

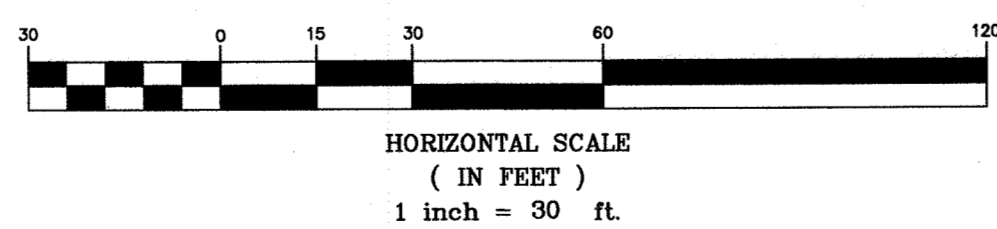
GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seven-two (72) hours prior to any excavation, as follows:
 Kansas One-Call 687-2470
 The Contractor must notify the following in case of an emergency:
 AT&T 1-800-246-8464
 Black Hills Energy 1-800-694-8989
 City of Wichita Water & Sewer 1-316-219-8921
 City of Wichita Stormwater 1-316-268-4090
 City of Wichita Traffic 1-316-268-4034
 Cox Communications 1-888-249-3530
 Kansas Gas Service 1-888-482-4950
 Westar Energy 1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valves one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match final grades by the contractor.
- The Contractor shall notify the consultant engineer and Tom Mason at 316-268-4574 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coan at traffic@wichita.gov before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of the Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are NAVD 88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.

- All existing pavement and curb and gutter within the construction limits shall be saw cut, full depth, to the lines shown on the plans, or to the nearest joint, and removed, unless otherwise noted. If removal limits are within three feet of a joint, remove to the joint.
- All traffic control devices in the work zone (including markings and signs) and their installation and maintenance shall comply with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All traffic control devices in the traveled way or clear zone shall be crashworthy (NCHRP Report 350 or MASH compliant). http://safety.fhwa.dot.gov/roadway_dept/policy_guide/road_hardware/wzd
- All construction equipment, including vehicles, materials, and debris, shall be stored outside of the clear zone. Where this cannot be achieved the contractor shall place appropriate signs, object identifiers, and/or barricades in compliance with the MUTCD.
- Except when required for safety, traffic control shall not block any lanes or sidewalks when work is not being performed.
- Traffic lane blockages more than four hours may need permitted. Call 316-268-4501 to determine requirements and request permit.

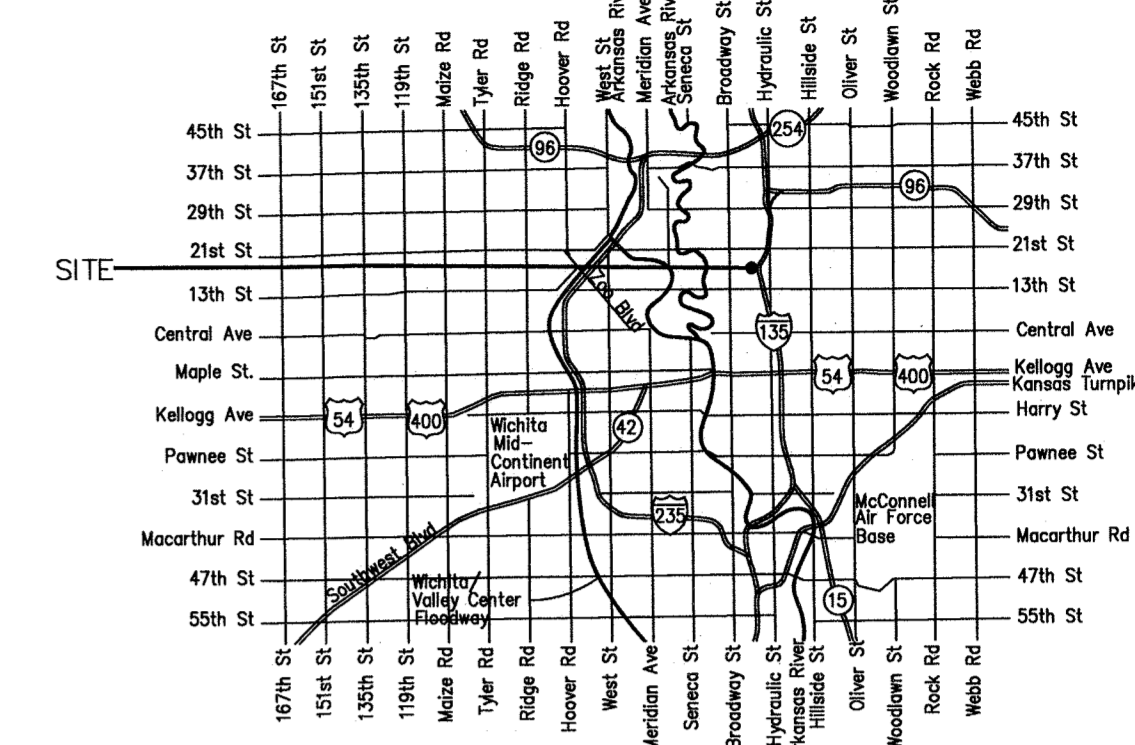
Benchmarks

- #1 COW disc at the northeast corner of Broadway and 17th St. North located on traffic signal base. Elevation=1309.79 NAVD 88
- #2 Square cut on corner of concrete at west southwest corner of building. Elevation=1307.17 NAVD 88



PAVING IMPROVEMENTS to serve WASHINGTON AVE. GLAZE & JOCELYN'S ADDITION 925 E 17th ST N Bldg 200 CITY OF WICHITA, KANSAS

Gary Janzen, P.E. City Engineer
Project Number
0274 PPP (132003)



Vicinity Map

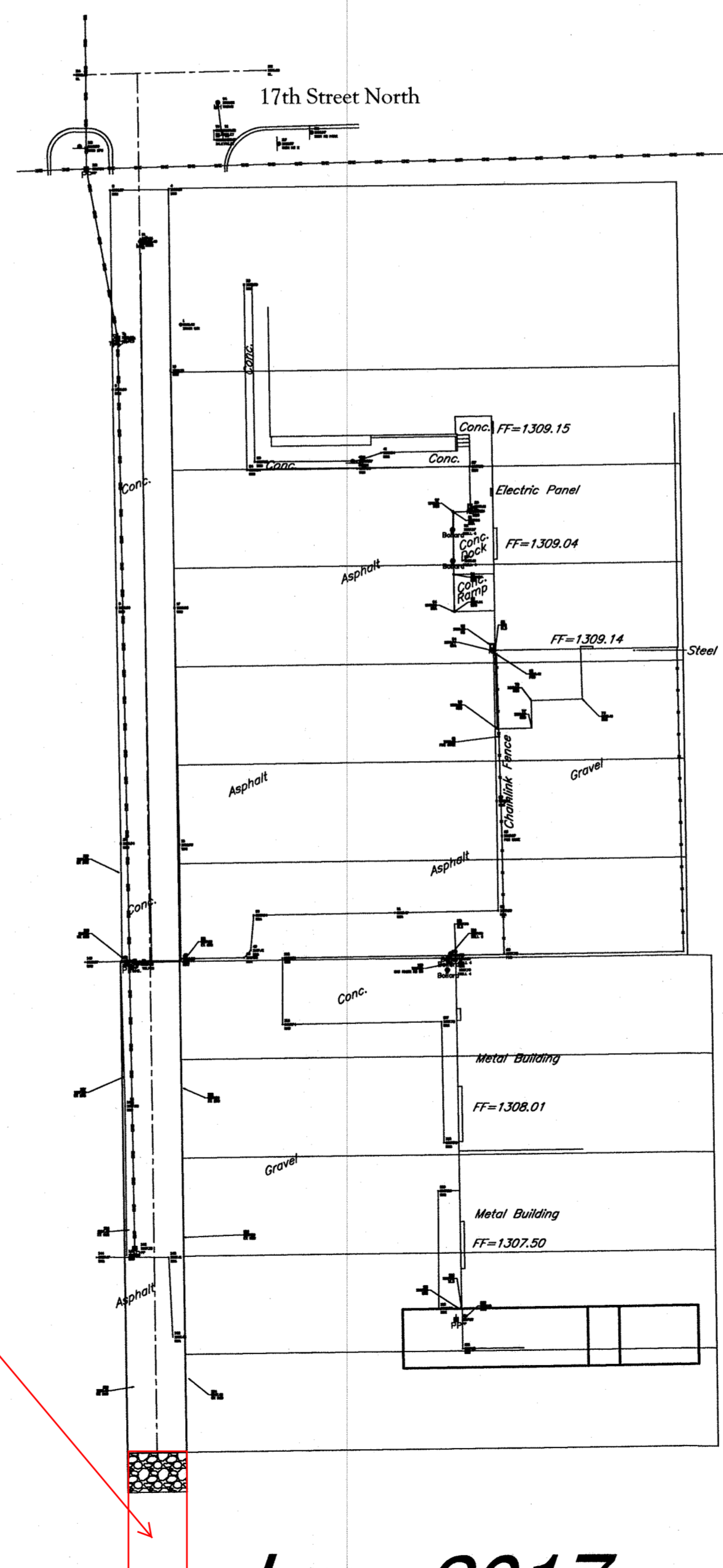
AS BUILTS

Contractor: Perez Construction Services
Inspector: Matt Perez
Date: 9-19-2017

KEMILLER
ENGINEERING PA
117 E. Lewis,
Wichita, KS 67202 (316)264-0242

SHEETS INDEX:

- 1 Title Sheet
- 2 Plan
- 3 Alley Paving Detail
- 4 Site Grading Plan
- 5-9 Erosion Control Details (attached or available on City's website)
- 10 Copy of Plat



June 2017



DATE: 06/29/2017
THIS SHEET HAS BEEN
SIGNED, SEALED AND
DATED ELECTRONICALLY

APPROVED AS NOTED
BY WICHITA PUBLIC WORKS
ENGINEERING DIVISION

Engineering *Reflex Drif* 7/3/2017

NOTE TO CONTRACTORS

Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions. (on file and available at Wichita.gov).

An approved copy of these plans signed by City staff are required on-site.

KEMILLER
ENGINEERING PA
117 E. Lewis, Wichita, KS 67202 (316)264-0242

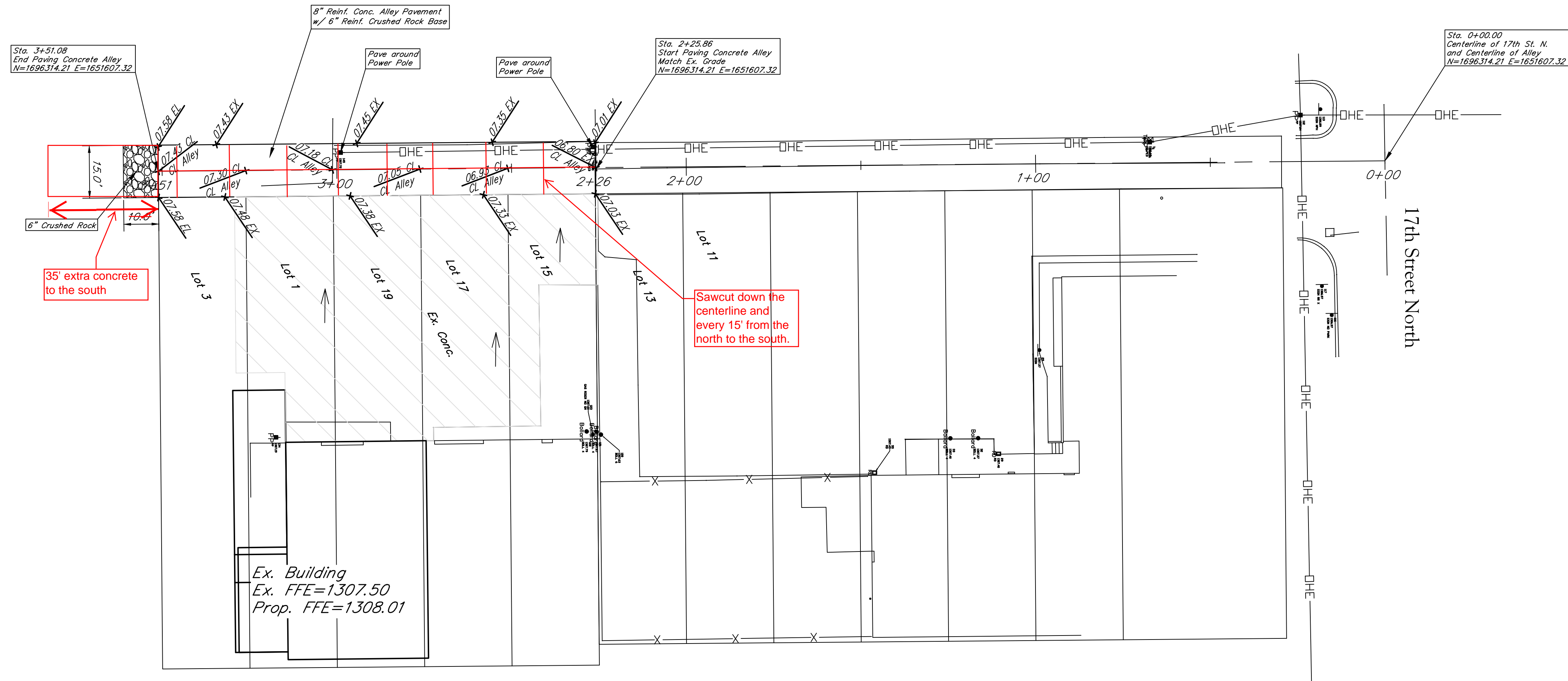
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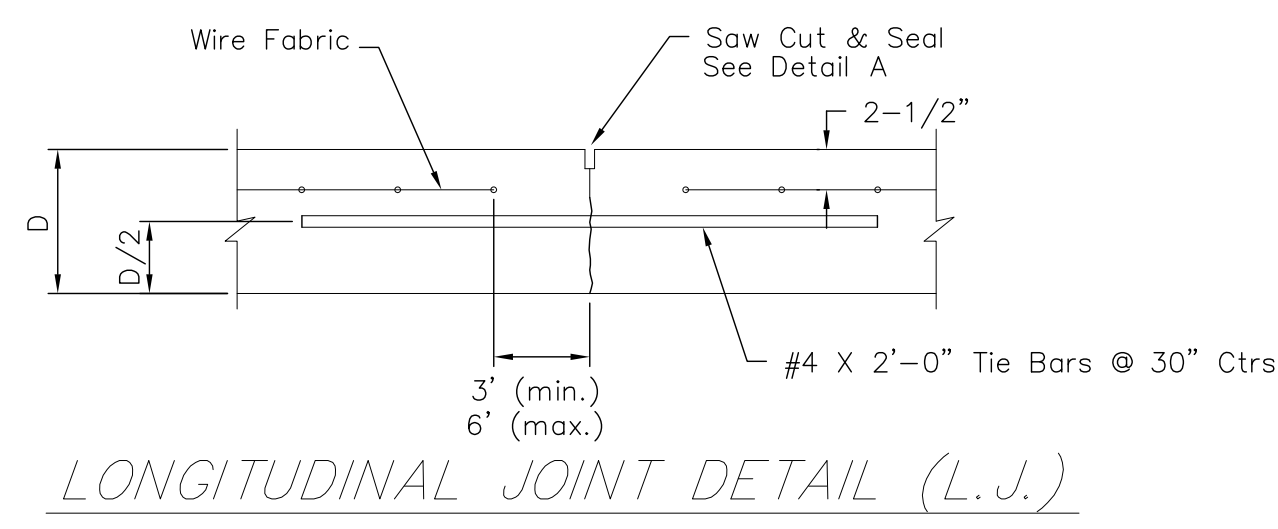
Contractor: Perez Construction Services
 Inspector: Matt Perez
 Date: 9-19-17



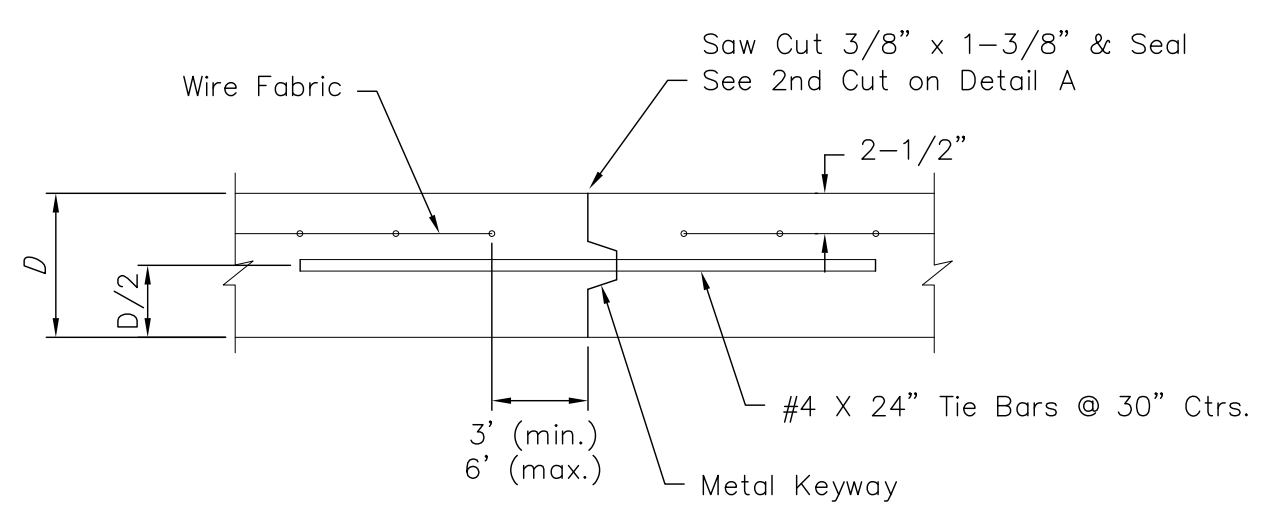
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 Wichita, KS 67202

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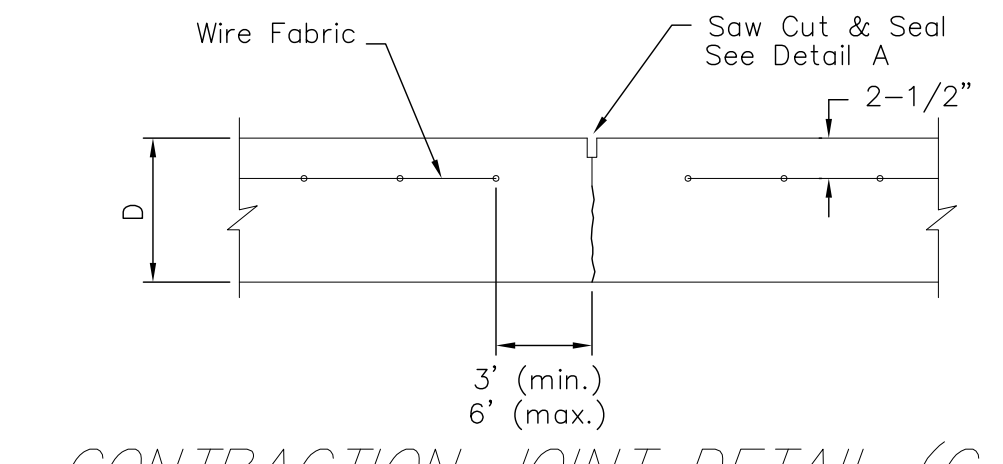




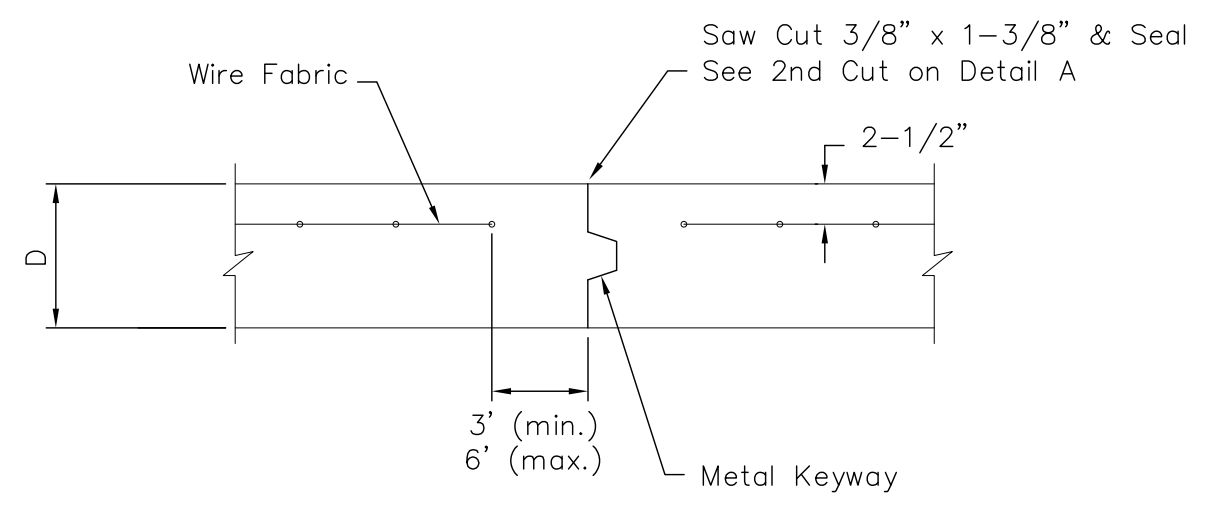
LONGITUDINAL JOINT DETAIL (L.J.)



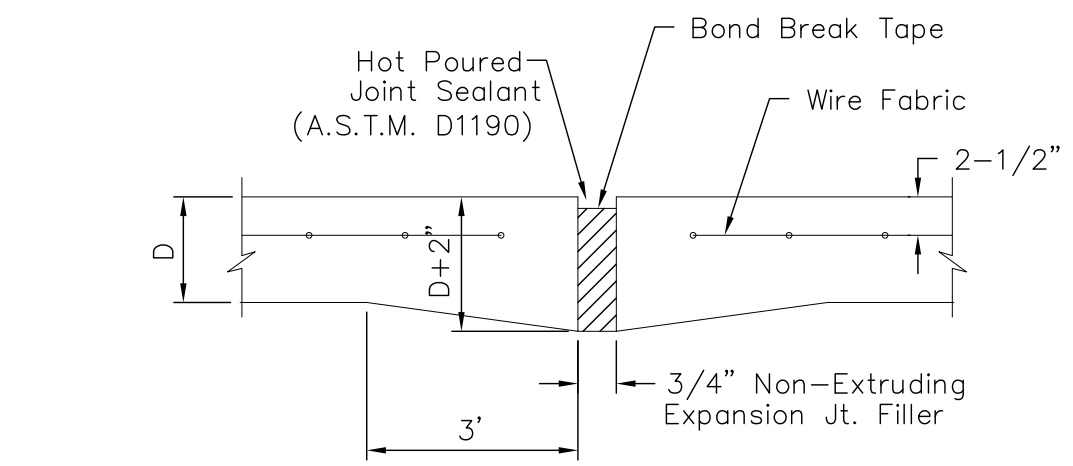
OPT. LONGITUDINAL JOINT DETAIL (L.J.)



CONTRACTION JOINT DETAIL (C.J.)

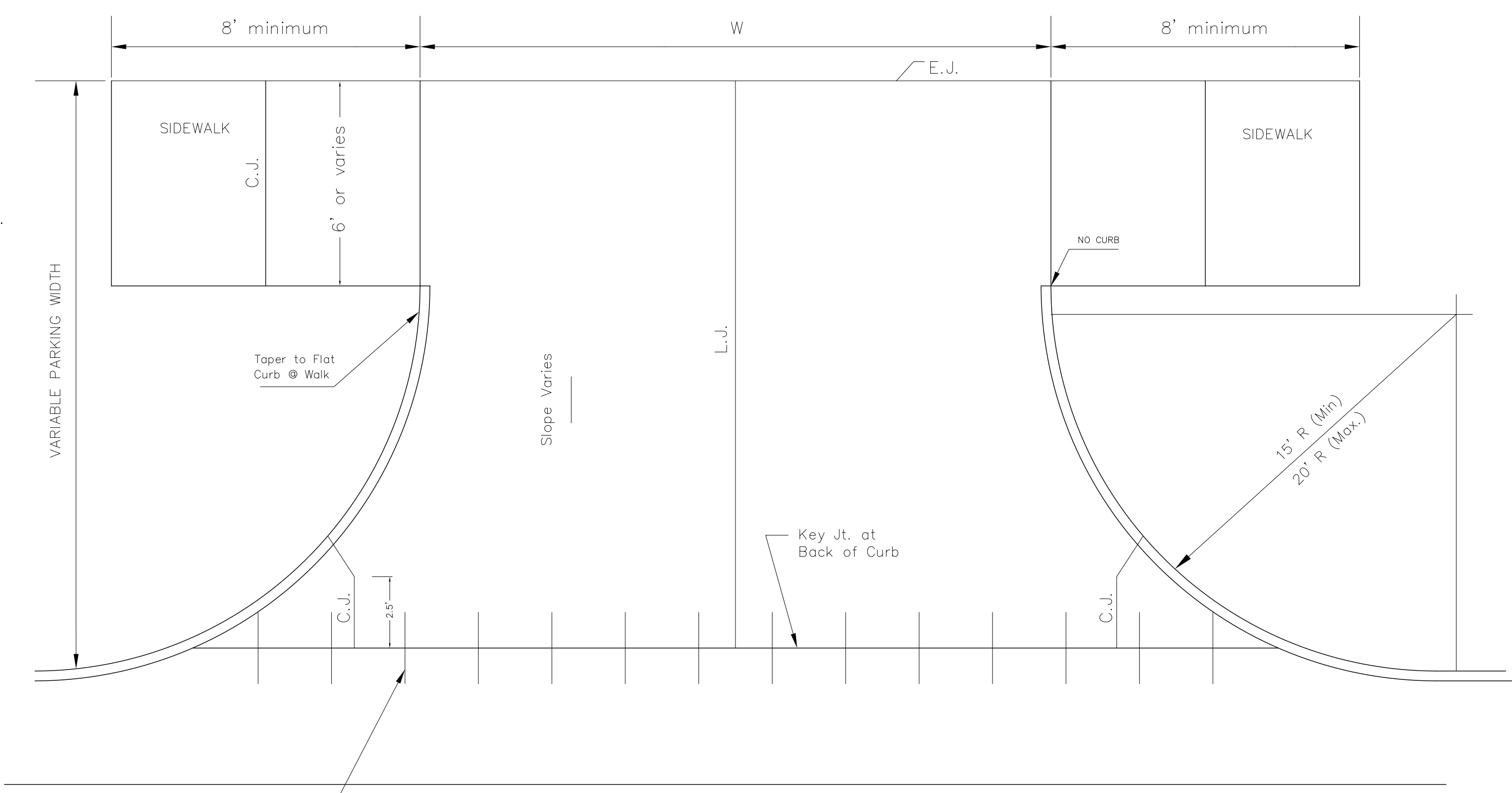


OPTIONAL CONTRACTION JOINT



EXPANSION (ISOLATION) JOINT

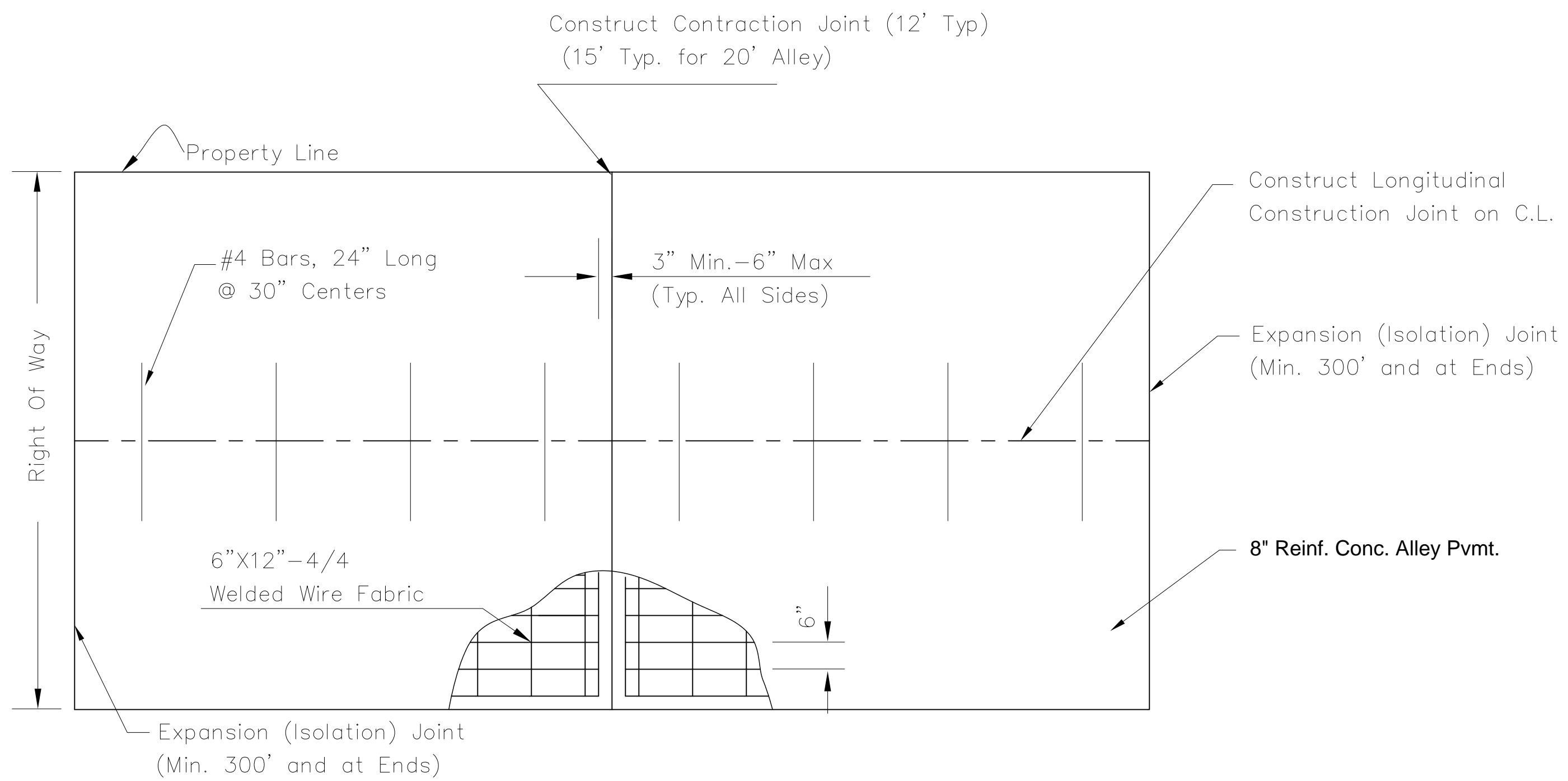
NOTE: Extra Thickness to be Subsidiary to Price of Square Yards Pavement



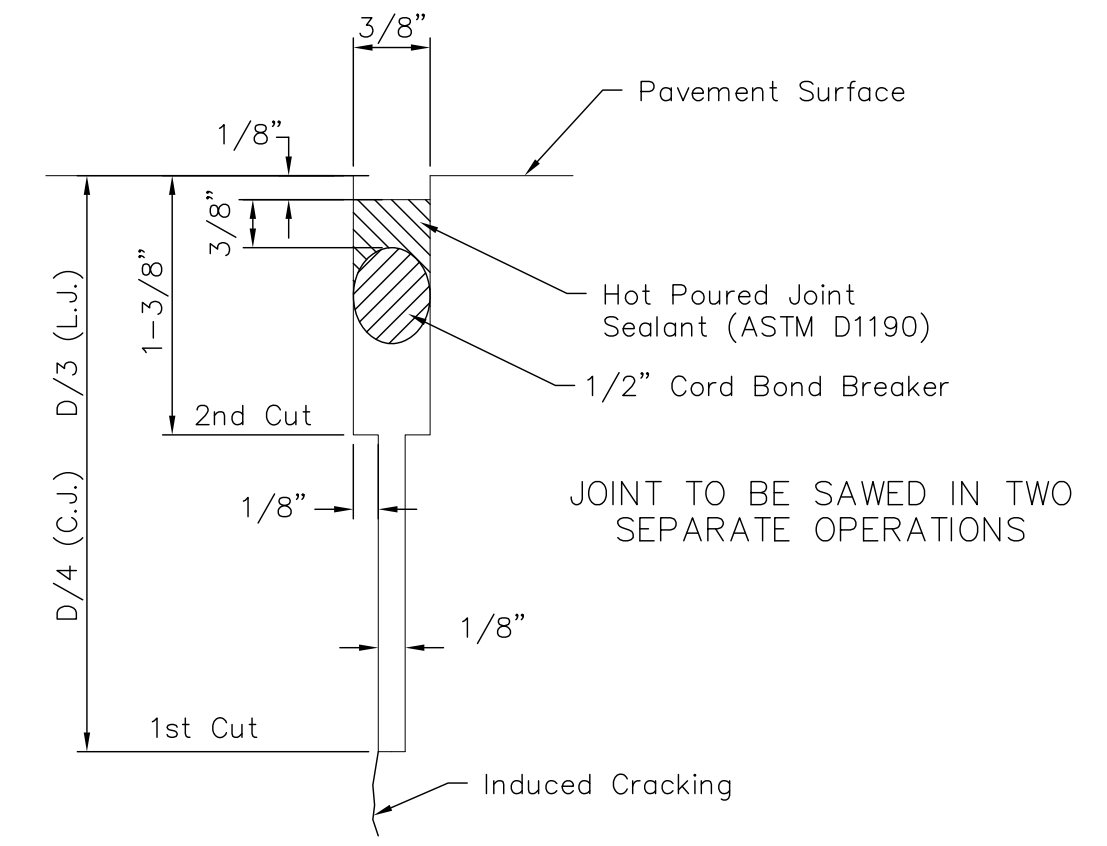
#4 Dowels 24" Long on 30" Ctrs.

Use Ramp-Type Approach when distance between fc. wk. & bk. cb. is 8'-0" or less. Where parking width is 8'-0" or less ramp shall be constructed full width.

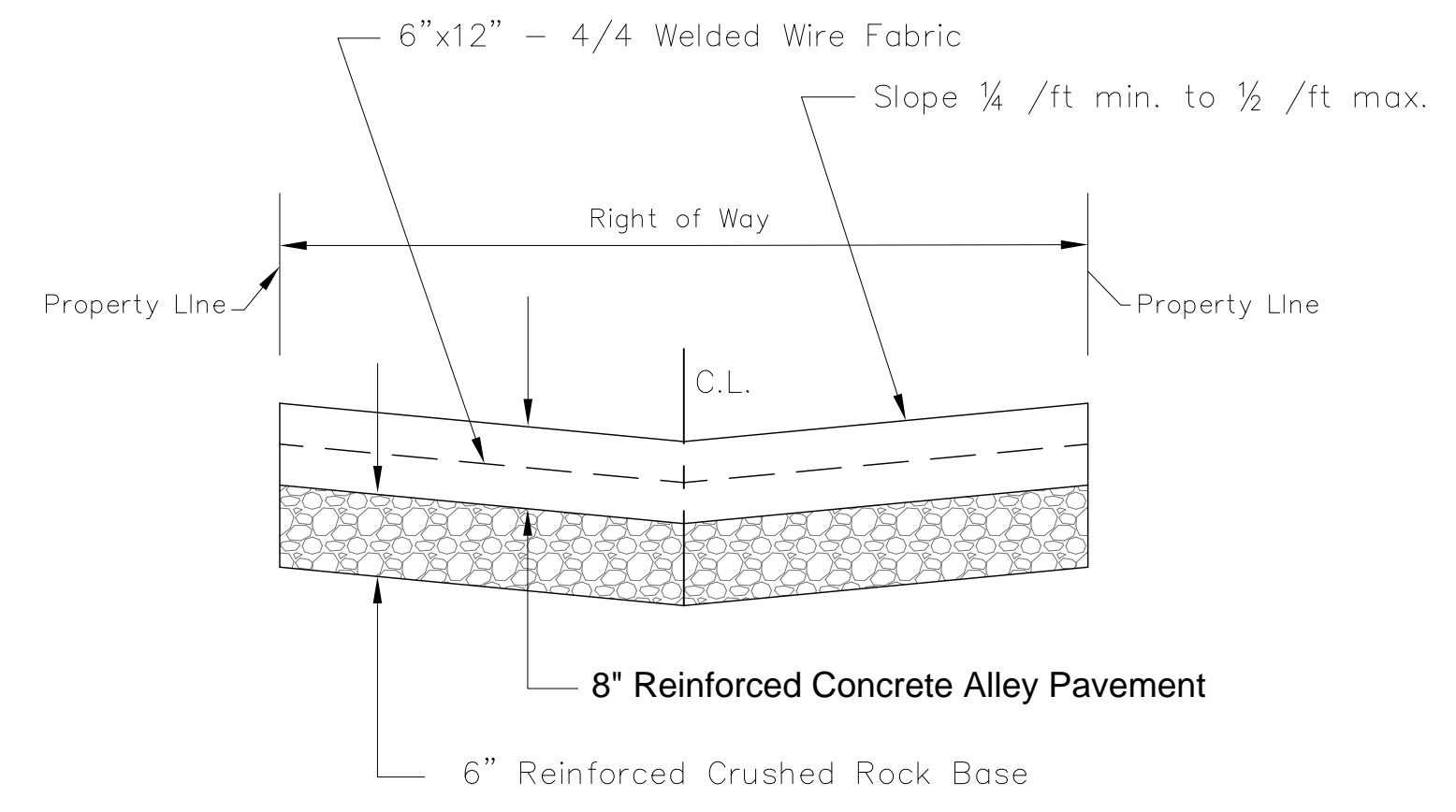
ALLEY APPROACH DETAIL



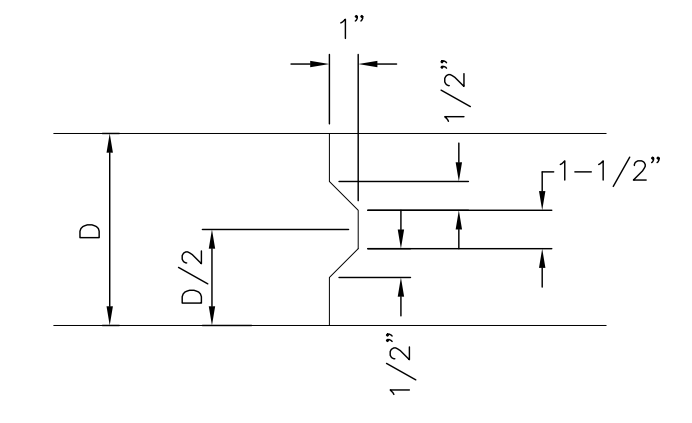
SLAB REINFORCEMENT DETAIL



SAW JOINT DETAIL (Detail A)



TYPICAL PAVEMENT SECTION



KEYWAY DETAIL

REVISED: NOVEMBER 2015

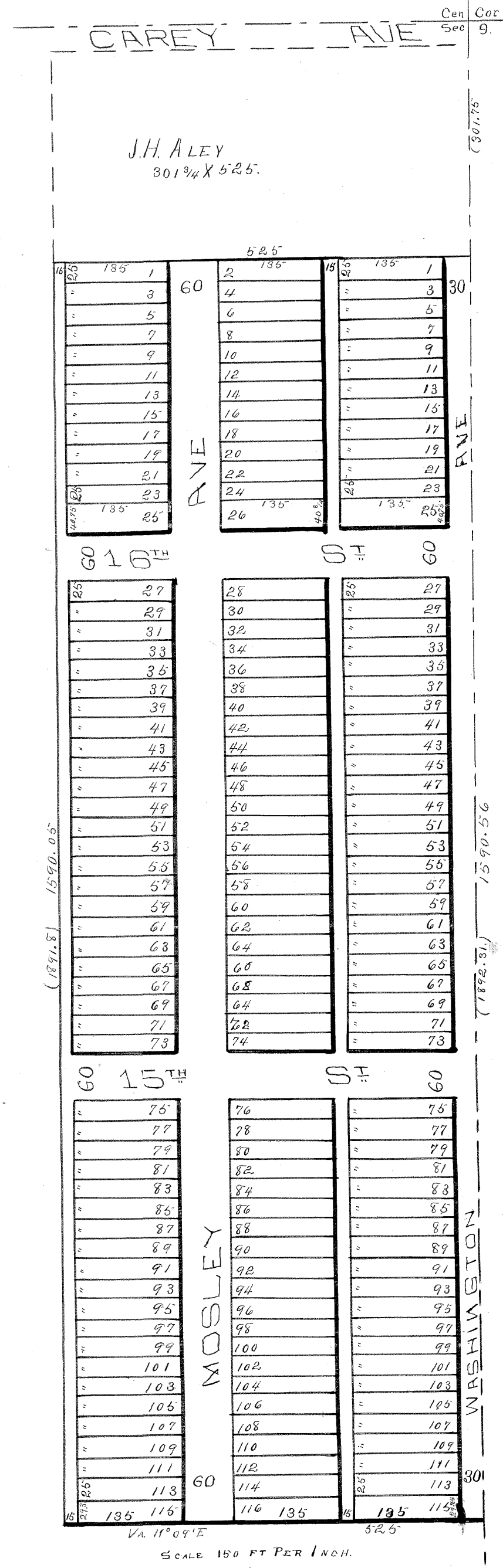
CITY OF WICHITA
PUBLIC WORKS & UTILITIES ENGINEERING DIVISION

REINFORCED CONCRETE ALLEY PAVING DETAIL		
CITY ENGINEER GARY JANZEN, P.E.		
PROJECT NUMBER	OCA NUMBER	DATE
CITY ENGINEER'S OFFICE CITY HALL - SEVENTH FLOOR 455 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501		SHEET 3.0

GLAZE & JOCELYN'S

ADDITION, to
WICHITA, KAN.

2-8-2



Entered on Transfer Record
MAY 17 1886
R.W. LUTTRELL Co. SURV'OR
MAY 15 '86

This indenture made this 17th day of May A.D. 1886 by George P. Glaze and Miranda Glaze his wife, the owners of the following described piece of property to wit: Commencing at a point on the half section line three hundred and one and 3/4 (301 3/4) feet south of the center corner of Section Nine (9) Township Twenty seven (27) South, Range One (1) East of 6th Principal Meridian, Sedgwick County, Kansas; thence south with the half section line One thousand four hundred and ninety six (1490.56) feet to the corner of Hills tract; thence west in line with said Hills tract three hundred and twenty five (325) feet thence north parallel with said half section line One thousand four hundred and ninety six (1490.56) feet to the south line of J. H. Alley tract of land; thence east in line with said J. H. Alley tract three hundred and twenty five (325) feet to the place of commencing.

Explanation: - All lots are 25 ft. by 135 ft. save lots 25 and 115 on Washington Avenue; lots 60 and 26, 115 & 116 on Mosley Avenue which are as shown by figures on same and which are dimensions in feet. All Public ways are 60 feet wide save Washington Avenue which is 30 feet wide and the allies are 15 feet wide. I, the undersigned, do certify that the above plat with descriptions is true and correct.
R.W. Luttrell, County Surveyor.

Witnesseth that we George P. Glaze and Miranda Glaze his wife, owners of the above described piece of land have caused the same to be platted as shown by the foregoing Plat and explanation as an addition to the City of Wichita, Kansas which shall be known as Glaze and Jocelyn's Addition to Wichita, Kas. Now we Geo. P. Glaze and Miranda Glaze do dedicate for the use of the public all our Alley, Litle and Embury in the various streets and Allies of said addition forever. In witness whereof we subscribe our names this day and year first above written.
Geo. P. Glaze -
Miranda Glaze

State of Kansas }
Sedgwick County }
Be it Remembered, that on this 17th day of May A.D. 1886 before me the undersigned, a Notary Public in and for the county of Sedgwick and State aforesaid, came Geo. P. Glaze and Miranda Glaze his wife, who are personally known to me to be the same persons who executed the within instrument of writing, and such persons have duly acknowledged the execution of the same.
In witness whereof I have hereunto set my hand and affixed my official Seal, the day and year last above written.
Geo. M. Buckner,

Notary Public, Term Expires Nov. 7, 1889.
Filed May 17/86, and recorded
in Vol. 8 page 89
He H. D. P. Reservoir
A. C. Deardorff Reg. of Deeds



This digital plat record accurately reproduces in all details the original plat filed with the Sedgwick County Register of Deeds. Digitized under the supervision of Register of Deeds Bill Meek by Sedgwick County Geographic Information Systems.

Bill Meek, Register of Deeds
Digitized rendition of original signature