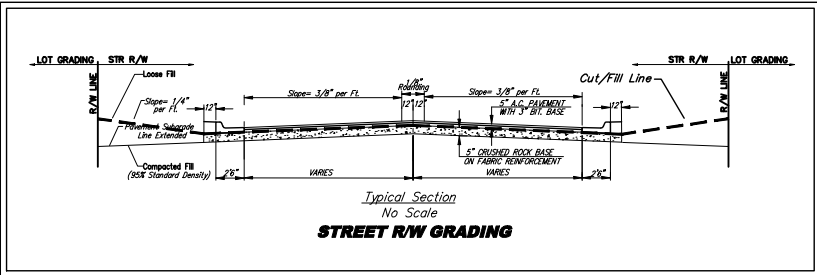


All trees around Lake shall not be removed unless directed by Owner/Design Engineer. Lake shall be graded as shown unless a tree is in the way, and then the grading shall proceed in a manner to sustain tree's life for continued growth (i.e., berm, etc.)



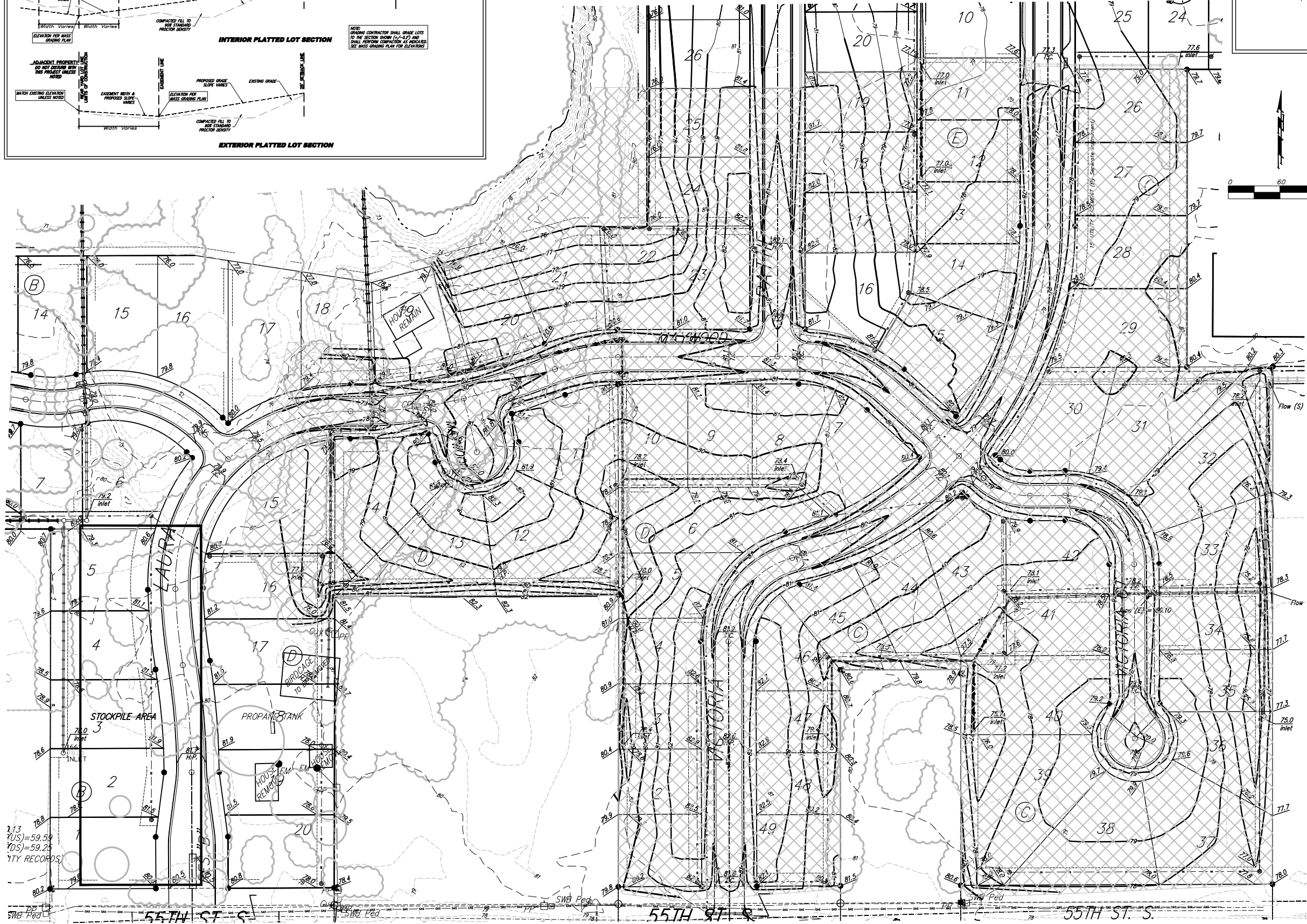
EARTH WORK TOTALS

	C.Y. Excavation	C.Y. Fill
Mass Grading	22,043	7,364
Total	22,043	7,364

Earthwork quantities are for reference only. All cost associated with mass grading shall be incidental to lump sum bid item "Mass Grading".

MASS GRADING NOTES:

- Contractor to strip top 3" of soil within Street R/W before mass grading and stockpile. Top soil stockpile to be redistributed over lots.
- Compaction of 95% shall be obtained in all street R/W's, 90% in all other areas.
- Only trees within the street R/W and lots may be removed if necessary for grading. All other trees, particularly those along plat boundary and pond, shall be protected from damage.
- All areas disturbed by construction (except within street R/W) shall be seeded as indicated on Cover Sheet, Note #7.
- It shall be the Contractor's responsibility to protect all existing utilities during mass grading. Any damage done to these systems by the Contractor or subcontractor(s) shall be repaired at no additional cost to the project.
- All existing concrete rubble, existing construction debris, and all other existing trash shall be removed by the Contractor immediately after the contract is accepted and disposed of properly. This work shall be incidental to "Site Clearing & Restoration".
- Existing dirt piles are not in dirt quantities listed above. Due to the ever changing size and location, Contractor shall take into account the extra dirt on site that needs to be moved and have this figured into bid.
- Existing landscape stones/boulders that are still on site are to be moved and stockpiled out of way of construction with minimal damage to these landscape stones.
- Excess excavation shall be stockpiled in Phase 4.



Area to be graded

NOTE: LOT DIMENSIONS HAVE BEEN OMITTED ON THIS PLAN. REFER TO THE RECORDED PLAT FOR FINAL DIMENSION, EASEMENT, & BUILDING SETBACK INFORMATION.

2.1/3 (US)=59.59
(DS)=59.25
ITY RECORDS

Baughman RIVENDALE ADDITION - PHASE 3
STREET GRADING PLAN

Baughman Company, P.A. 315 8th St. W. Wabash, KS 67111 P 316-262-7271 F 316-262-0149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

PROJECT NUMBER 472-63868	DESIGN MWS	DRAWN MWS
REVISIONS:	APPROVED MWS	DATE 5-4-07
	SCALE Noted	SHEET 29 OF 39

Rivendale/Phase 3/Street_grad.dwg 06-01-E479