

GENERAL NOTES:

1. Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:

Kansas One-Call 687-2470

The Contractor must notify the following in case of an emergency:

Cox Communications 262-4270
 Kansas Gas Service 1-888-482-4950
 Westar Energy 383-8650
 Aquila Energy 1-800-303-0357
 AT&T 268-2245
 City of Wichita Water Dept. 268-4563
 City of Wichita Sewer Maint. 268-4024
 City of Wichita Storm Sewer Maint. 268-4090
 City of Wichita Traffic Maint. 268-4034
 Conoco Phillips Pipeline Co. 1-877-267-2290
 Southern Star Pipeline Co. 529-6600
 Kinder-Morgan Pipeline Co. 1-888-844-5658

2. Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.

3. Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.

4. Existing trees shall be trimmed/removed ONLY with approval of the Developer. Trimming will be permitted only with chainsaws. Trees not in direct conflict with proposed new construction shall remain and be protected from damage. All trimming or removal shall be included in bid item "Site Clearing". Prior to construction, an on-site meeting with the developer will be held to discuss grading limits and tree trimming/clearing along the north, south and east line of the project. The intent of the work is to keep the main tree row and grade the drainage swales away from the trees.

5. The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.

6. The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.

7. All existing and proposed erosion control measures including silt fencing, erosion control mat, straw bales, inlet barriers, and const. entrance shall be maintained throughout construction by the contractor until project is accepted by the City of Wichita. The on-site engineer shall complete weekly reports on the status of erosion control measures. The contractor shall be required to comply with maintenance and/or replacement of erosion control measures as determined by the on-site engineer until project is accepted by City of Wichita. Maintenance and/or replacement of erosion control measures to be paid by L.S. bid item "Maintain Existing BMP's."

8. All excess excavation shall remain on-site and shall be stockpiled or spread at a location determined by the Engineer.

9. All of Res. "A", Res. "B", Res. "C", Res. "D", Res. "E", and Res. "K" above the water surface and all areas within Maize Rd. R/W disturbed by construction shall be seeded and mulched as follows:
 SEED -- Kansas Premium Fescue Blend; 8#/1000 Sq. Ft.
 Rye grass (PLS); 3#/1000 Sq. Ft. and
 FERTILIZER -- 12-24-12 Ratio at 350 Lbs./Ac.
 MULCH -- 2 Tons Prairie Hay / Acre - where E.C. Mat not specified.

All other disturbed areas not in street R/W are to be seeded as follows:
 SEED -- Rye grass (PLS)--5#/1000 Sq. Ft.

All costs associated with seeding including mobilization, preparation of ground, seeding, fertilizing, mulching, etc. shall be included in the L.S. bid item "Seeding".

An additional bid item for "Seeding, Temporary" has been included and may be used at the discretion of the Design Engineer. Temporary seed shall be Annual Rye at of 5 Lbs./1000 Sq. Ft. unless otherwise noted and shall be planted when permanent seed or sod cannot be used due to seasonal limitations.

10. A Geotechnical Report is available for this site. Contact the Design Engineer.

11. The Developer for this project is Jay Russell
 P.O. Box 75450, Wichita, KS 67275
 PH# (316)722-2417 jay.russell@jrusellco.com

STORMWATER DRAIN IMPROVEMENTS

to serve

SCHULTE-JOHNSON 2ND ADDITION

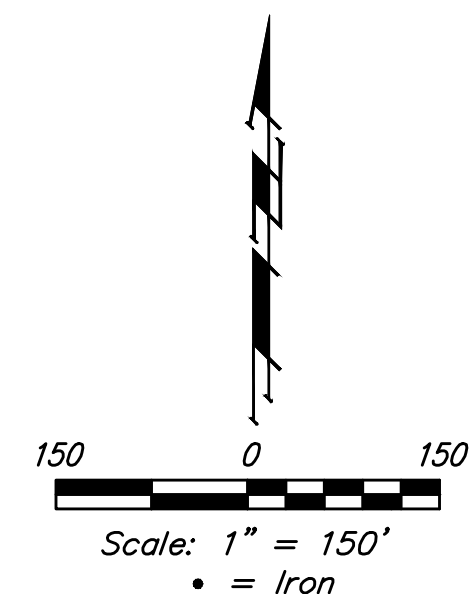
CITY OF WICHITA, KANSAS

Gary Janzen, P.E. City Engineer
 Project Number: 468-2019-085425
 Org Code #47307819
 Munis Number: E9129

BENCHMARKS

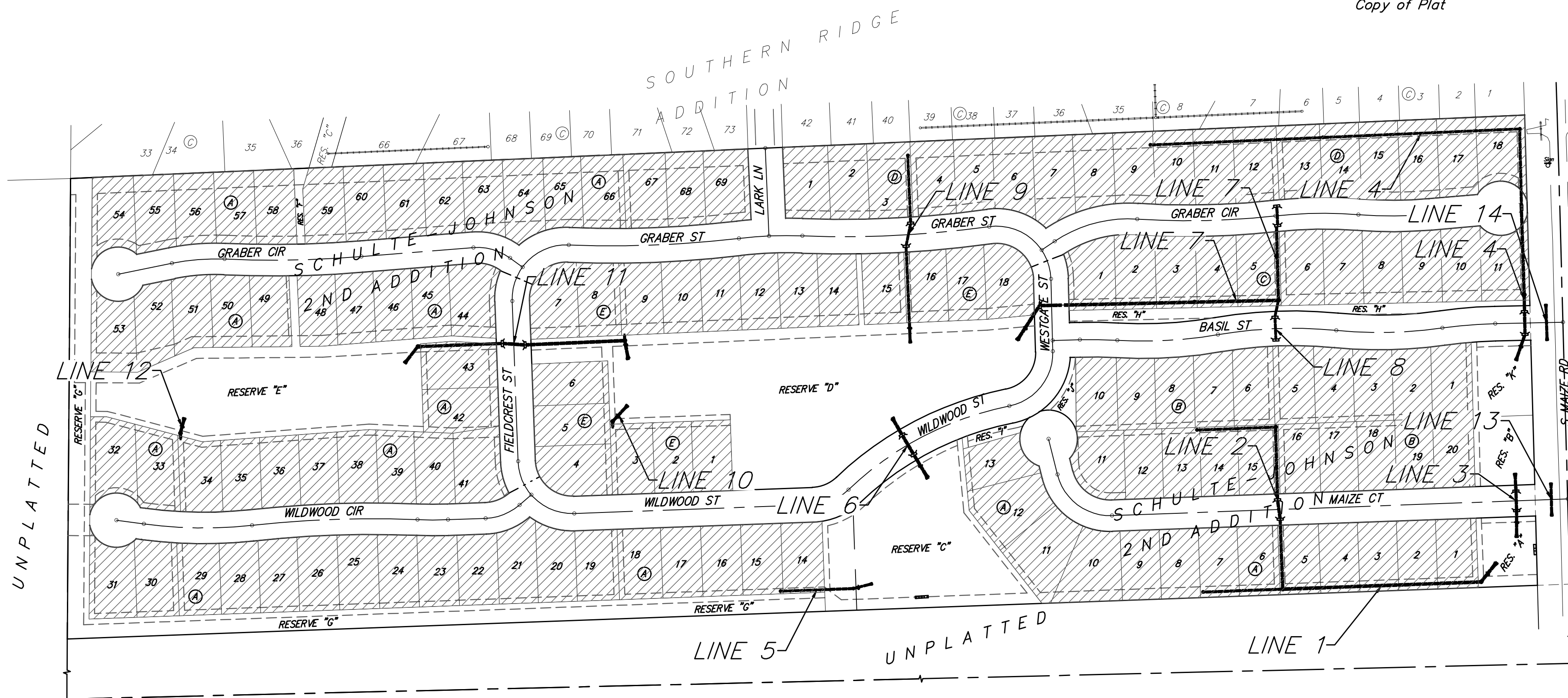
CUT OFF "T"-POST, DOWN 0.25'
 13.5' WEST OF POWER POLE
 30' SOUTH OF FIRE HYDRANT
 +/- 200' SOUTH OF CENTERLINE
 DRIVE TO HOUSE # 2816 S MAIZE RD.
 ELEV. = 1328.386 (NAVD 88)

SQUARE CUT WITH + IN SW WINGWALL
 OF THE SOUTHERNMOST OF THREE
 CONCRETE DITCH CHECKS
 +/- 1125' WEST OF CENTERLINE S.
 MAIZE RD, BEHIND HOUSE #2951 S
 MAIZE RD.
 ELEV. = 1332.383 (NAVD88)



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CONSTRUCTION PHASING

The goal of the phasing is to complete construction on and adjacent to Phase 1 lots, Lots 1-13 Blk A, Lots 11-20 Blk B, Lots 1-11 Blk C, Lots 6-18 Blk D, & Lot 18 Blk E, so that street construction may proceed by August 2nd.

1) The following may be built in the order that the contractor desires. Storm Sewer Lines 1-8. Sanitary Sewer Lines 1-6. Water Lines 1-4. Pond construction and mass grading adjacent to the Phase 1 lots listed above.

2) Paving contractor under separate contract to be mobilized with Ph. 1 Paving construction starting as soon as possible.

2) The remaining storm sewer, pond construction, and mass grading will be finished concurrently with the paving project.

EARTH WORK TOTALS (CY, Unadjusted for shrink/swell) *for information only

	EXCAVATION	FILL
Reserve "A" Pond	1,260	25
Reserve "B" & "K" Pond	3,830	50
Reserve "C" Pond	11,800	150
Reserve "D" Pond	52,500	-
Reserve "E" Pond	6,550	-
Mass Grading	28,560	94,475
Project Totals	104,500	94,700

Earthwork Quantities reflect the best available topography. The Contractor shall satisfy himself with the earthwork quantities as bid for L.S. bid item "Grading, Mass" prior to bidding. No additional payments or change orders for earthwork will be accepted.

Stormwater Certification:

New Development or Redevelopment

Stormwater Permit # _____

NOI Permit # S-AR94-1663 KSR115960

These construction plans were prepared in accordance with the current Stormwater management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Stormwater Manual.

Site Area (Acres) = 53.2 ac.

Disturbed Area (Acres) = 53.2 ac.

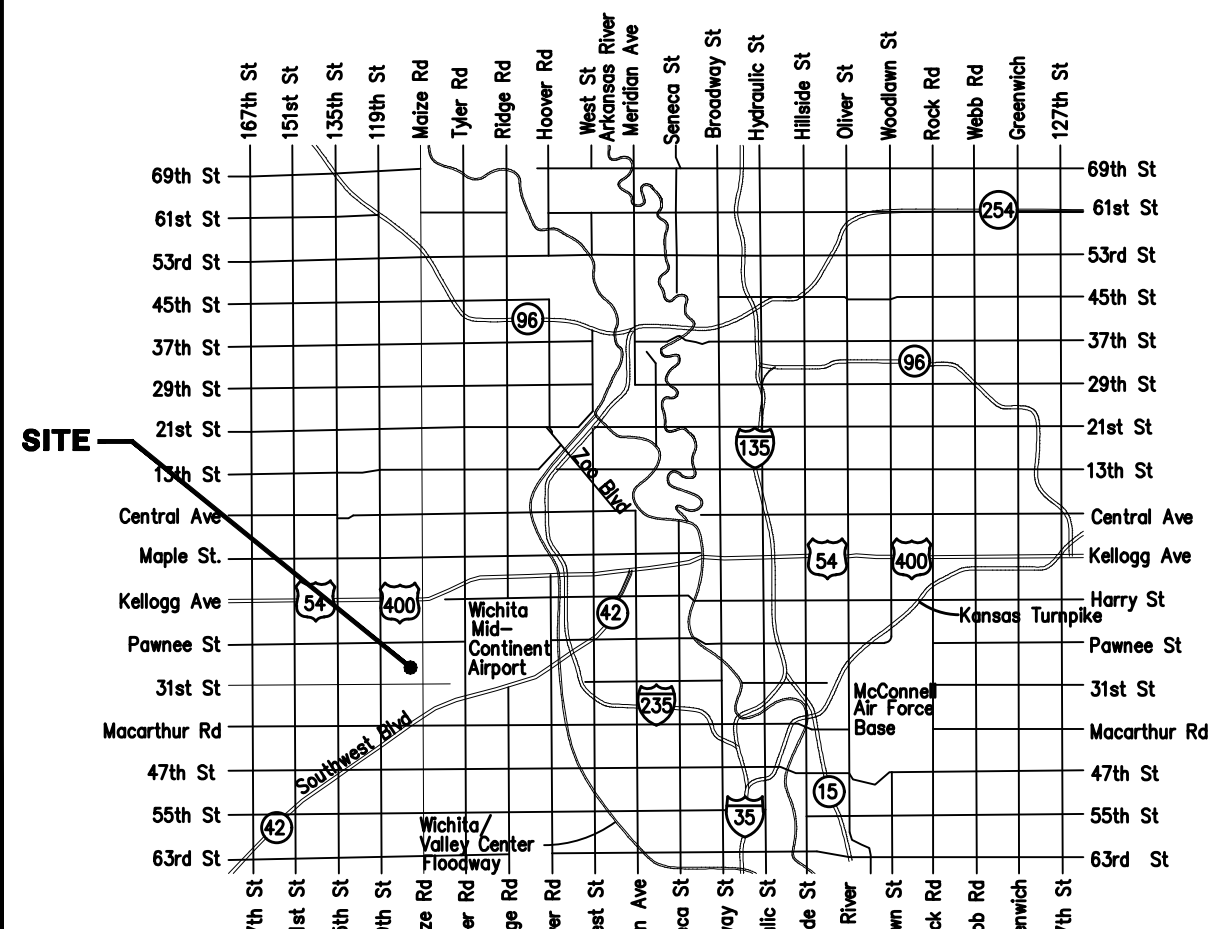
Water Quality Treatment: Wet Ponds

Downstream Channel Protection: Wet Ponds

Detention: Wet Ponds

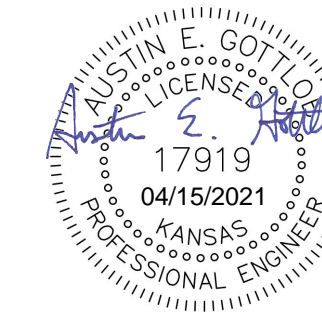
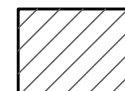
The BMP used for this development is Wet Ponds

C:\Projects\Schulte-Johnson 2nd Addition\Engineering\SWD\SWS Plans.dwg



VICINITY MAP

BENEFIT DISTRICT



BAUGHMAN COMPANY
 315 Ellis St. Wichita, KS 67211 316-262-7271
 BaughmanCo.com