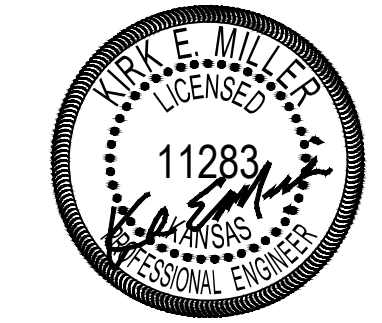
AS BUILTS



Grading Legend:

- EP = Edge of Pavement
- EL = Elevation
- FL = Flow Line
- TC = Top of Curb
- SW = Top of Sidewalk
- TP = Top of Pavement
- TW = Top of Wall
- FFE = Finish Floor Elevation
- Flow Arrows

Benchmark  
 City of Wichita Disc approximately 9'  
 west of siren pole and 3' north of curb  
 on the northwest corner of 34th Street  
 and Webb Road.  
 Elevation=1432.09 NAVD88



DATE: 02.17.2017  
 THIS SHEET HAS BEEN  
 SIGNED, SEALED AND  
 DATED ELECTRONICALLY



HORIZONTAL SCALE  
 ( IN FEET )  
 1 inch = 30 ft.



**HEARTLAND CARDIOLOGY MOB**  
 NORTH WEBB RD, WICHITA, KANSAS



ISSUE  
 21 JULY 2016  
 GRADING PLAN

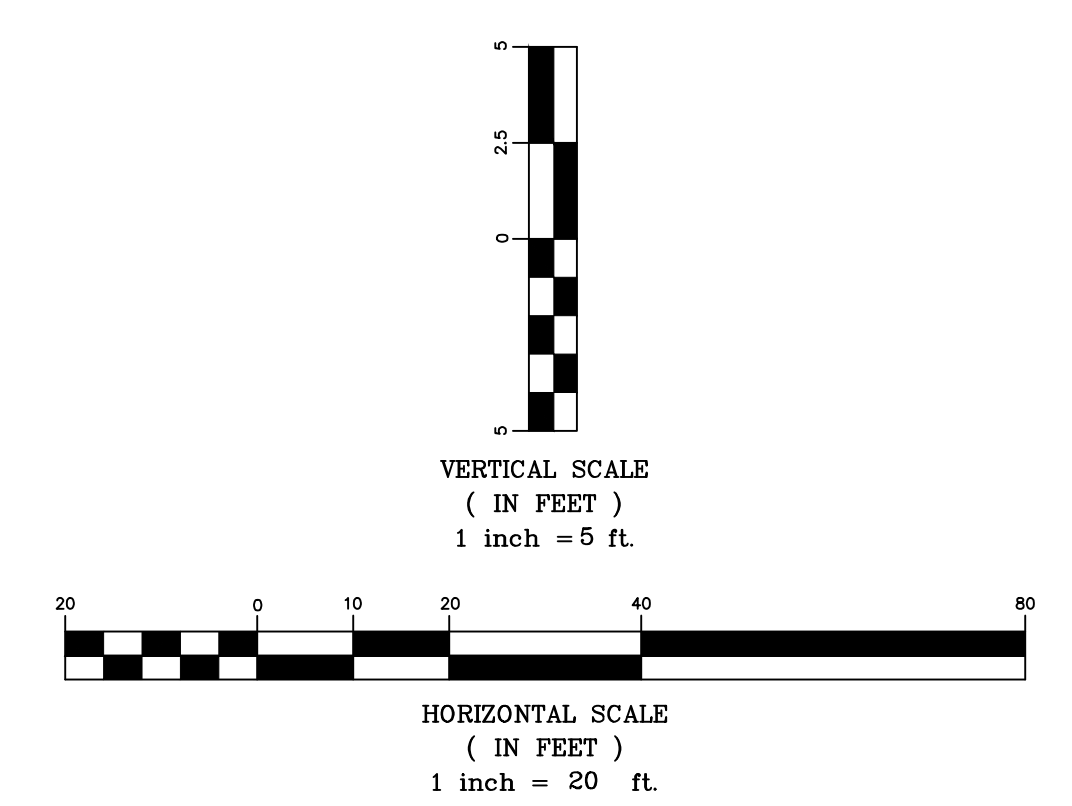
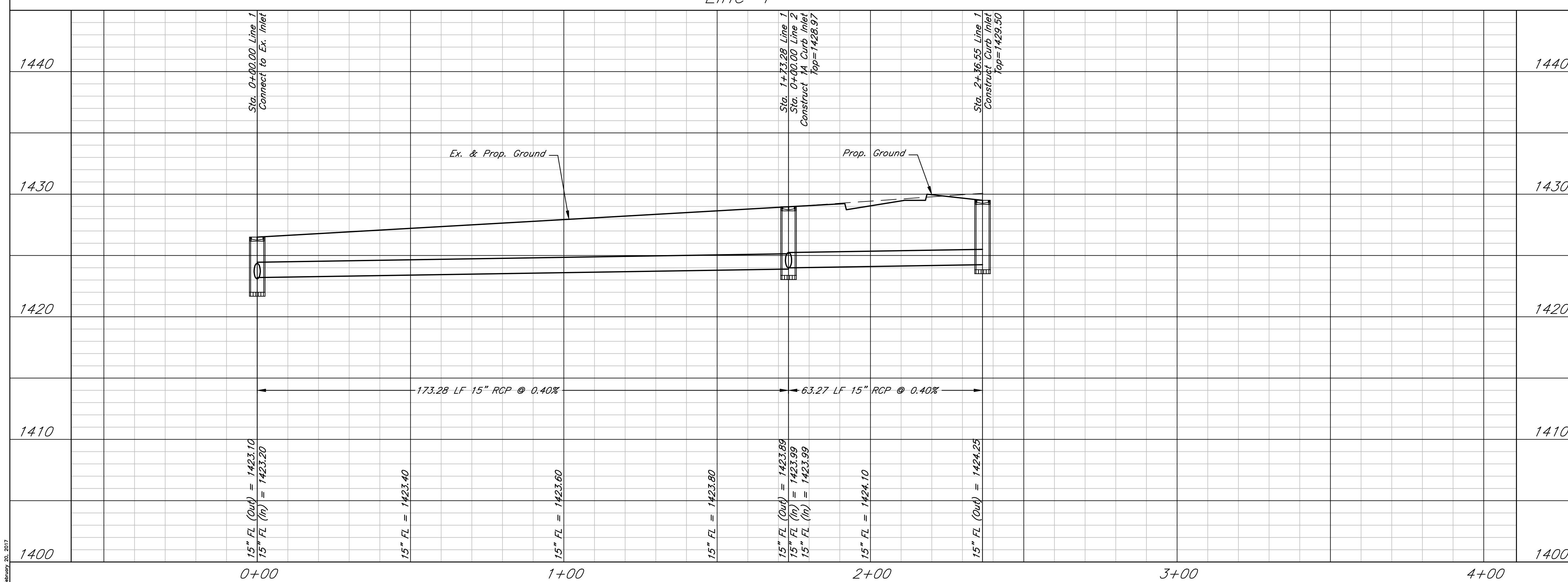
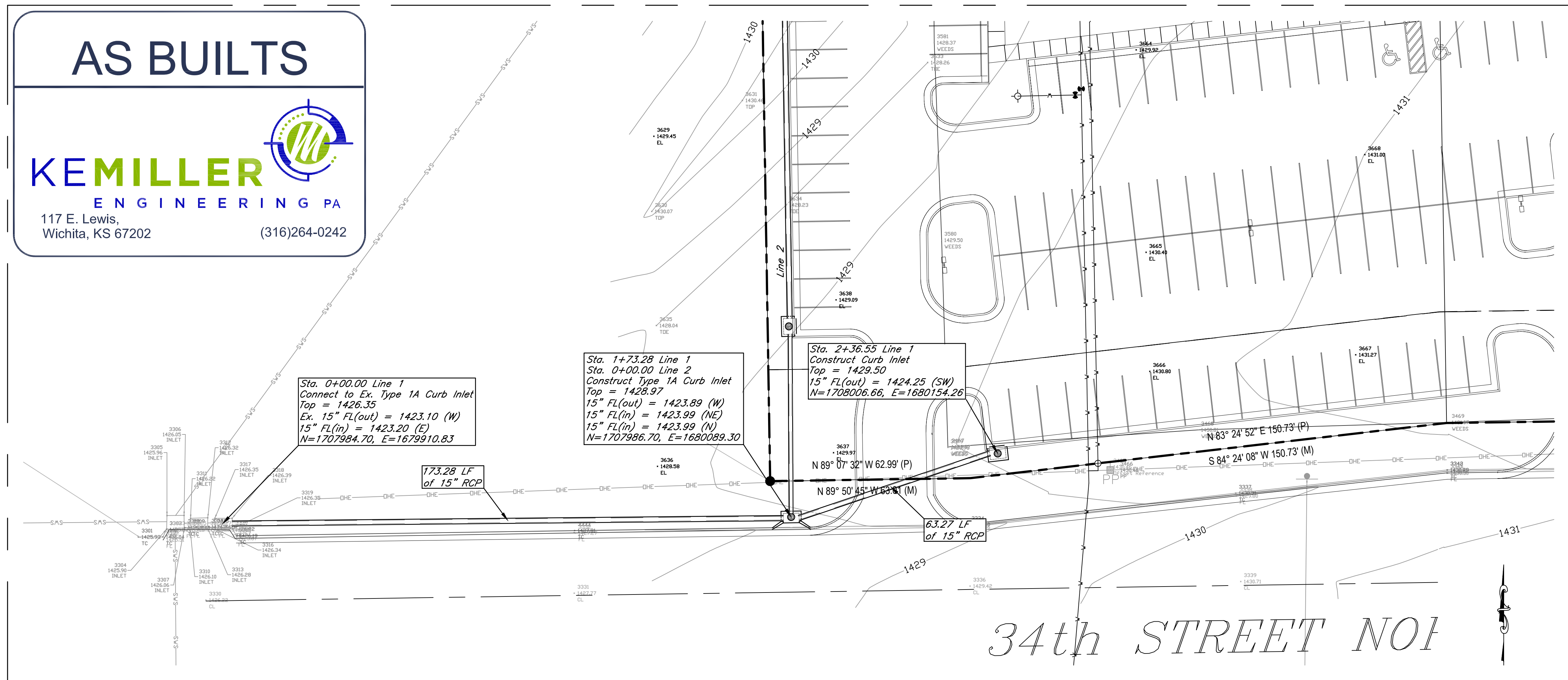





# AS BUILTS



**KEMILLER**  
ENGINEERING PA  
117 E. Lewis,  
Wichita, KS 67202 (316)264-0242



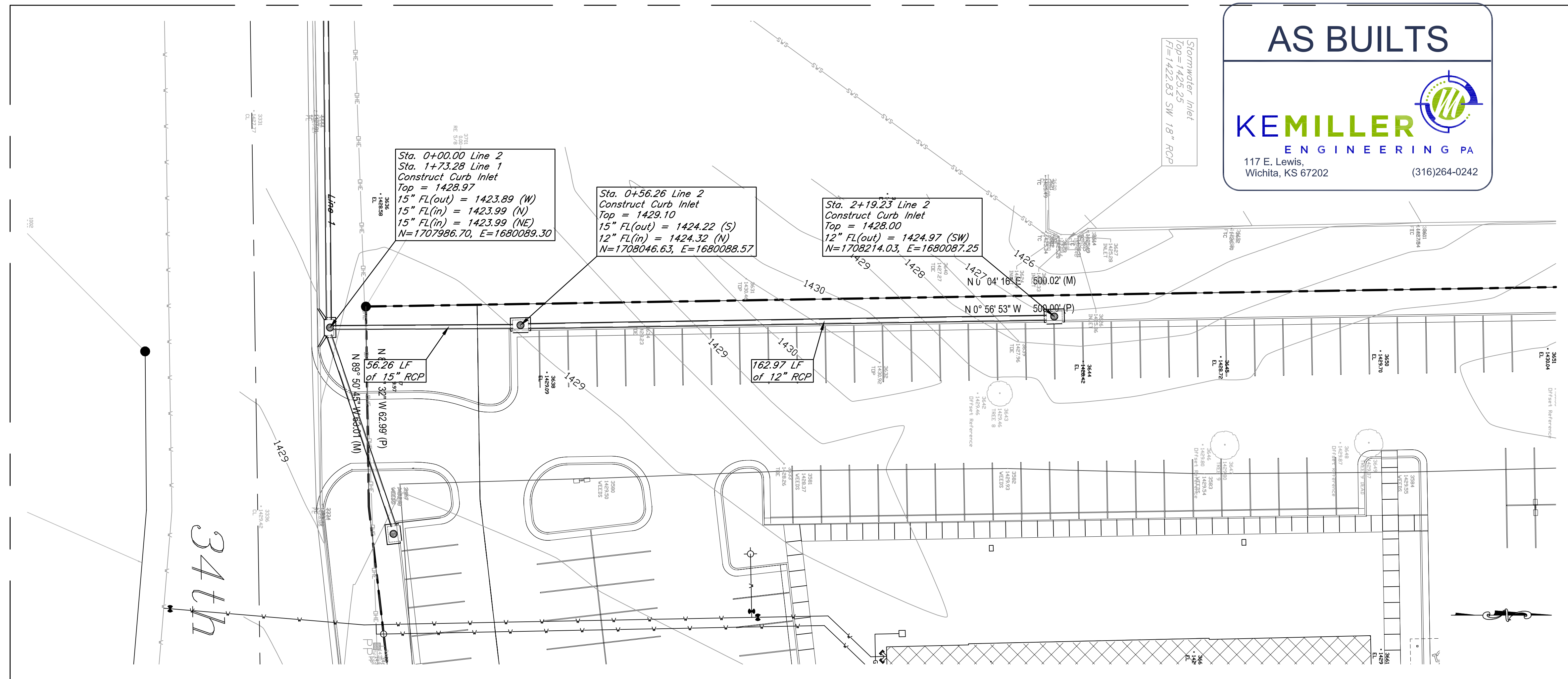
Heartland Cardiology  
Plan and Profile, Line 1  
Wichita, Kansas

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	KEM NO. 16081	FILE	DATE 10/2016	SHEET 4.0
DESIGN KM	DRAWN AHS	REVISED		

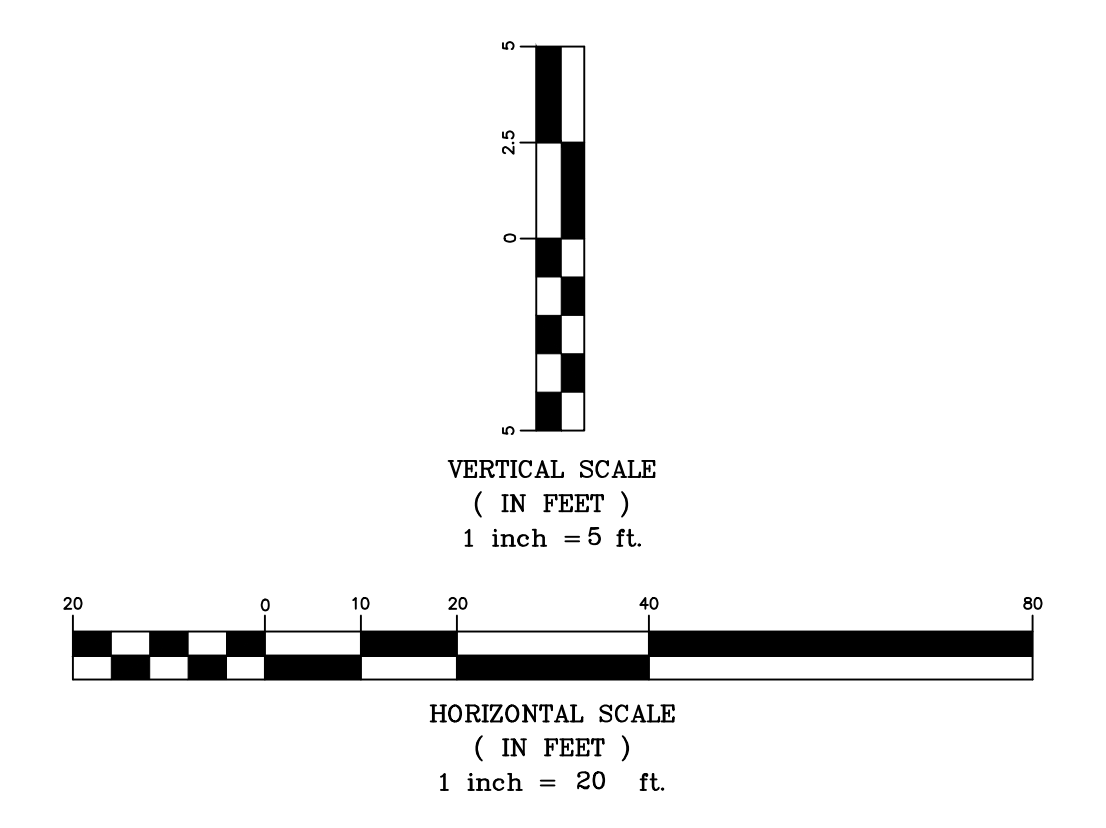
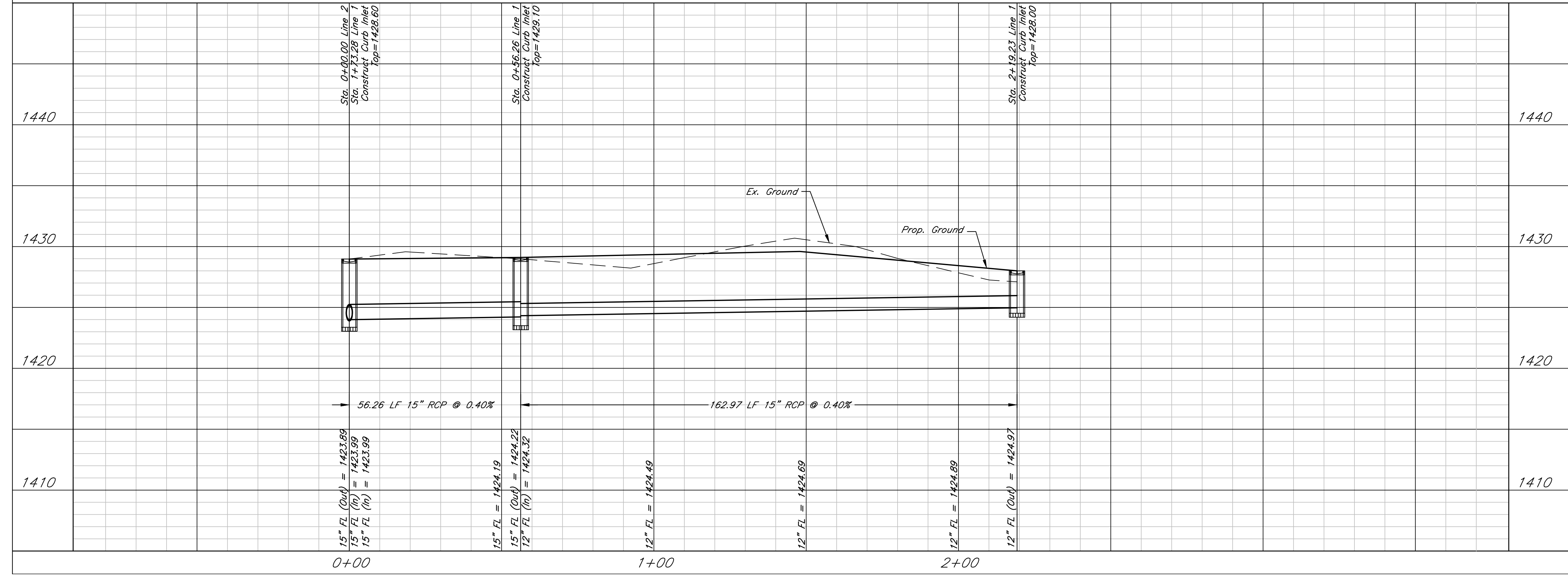
February 20, 2017

AS BUILTS

**KEMILLER**  
ENGINEERING PA  
117 E. Lewis,  
Wichita, KS 67202 (316)264-0242



Line 2



Heartland Cardiology  
**Plan and Profile, Line 2**  
Wichita, Kansas

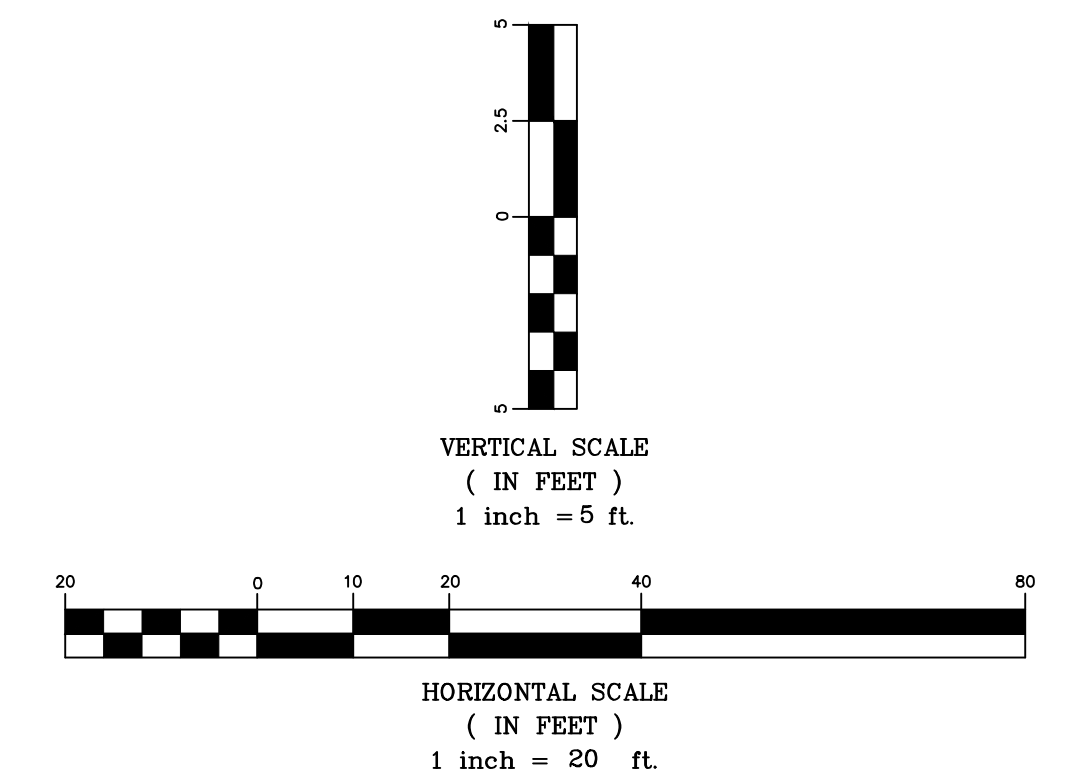
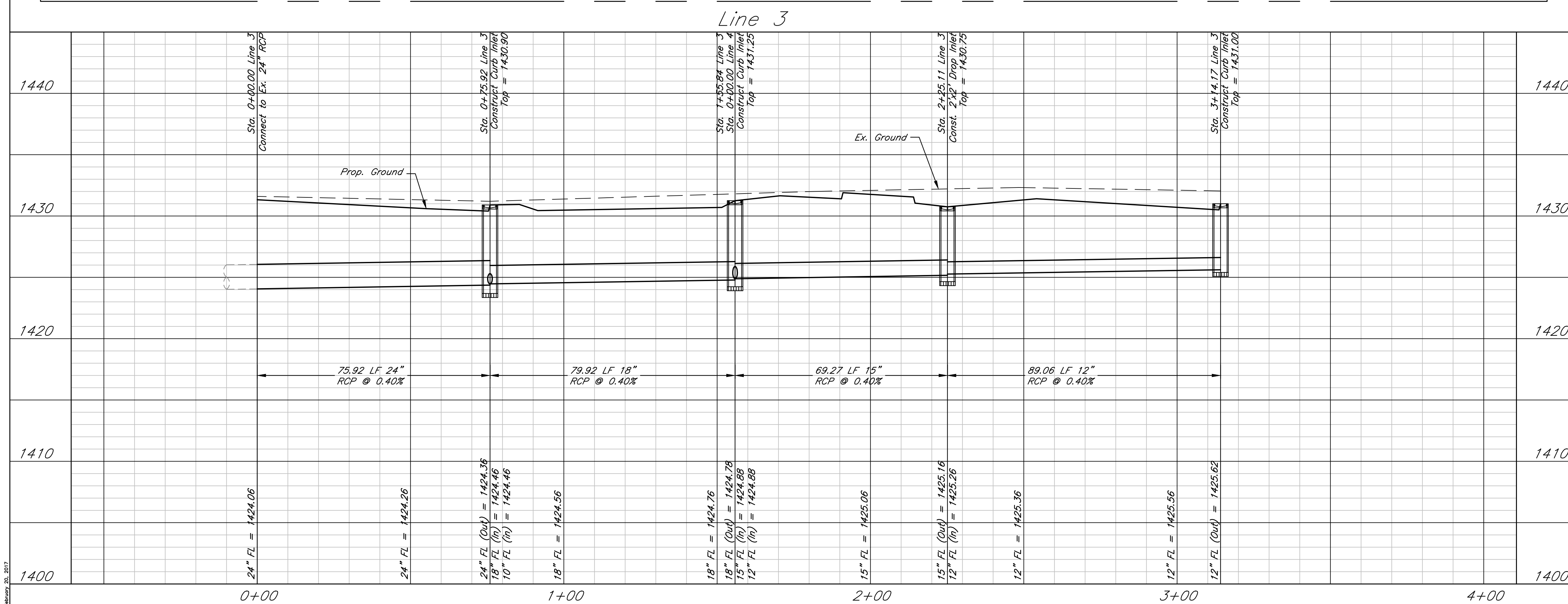
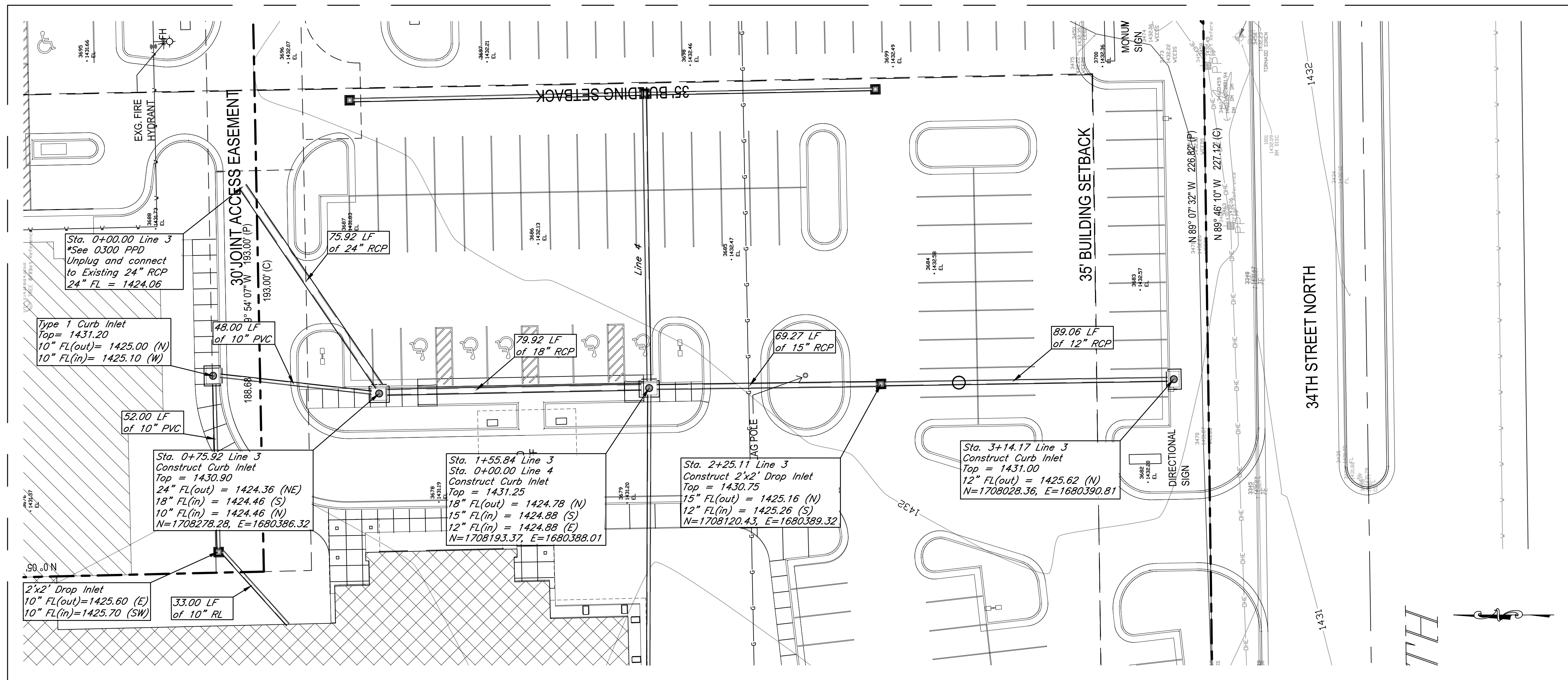
<b>KEMILLER</b> ENGINEERING PA 117 E. Lewis, Wichita, KS 67202 (316)264-0242	PROJECT NUMBER			
	KEM NO. 16081	FILE	DATE 10/2016	SHEET 4.1
	DESIGN KM	DRAWN AHS	REVISED	

**AS BUILTS**



117 E. Lewis,  
Wichita, KS 67202

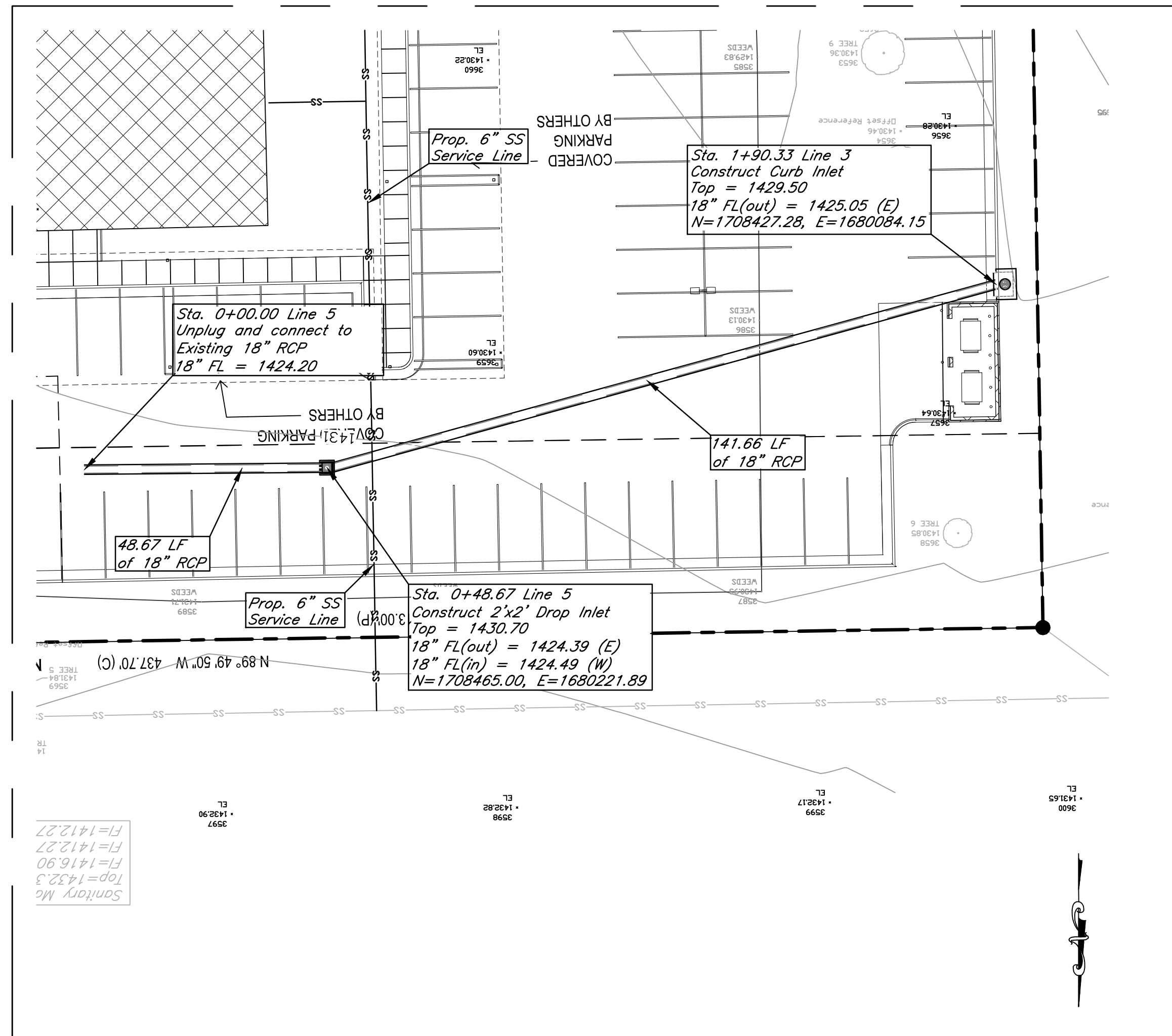
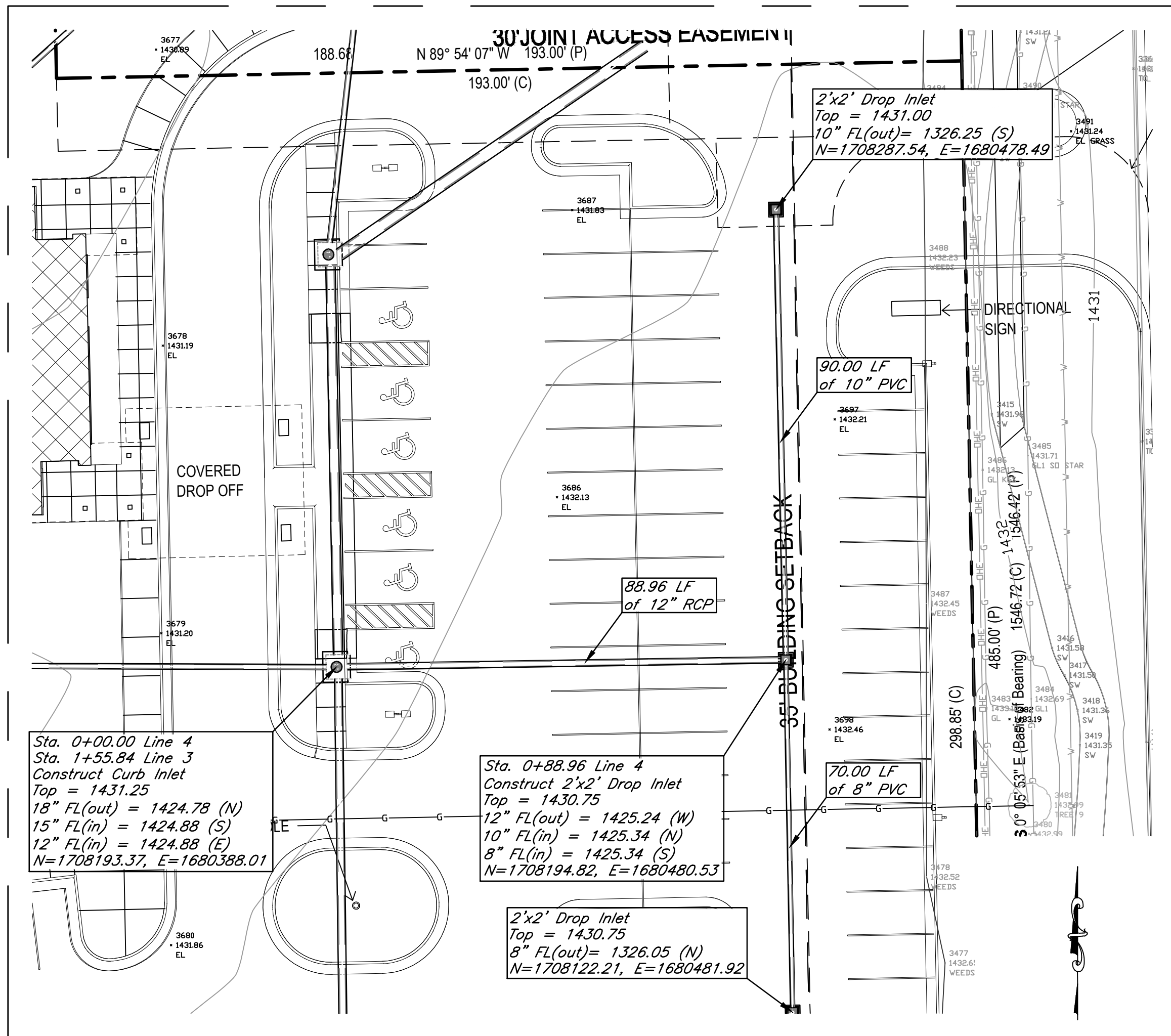
(316)264-0242



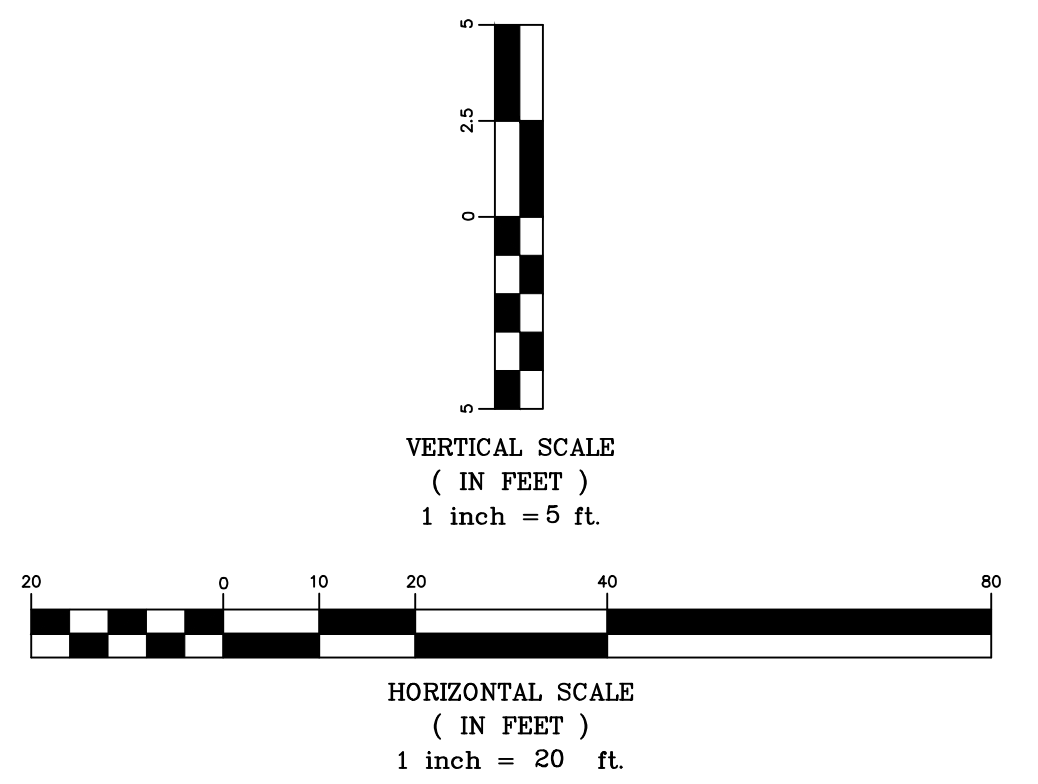
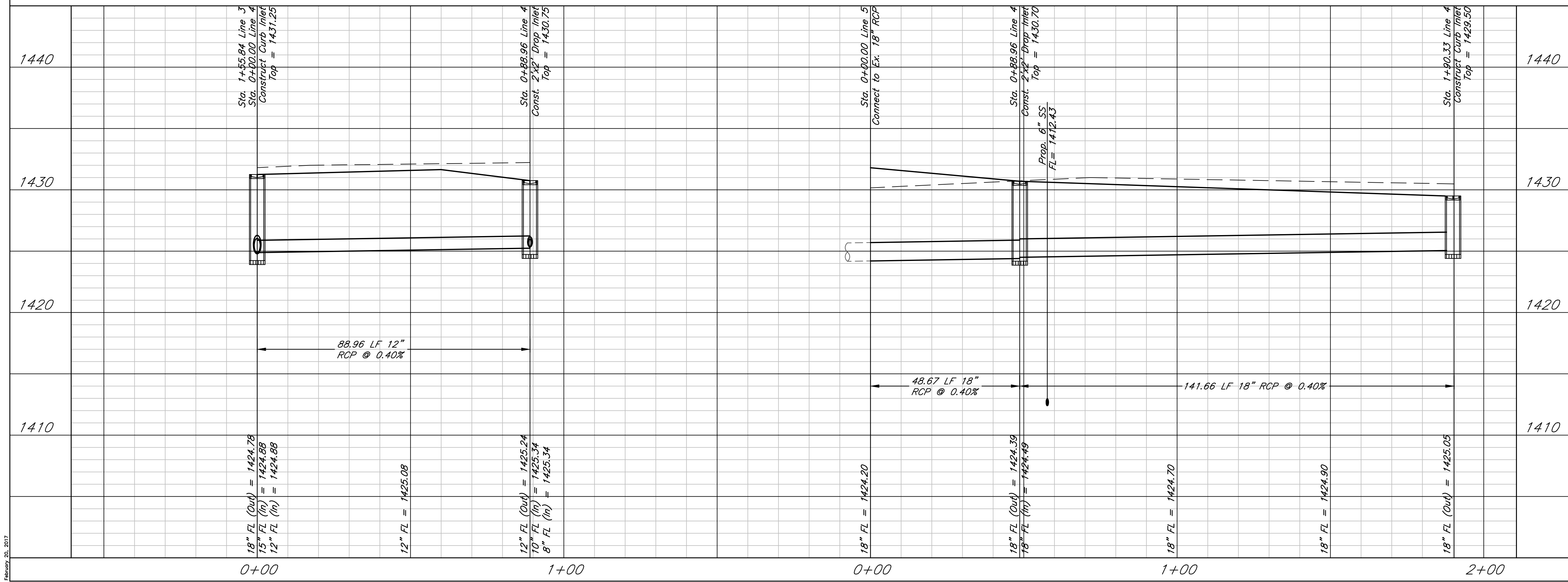
Heartland Cardiology  
**Plan and Profile, Line 3**  
Wichita, Kansas

<b>KEMILLER</b> ENGINEERING PA 117 E. Lewis, Wichita, KS 67202 (316)264-0242	PROJECT NUMBER XXXX PPD (607861)			<b>4.2</b>
	KEM NO. 16081	FILE	DATE 10/2016	
DESIGN KM	DRAWN AHS	REVISED		

February 20, 2017



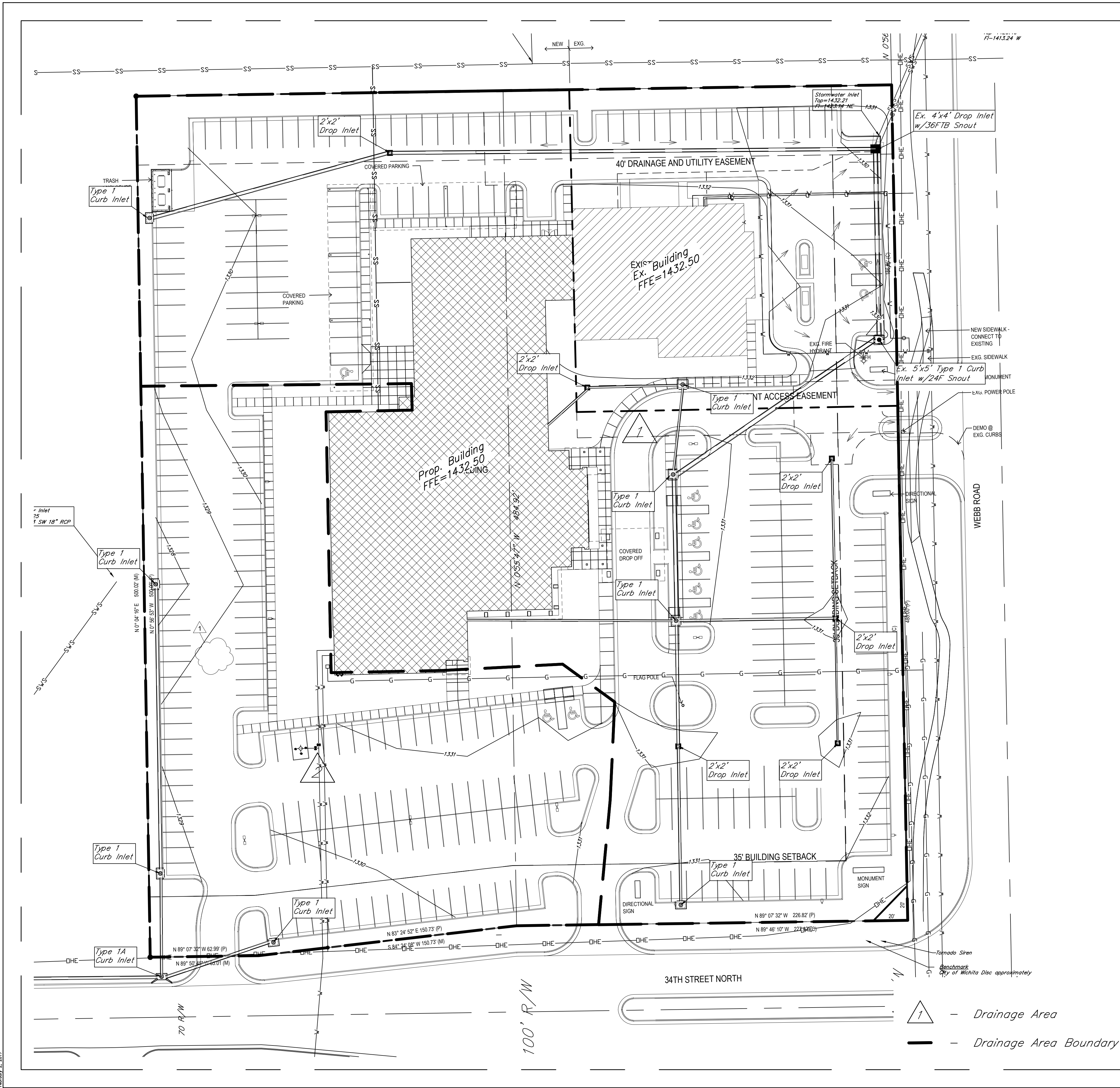
Line 4



Heartland Cardiology  
Plan and Profile, Line 4 & 5  
Wichita, Kansas

	PROJECT NUMBER		
	KEM NO. 16081	FILE	DATE 10/2016
DESIGN KM	DRAWN AHS	REVISED	SHEET 4.3

February 20, 2017



**Project Narrative:**  
 The site is located at the Northwest corner of the intersection of 34th Street N and N Webb Road. The total site is 4.94 acres. The proposed development includes the construction of a new building and parking lot. The existing drainage pattern indicates that the site drains to the southwest, but following future expansion will be routed to the northeast corner of the property to an existing SWS System.

**Water Quality and TSS Removal Calculation**

The Water Quality and TSS Removal will be handled in the existing snouts, and runoff from the site also enters a series of ponds after leaving the SWS system to the north.

Water Quality Volume (WQv) Calculation				
Calculation for water quality volume (WQv=P*Rv*A/12)		Soil Group 'C'		
85th percentile storm event (1.2 inches), P =	1.20	inches	Calculation of Rv	
Total area, A =	4.94	acres	Coeff.	Area
Rainfall Coef, Rv =	0.786	cf	Coeff for undisturbed area, Rv <sub>U</sub> =	0.03 0.88
Required Vol. for Water Quality =	0.388	ac-ft	Coeff for turf cover, disturbed, Rv <sub>T</sub> =	0.20 0.00
Corresponding Water Quality Peak Flow =	3.77	cfs	Coeff for impervious area, Rv <sub>I</sub> =	0.95 4.06
			Weighted, Rv =	0.786

**Channel Protection Volume (CPv)**

The Channel protection volume detention (1-yr storm for 24 hrs) is not required for this site as the total disturbance of proposed development is less than 5.0 acres.

**Runoff Calculations (2-, 5-, 10-, 25-, and 100-yr)**

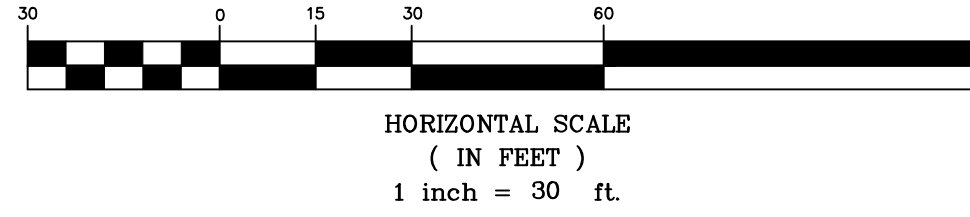
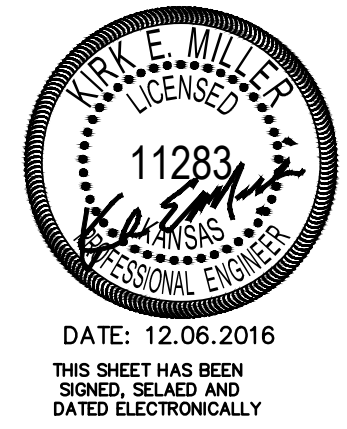
**EXISTING CONDITION:**  
 On-site Area = 4.94 acres  
 Soil Group = C (as per COW HSG map)  
 CN=83

EXISTING SITE									
DRAINAGE AREA	ACRES	Tc min	CN	Q2	Q5	Q10	Q25	Q100	REMARKS
On-site (1)	4.11	27	83	7.10	10.43	12.81	15.90	21.76	Draining North to Ex. SWS
On-site (2)	0.83	15.6	83	2	2.92	3.57	4.42	6.03	Draining South to Ex. SWS

**DEVELOPED CONDITION:**  
 Total Area = 4.94 acres  
 Soil Group = C (as per COW HSG map)  
 CN=95.5

DEVELOPED SITE									
DRAINAGE AREA	ACRES	Tc min	CN	Q2	Q5	Q10	Q25	Q100	REMARKS
On-site (1)	3.55	15	96	12.63	16.59	19.35	22.97	29.50	Draining North to Ex. SWS
On-site (2)	1.39	15	96	4.95	6.50	7.58	8.96	11.55	Draining South to Ex. SWS

- Notes:**
- Existing and developed flows are calculated using the SCS hydrograph method. "CN" & "Runoff Depth" values are established from "City of Wichita Stormwater Design Manual." Time of concentration (Tc) are calculated using TR-55 method.
  - The developed peak flows are calculated for the Type II rainfall distribution for 24 hours. The peak flows are routed to the Drainage Easement along the south line of the property.
  - The site is not in designated 100-yr floodplain (FIRM 20173C0355E, dated February 2, 2007).
  - Lidar indicates the site drains to the southwest, but will be picked up and carried northeast during future development.



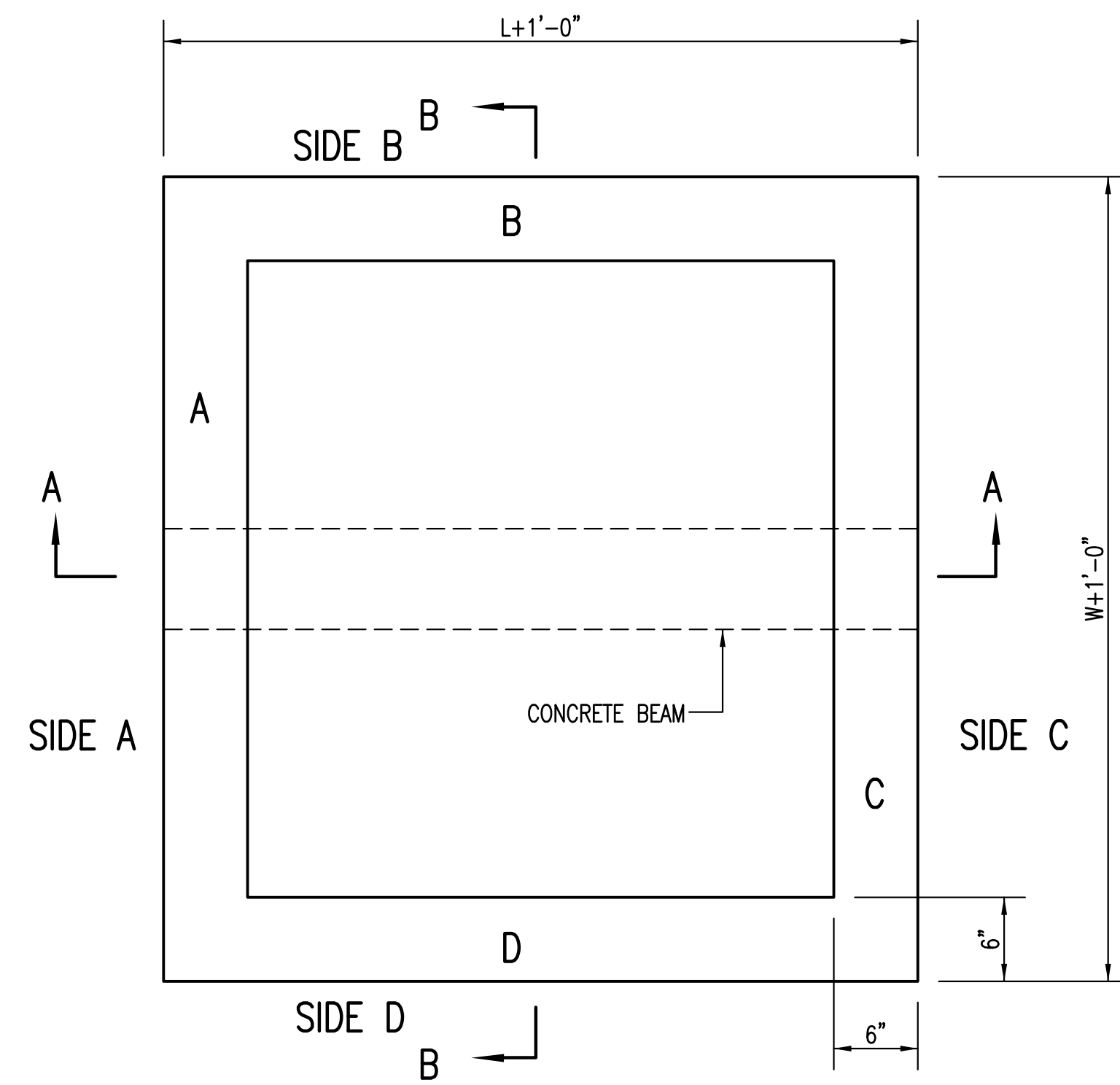
**Benchmark**  
 City of Wichita Disc  
 approximately 9' west of  
 siren pole and 3' north of  
 corner of 34th Street and  
 Webb Road.  
 Elevation=1432.09 NAVD88

△ - Drainage Area  
 --- Drainage Area Boundary

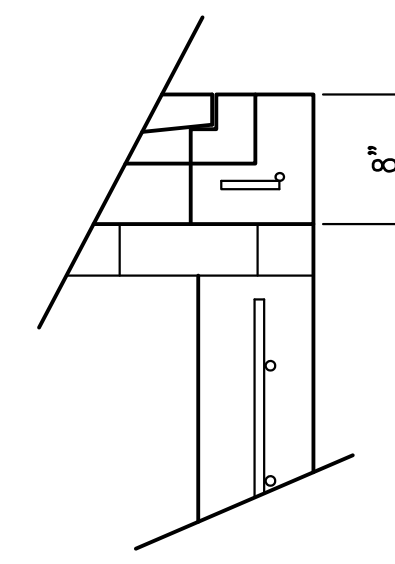
Heartland Cath Lab  
**Drainage Plan**  
 Wichita, Kansas

	PROJECT NUMBER		
	KEM NO. 16081	FILE	DATE 12/2016
DESIGN KM	DRAWN ME	REVISED	SHEET 5.0

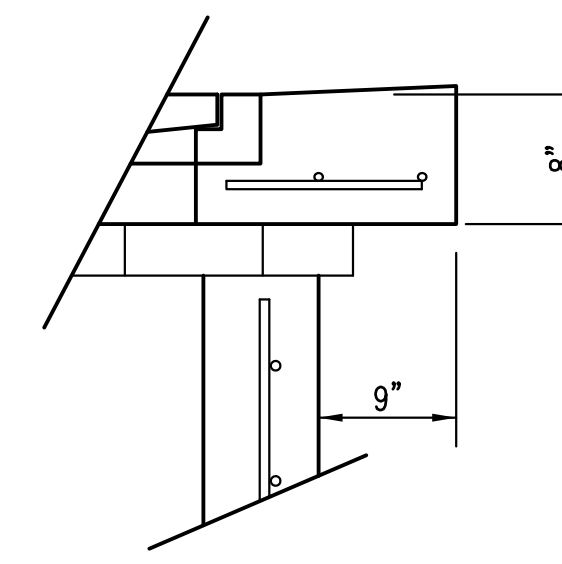
117 E. Lewis, Wichita, KS 67202 (316)264-0242



TOP VIEW

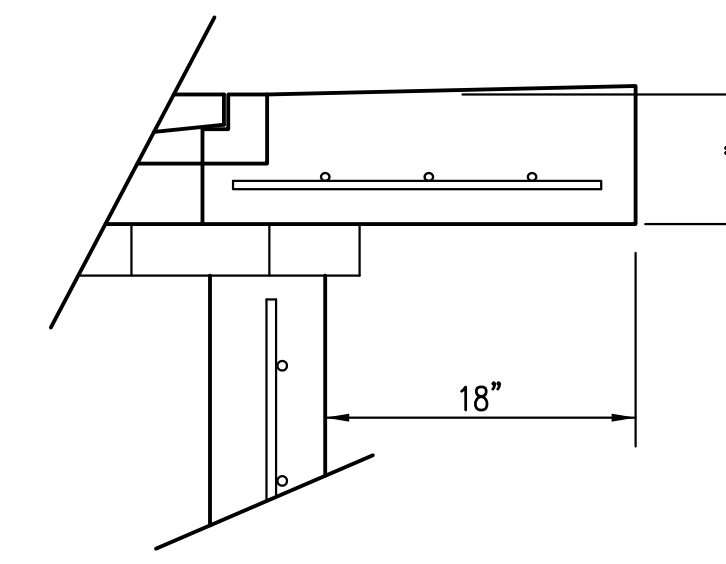


FLUSH STYLE TOP  
NO APRON

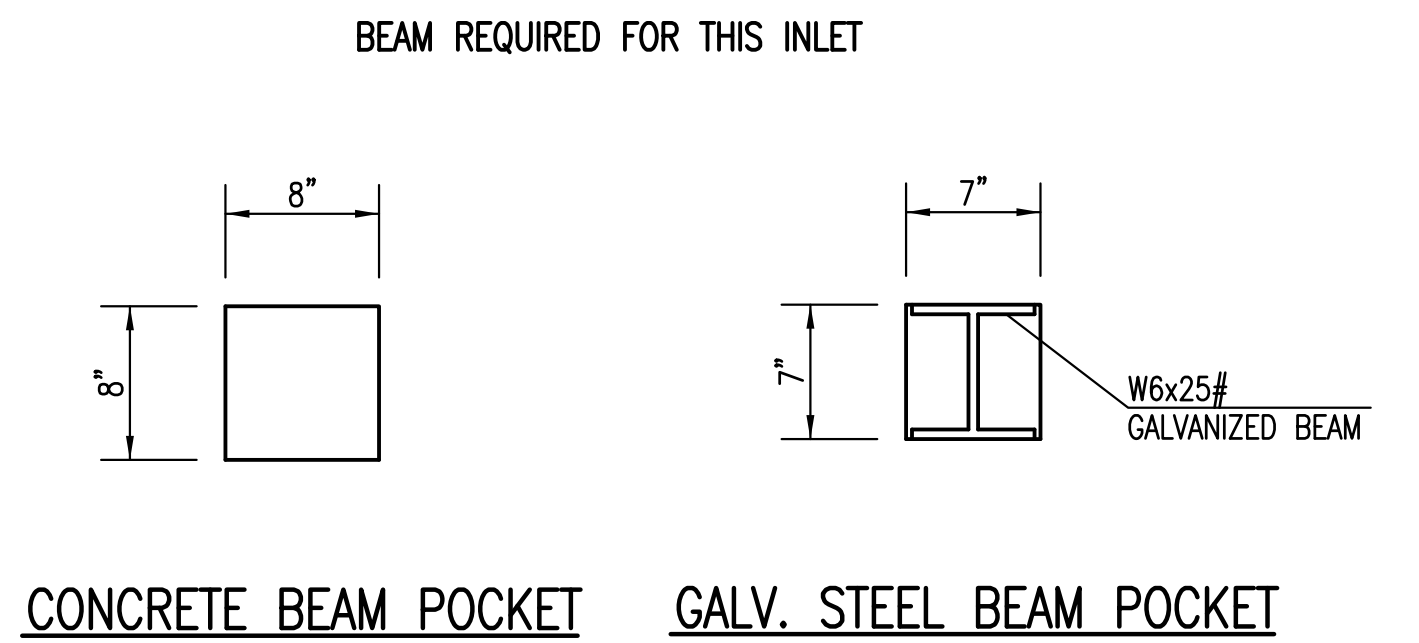


9" APRON

\* APRON TO EXTEND ON ALL 4 SIDES OF INLET.  
DESIGNER TO DESIGNATE APRON SIZE.



18" APRON



CONCRETE BEAM POCKET

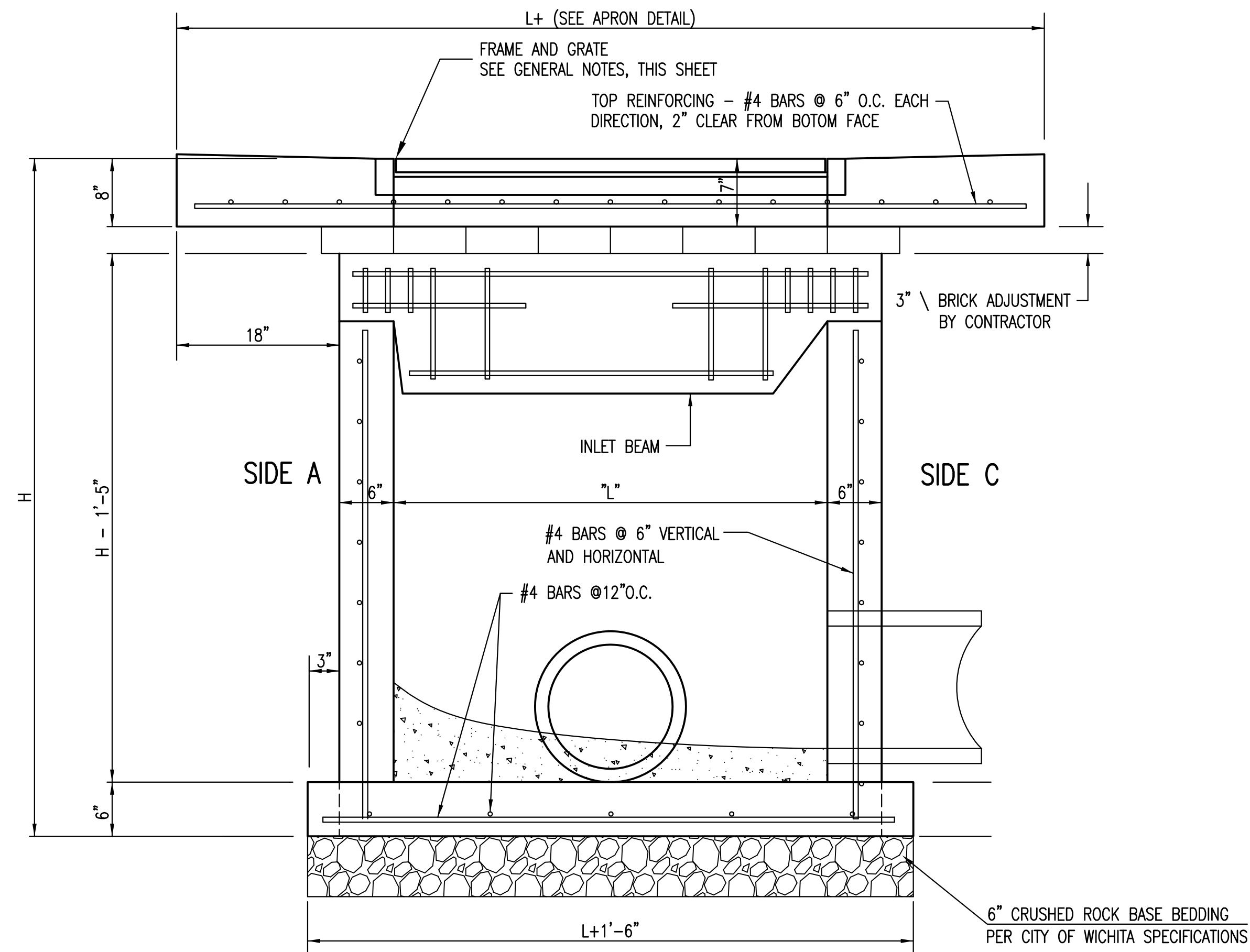
GALV. STEEL BEAM POCKET

W=4'-4" and L=4' for DOUBLE DROP INLET

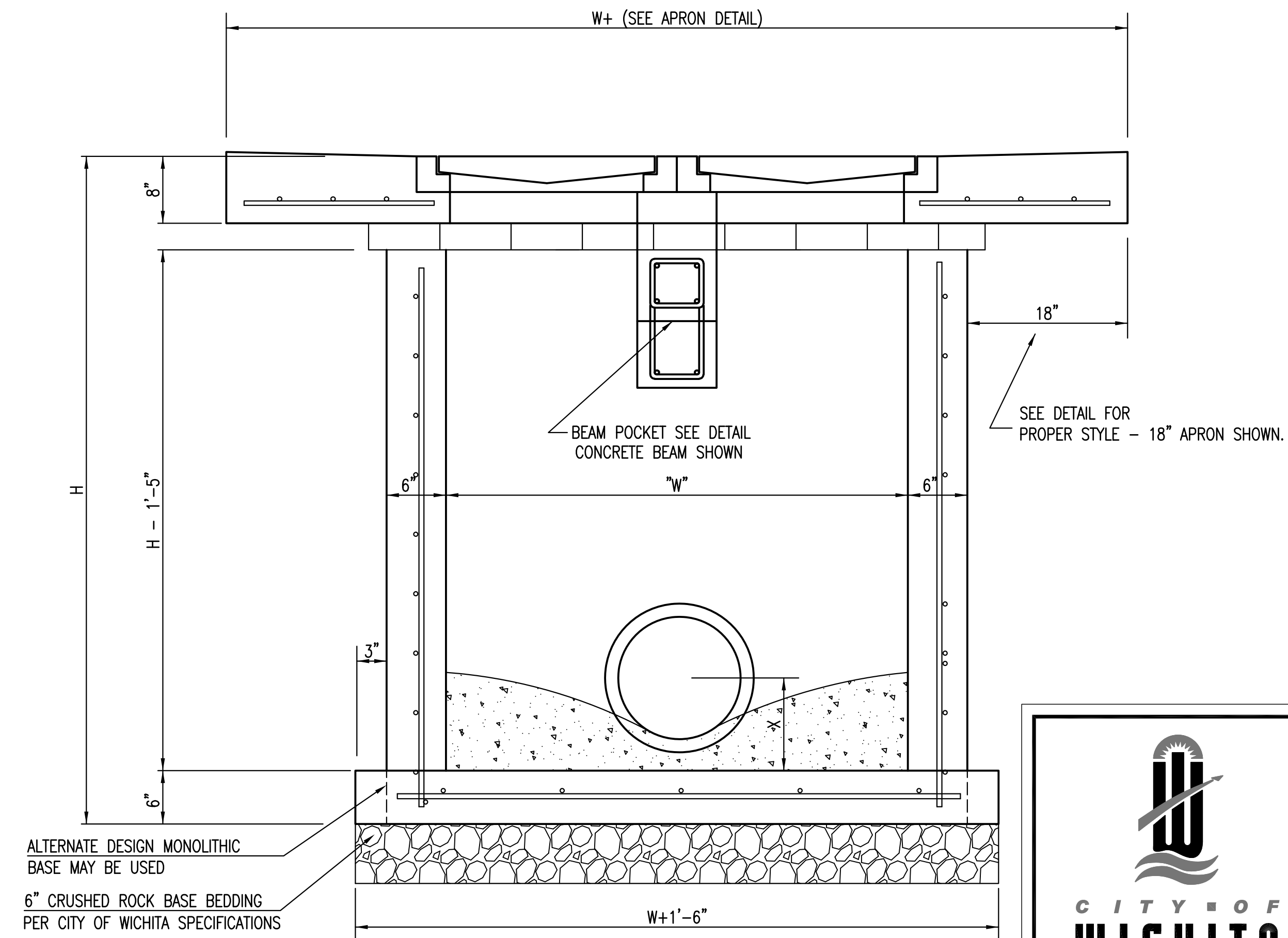
The structure(s) on this detail sheet are designed for HS-20 loading at these specific dimensions only. If larger dimensions are required, the ENGINEER shall provide a project specific structure design for approval by the City Engineer's office.

GENERAL NOTES

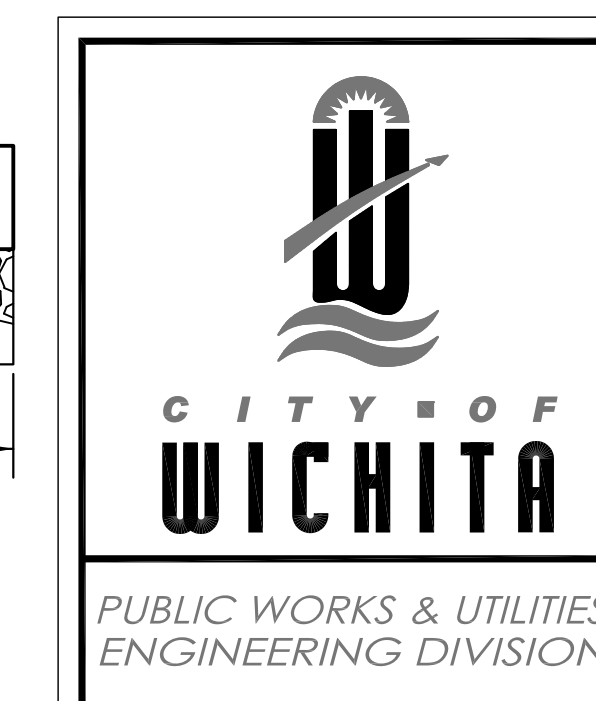
1. GRATE FRAME TO BE INSTALLED ON THIN MORTAR CUSHION TO INSURE FULL SUPPORT ALONG BRICK. CONCRETE USED FOR INLET CONSTRUCTION SHALL CONFORM TO CITY OF WICHITA SPECIFICATIONS FOR CONCRETE PAVEMENT MIX.
2. INLET INVERT SHALL BE SHAPED WITH 8 SACK SAND MIX CONCRETE TO CREATE FLOW CHANNELS AND TO INCREASE HYDRAULIC EFFICIENCY SUCH THAT THE INLET WILL BE SELF CLEANING BETWEEN ALL INLET AND/OR OUTLET PIPES.
3. THE ENDS OF ALL PIPES INSTALLED IN INLETS SHALL BE CUT OFF FLUSH WITH THE INSIDE FACE OF THE INLET WALL.
4. INLET FRAME AND GRATE TO BE DEETER #2433, EJIW #5391-Z1 OR APPROVED EQUAL FOR 2'x2' SINGLE DROP INLET AND DEETER #2434, EJIW #5391 Z3 OR APPROVED EQUAL FOR 2'x4' DOUBLE DROP INLET.
5. CONTRACTOR SHALL REMOVE LIFTING HOOKS AFTER INSTALLATION. RECESSES IN INLET WALL SHALL BE GROUTED FLUSH TO THE INLET WALL WITH HYDRAULIC CEMENT AFTER THE INLET IS IN PLACE. LIFTING HOLES THRU THE INLET WALL WILL NOT BE ACCEPTED.



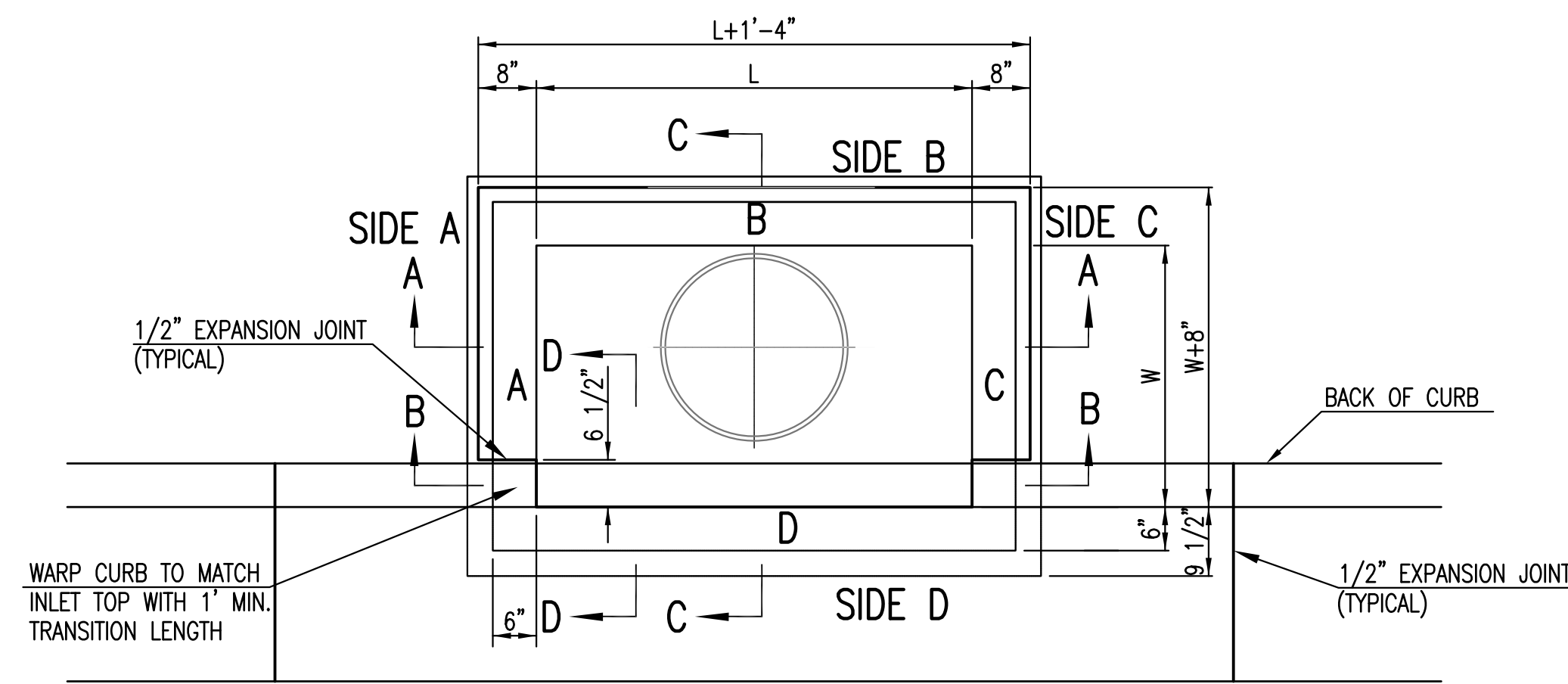
SECTION "A-A"



SECTION "B-B"



<b>DOUBLE DOUBLE DROP INLET WITH BEAM</b>		
CITY ENGINEER <b>GARY JANZEN, P.E..</b>		
PROJECT NUMBER	OCA NUMBER	DATE 05/2011
CITY ENGINEER'S OFFICE CITY HALL - SEVENTH FLOOR 455 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501		SHEET <b>6.0</b>



TOP VIEW

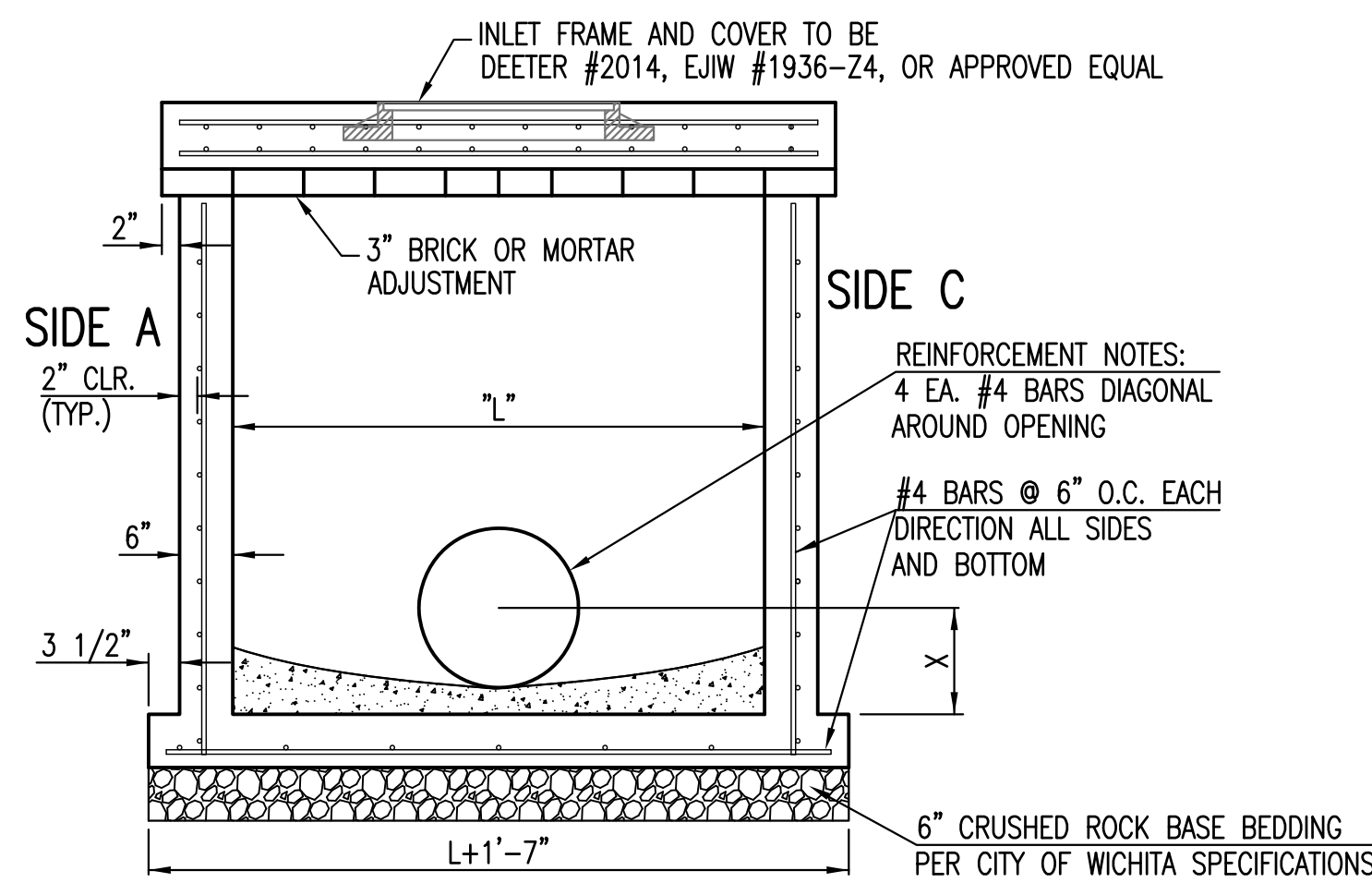
BAR SCHEDULE		
INLET OPENING	B1 BARS	SPACING
5'-0"	#4	4"
10'-0"	#6	3.5"

W	PRE-CAST TOP SIZE			PIPE DIA.**
	WIDTH	LENGTH	TOP	
3'-0"	W+8"	L+1'-4"	7 1/2"	21" & SMALLER
4'-0"	W+8"	L+1'-4"	7 1/2"	24" & 30"
5'-0"	W+8"	L+1'-4"	7 1/2"	36" & 42"
6'-0"	W+8"	L+1'-4"	7 1/2"	48" & 54"
7'-0"	W+8"	L+1'-4"	7 1/2"	60" & 66"

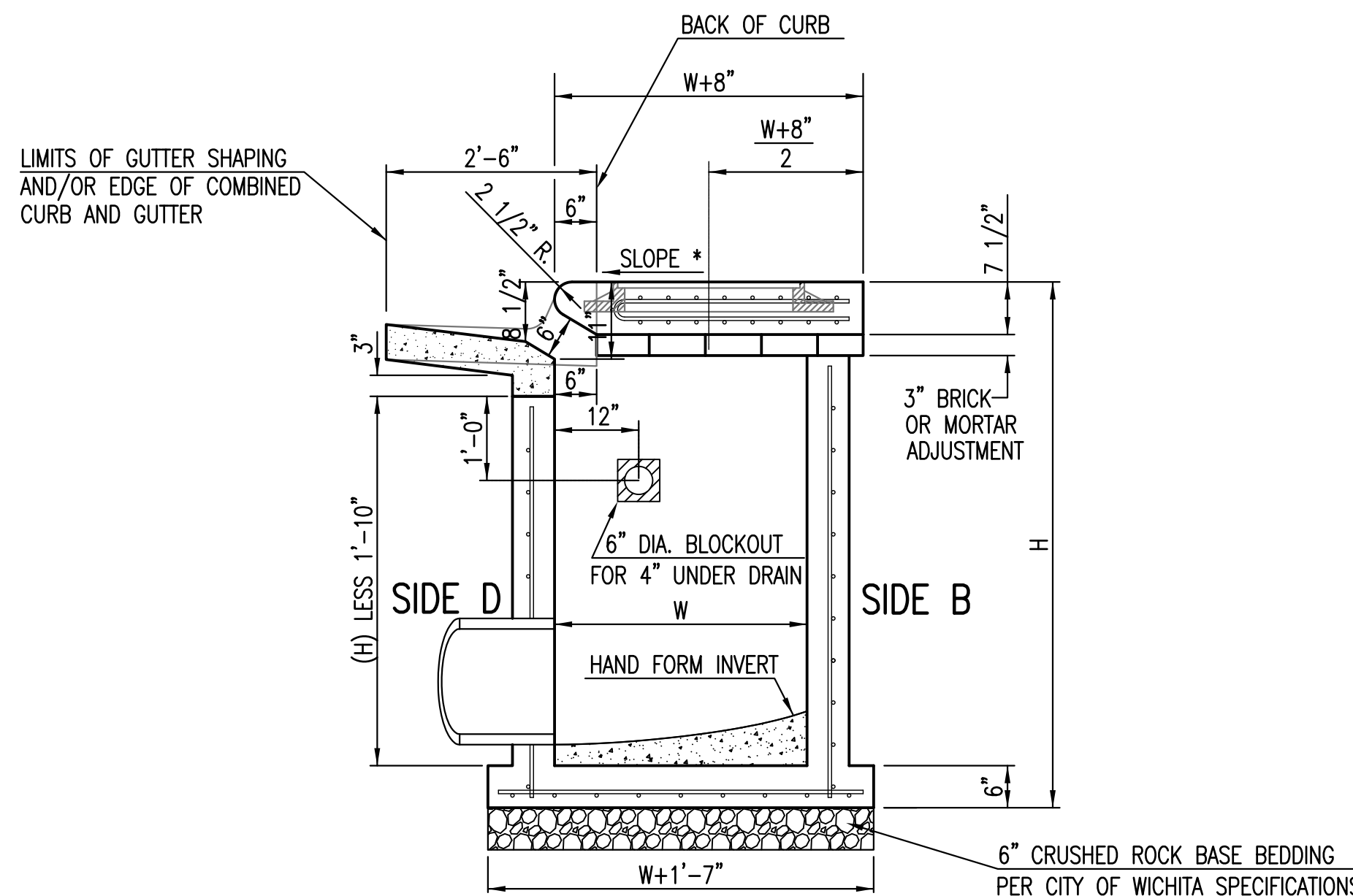
\*\* FOR PIPES PERPENDICULAR TO INLET WALL

GENERAL NOTES

1. CONCRETE TOPS TO BE INSTALLED ON THIN MORTAR CUSHION TO INSURE FULL SUPPORT ALONG BRICK. CONCRETE TOPS MAY BE CAST IN PLACE OR PRECAST. CONCRETE USED FOR INLET CONSTRUCTION SHALL CONFORM TO CITY OF WICHITA SPECIFICATIONS FOR CONCRETE PAVEMENT MIX.
2. CONTRACTOR SHALL HAVE THE OPTION OF CONSTRUCTING 8" BRICK MASONRY WALLS BETWEEN THE CONCRETE INLET BASE AND TOP OF THIS INLET WHEN W=5'-0" AND H=7'-0" OR LESS.
3. INLET INVERT SHALL BE SHAPED WITH 8 SACK SAND MIX CONCRETE TO CREATE FLOW CHANNELS AND TO INCREASE HYDRAULIC EFFICIENCY SUCH THAT THE INLET WILL BE SELF CLEANING BETWEEN ALL INLET AND/OR OUTLET PIPES.
4. THE ENDS OF ALL PIPES INSTALLED IN INLETS SHALL BE CUT OFF FLUSH WITH THE INSIDE FACE OF THE INLET WALL.
5. INLET FRAME AND COVER TO BE DEETER #2014, EJIW #1936 Z4, OR APPROVED EQUAL, SEE SW-303.
6. CONTRACTOR SHALL REMOVE LIFTING HOOKS AFTER INSTALLATION. RECESSES IN INLET WALL SHALL BE GROUDED FLUSH TO THE INLET WALL WITH HYDRAULIC CEMENT AFTER THE INLET IS IN PLACE. LIFTING HOLES THRU THE INLET WALL WILL NOT BE ACCEPTED.

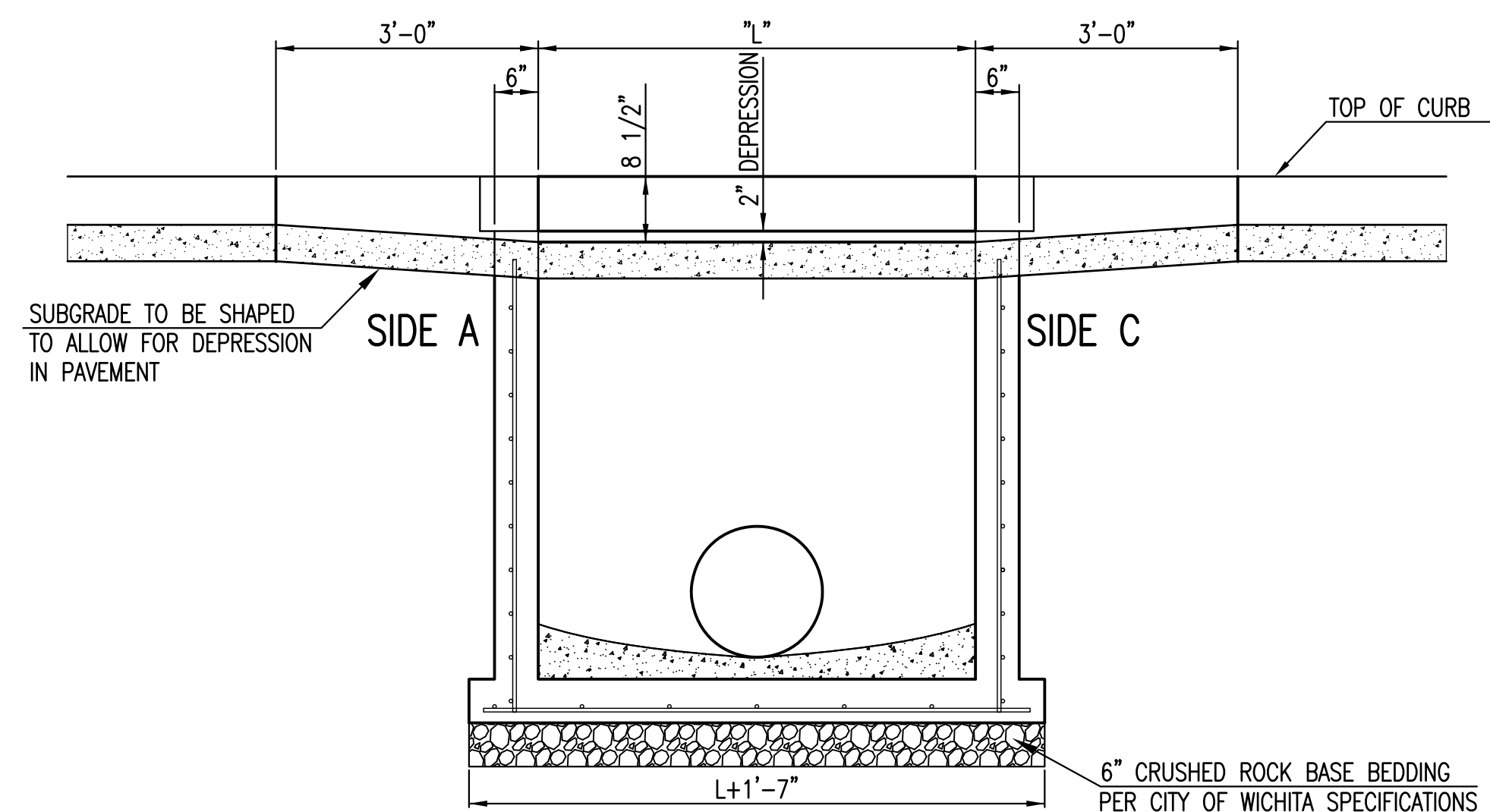
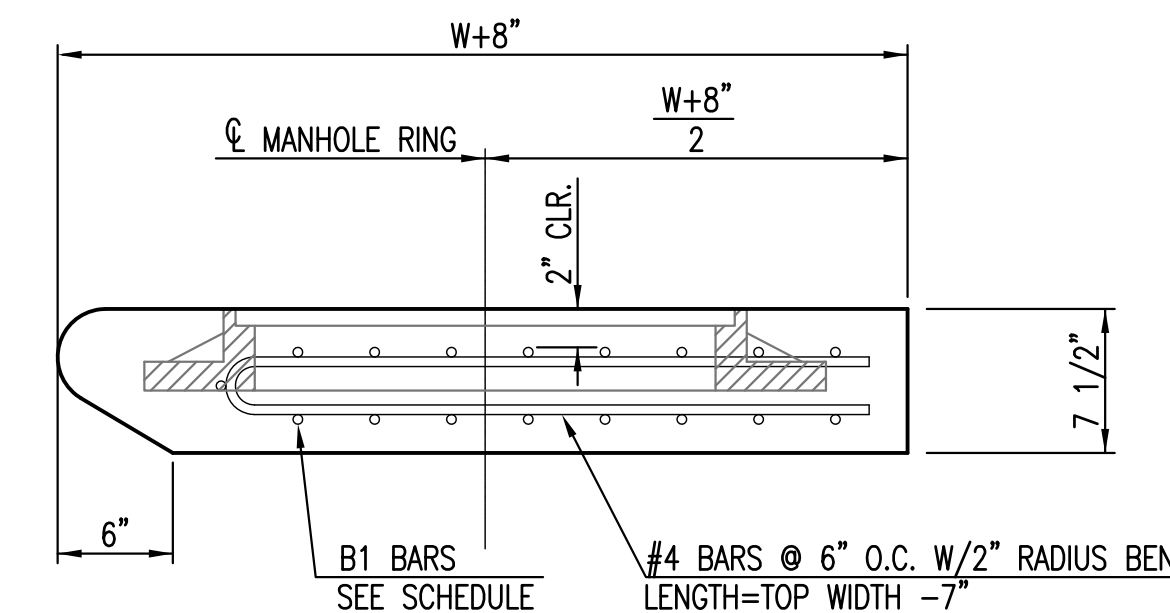


SECTION "A-A"

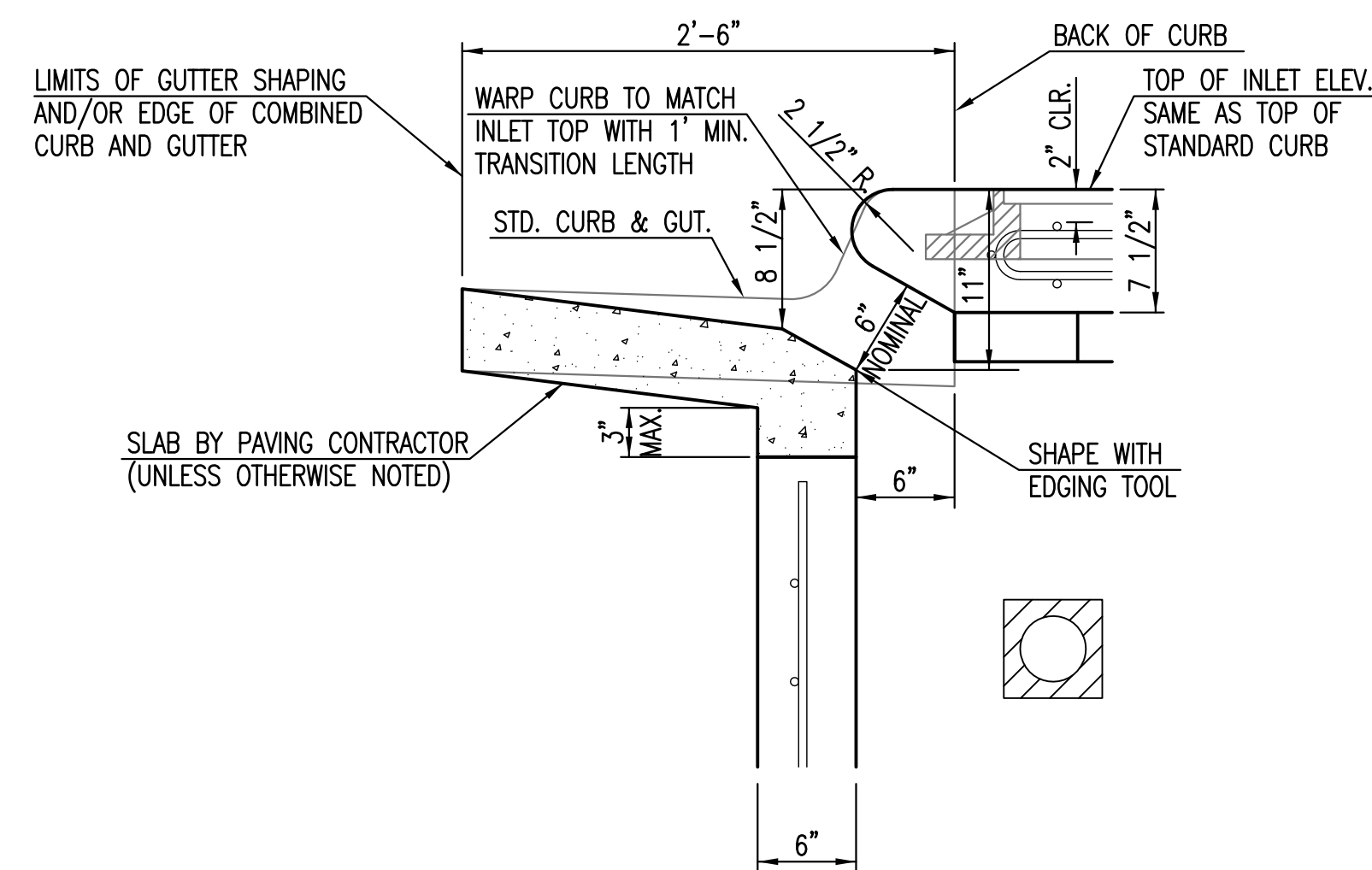


SECTION "C-C"

NOTES:  
\* SLOPE OF INLET TOP TO MATCH SIDEWALK OR PARKING SLOPES WITHIN LIMITS INDICATED.



SECTION "B-B"



SECTION "D-D"



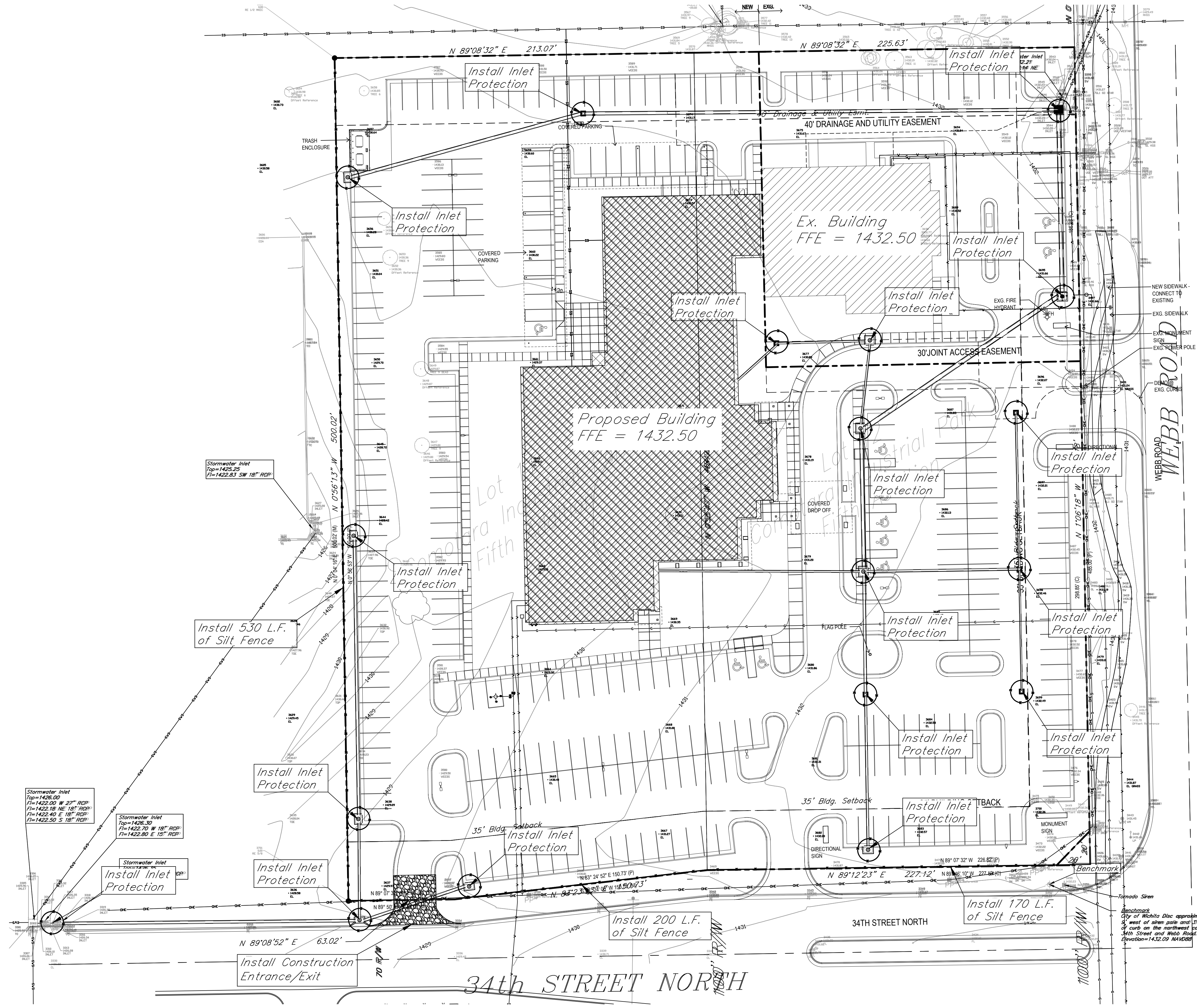
STANDARD TYPE 1  
CURB INLET  
5'-0" OR 10'-0" OPENING

CITY ENGINEER  
**GARY JANZEN, P.E.**

PROJECT NUMBER	OCA NUMBER	DATE
		11/2010

CITY ENGINEER'S OFFICE  
CITY HALL - SEVENTH FLOOR  
455 NORTH MAIN STREET  
WICHITA, KANSAS 67202-1620  
(316) 268-4501

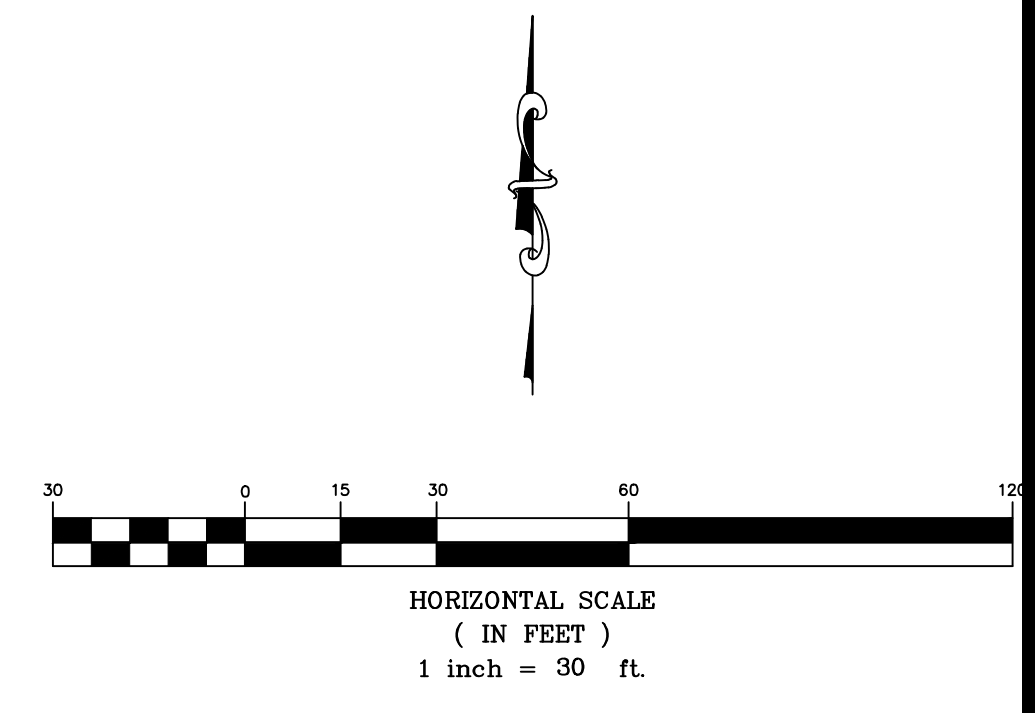
SHEET  
**6.1**



- General Notes:**
- The BMP's shown on this sheet are considered minimum standards. Whenever sediment enters the streets, storm sewers, ditches, or ponds, contractor will install additional BMP's, as needed, to correct the problem.
  - The soil erosion BMP's shown hereon must be in place at all times during construction until such time as the site is re-established with paving or grass.
  - Back of curb protection can include hay bale, silt fence, Curlex barrier, or approved alternate as shown on BMP standard details. This BMP must remain in place until the area between the curb and right-of-way line has been permanently stabilized.
  - The General Contractor is responsible for the installation and maintenance per the prevention maintenance plan.
  - Concrete trucks will be permitted to wash out only at approved locations, then maintain and clean up as conditions require, by contractor. No hazardous materials are expected to be encountered. Any spills (diesel, fuel, oil, etc.) will be cleaned up and removed immediately. Portable toilets will be supplied and maintained at various sites along the project. Disposal of sewage will be handled by a contracting firm specializing in this activity.
  - The above mentioned storm water prevention methods will be monitored daily and maintained as required. A weekly erosion control log will be posted in the job trailer onsite, and updated weekly. Site inspections are required within 24 hours after a precipitation event of 0.5" or greater.

- LEGEND:**
- Flow Direction
  - Inlet Protection - to be provided at all inlets subject to silt laden runoff.
  - Ditch Check
  - Temporary Seeding and Mating.
  - Silt Fence or Hay Bale Barrier - to be installed along property lines where runoff from construction site can run onto other properties.
  - Stabilized Construction Entrance - to be used at all locations where vehicles or equipment enter or exit property.
  - Back of Curb Protection - to be installed whenever curb is backfilled to less than 3 inches from top and disturbed earth exists adjacent thereto. (See City Standard Details.)

**Benchmark:**  
 City of Wichita Disc approximately 9' west of siren pole and 3' north of curb on the northwest corner of 34th Street and Webb Road.  
 Elev. = 1432.09 NAVD88



**KEMILLER**  
 ENGINEERING PA  
 117 E. Lewis, Wichita, KS 67202 (316)264-0242

SPANGENBERG PHILLIPS TICE  
**ARCHITECTURE**  
 121 N Mead Ste 201 Wichita KS 67202  
 T 316.267.4002 F 316.267.1509  
 www.sptarchitecture.com

**HEARTLAND CARDIOLOGY MOB**  
 NORTH WEBB RD, WICHITA, KANSAS

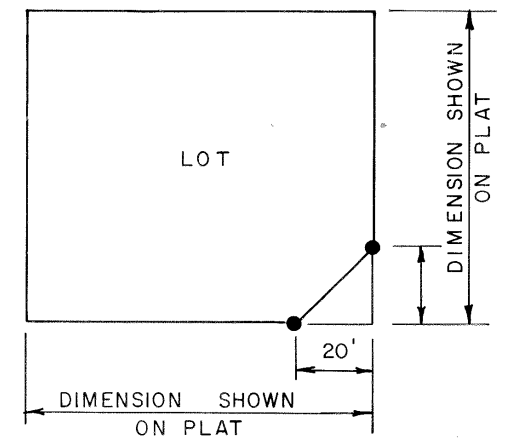
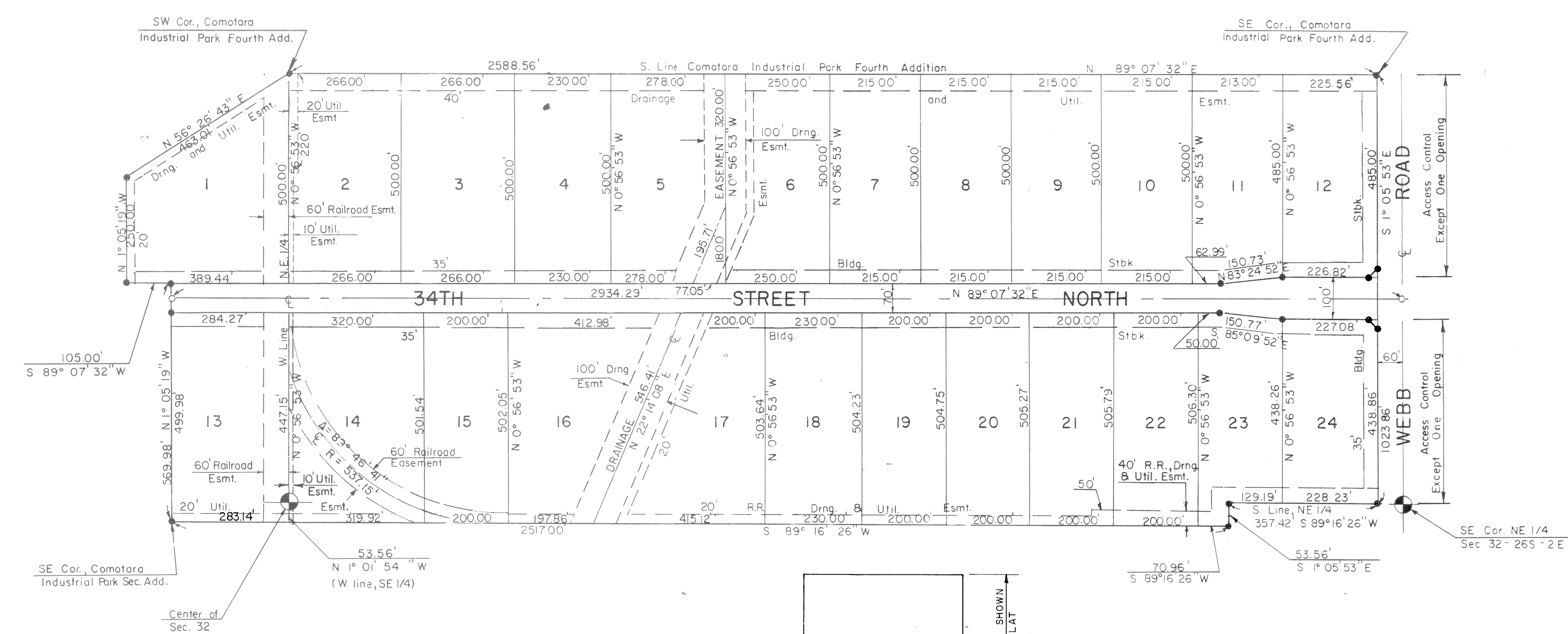
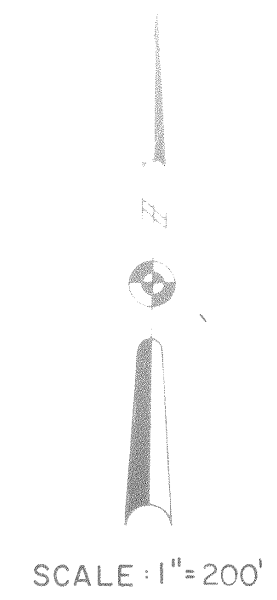
ISSUE  
 21 JULY 2016  
 EROSION CONTROL

**7.0**

FINAL PLAT OF

COMOTARA INDUSTRIAL PARK FIFTH ADDITION

IN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



TYPICAL INTERSECTION RIGHT OF WAY DETAILS

I, Steven E. Anderson, a Land Surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and plotting of Comotara Industrial Park Fifth Addition to Wichita, Sedgwick County, Kansas into lots and a street, the same being accurately set forth in the accompanying plat and described as follows:

Beginning at a portion of Block 2, Comotara Business Park Addition to Wichita, Sedgwick County, Kansas located in Section 32, T 26 S, R 12 E of the 6th 24, more accurately described as follows: Beginning at the southeast corner of Comotara Industrial Park Fourth Addition, an addition to Wichita, Sedgwick County, Kansas; thence along the west line of Webb Road bearing S 1° 05' 53" E, 1023.86 feet to the south line of the northeast quarter of said Section 32; thence along said south line bearing S 89° 16' 26" W, 228.23 feet; thence S 89° 16' 26" W, 53.56 feet; thence S 89° 16' 26" W, 357.42 feet to the southeast corner of Comotara Industrial Park Fourth Addition, an addition to Wichita, Sedgwick County, Kansas; thence N 1° 05' 53" W, 485.00 feet; thence S 89° 07' 32" W, 102.00 feet; thence N 1° 05' 53" W, 228.23 feet; thence N 89° 16' 26" W, 463.01 feet to the southeast corner of Comotara Industrial Park Fourth Addition, an addition to Wichita, Sedgwick County, Kansas; thence along the south line of Comotara Industrial Park Fourth Addition bearing N 89° 07' 32" E, 2588.56 feet to the point of beginning, containing 70.49 acres, more or less.

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 22nd day of November 1978.

Steven E. Anderson, Land Surveyor, 1000 S. Rock Road, Suite 250, Wichita, Kansas 67206

Know all men by these presents that the undersigned owners of a portion of the land as above set forth in the Land Surveyor's Certificate, have caused the same to be surveyed and platted into lots and a street, the same to be known as "Comotara Industrial Park Fifth Addition" to Wichita, Sedgwick County, Kansas. The street is hereby dedicated to and for the use of the public. Easements for a railroad and the construction and maintenance of public utilities and drainage, as indicated on the accompanying plat are hereby granted. All abutters' rights of access over and across the west line of Webb Road are hereby granted to the City of Wichita, provided, however, that Lots 12 and 24 shall each have access to Webb Road at one location to be determined by the City Engineer of Wichita, Kansas.

Realty Investment, By: Terrence J. Scanlon, Partner

Know all men by these presents that we the undersigned owners of a portion of the land as above set forth in the Land Surveyor's Certificate, have caused the same to be surveyed and platted into lots and a street, the same to be known as "Comotara Industrial Park Fifth Addition" to Wichita, Sedgwick County, Kansas. The street is hereby dedicated to and for the use of the public. Easements for a railroad and the construction and maintenance of public utilities and drainage, as indicated on the accompanying plat are hereby granted. All abutters' rights of access over and across the west line of Webb Road are hereby granted to the City of Wichita, provided, however, that Lots 12 and 24 shall each have access to Webb Road at one location to be determined by the City Engineer of Wichita, Kansas.

Wichita Development Company, By: Robert R. Fox, Attorney in fact for Wichita Development Company

STATE OF KANSAS, COUNTY OF SEDGWICK, ss: Be it remembered that on this 21st day of November 1978 before me, a Notary Public in and for said State and County, came the Wichita Development Company, by Robert R. Fox, attorney in fact for Wichita Development Company, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Carolyn R. Owen, Notary Public, My Appointment Expires May 17, 1981

STATE OF KANSAS, COUNTY OF SEDGWICK, ss: Be it remembered that on this 21st day of November 1978, before me, a Notary Public in and for said State and County, came Realty Investment, by Terrence Scanlon, Partner, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Carolyn R. Owen, Notary Public, My Appointment Expires May 17, 1981

Be the Citibank, N.A., New York City, New York, mortgagees on the above described property do hereby consent to the plat of "Comotara Industrial Park Fifth Addition". The Citibank, N.A., New York City, New York, By: [Signature]

STATE OF KANSAS, COUNTY OF SEDGWICK, ss: Be it remembered that on this 21st day of November 1978, before me, a Notary Public in and for said State and County, came the Citibank, N.A., New York City, New York, by Robert R. Fox, attorney in fact for Citibank, N.A., to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof, I have hereunto set my hand and affixed my notarial seal the day and year above written.

Carolyn R. Owen, Notary Public, My Appointment Expires May 17, 1981

This plat approved and all dedications shown hereon, if any, accepted by the Board of County Commissioners of Sedgwick County, Kansas this 3th day of November 1978.

Chairman, Commissioner, County Clerk

STATE OF KANSAS, COUNTY OF SEDGWICK, ss: This is to certify that this instrument was filed for record in the Register of Deeds Office at 10:31 AM on the 21st day of DECEMBER 1978.

Register of Deeds, Deputy

This plat of "Comotara Industrial Park Fifth Addition" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 26th day of October 1978. Boeing Wichita Company, a division of Boeing

This plat approved and all dedications shown hereon, if any, accepted by the City Commission of the City of Wichita, Kansas this 5th day of DECEMBER 1978.

Mayor, City Clerk, County Clerk

Be the Boeing Wichita Company, a division of Boeing Company, lessee of Lots 2 through 5 inclusive within the above described property do hereby consent to the plat of "Comotara Industrial Park Fifth Addition".

Boeing Wichita Company, a division of Boeing, By: [Signature]

STATE OF KANSAS, COUNTY OF SEDGWICK, ss: Be it remembered that on this 22nd day of November 1978, before me, a Notary Public in and for said State and County, came the Boeing Wichita Company, a division of Boeing Company, by E. S. Robinson, Director of Legal Department for the Boeing Wichita Company, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof, I have hereunto set my hand and affixed my notarial seal the day and year above written.

Notary Public, My Appointment Expires May 24, 1980