

# DOWNTOWN PARKING IMPROVEMENTS

## BUILDING WALL

Repair South Property Line

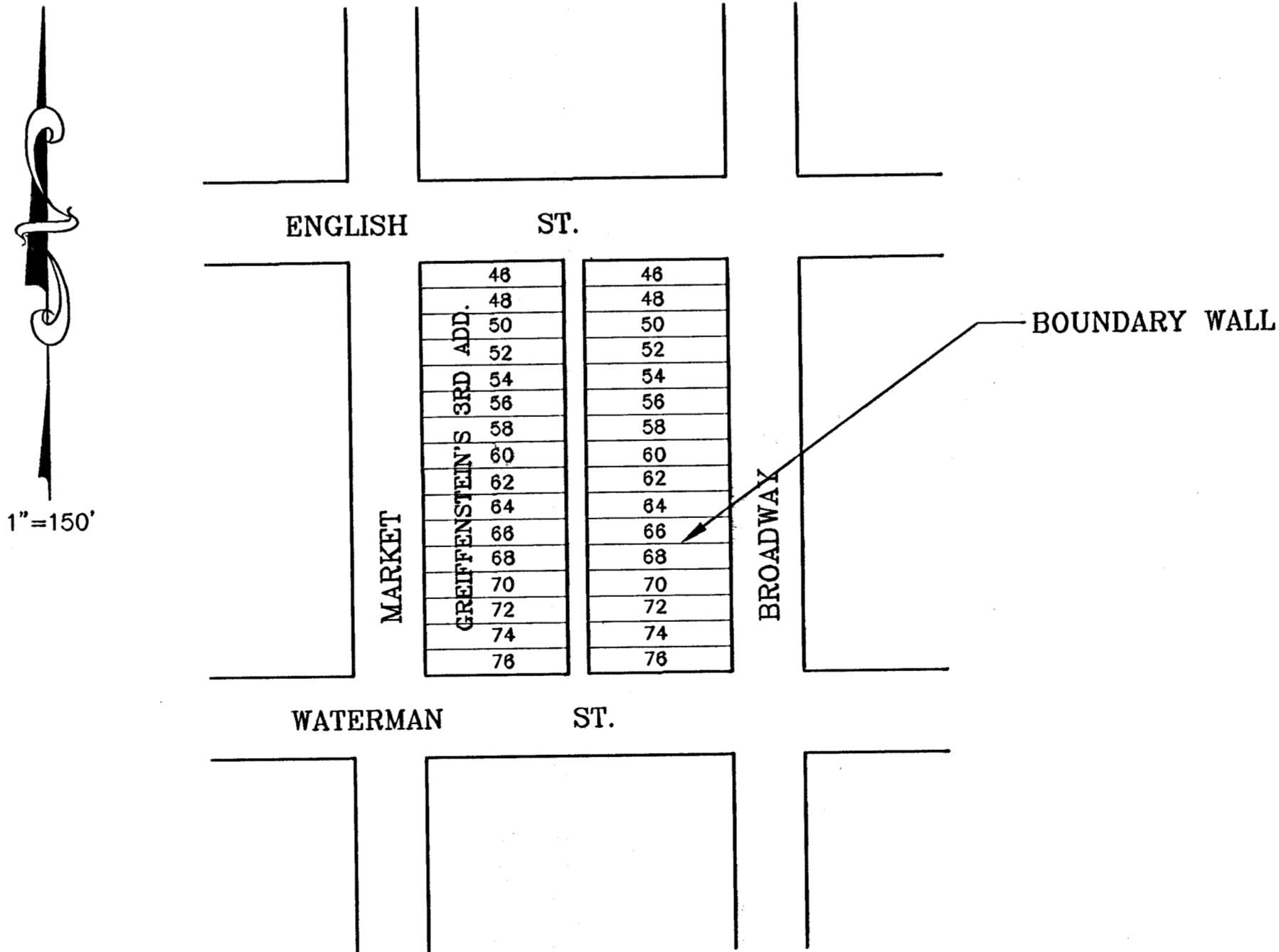
325 South Broadway

PROJ. NO. 472-82420

INDEX NO. 790840

CITY OF WICHITA, KANSAS

M. E. LINDEBAK - CITY ENGINEER



**LEGEND**

- FP-X - POWER POLE AND DEADMAN
- KGE - ELECTRIC BOX
- LP - LIGHT POLE
- UM - WATER METER
- S — STORM SEWER PIPE
- W — WATER LINE
- SS — SANITARY SEWER LINE
- G — GAS LINE
- T — TELEPHONE LINE
- PM - PARKING METER

**Attention: Notes 2A, 2B, and 2C are applicable to work in this contract. All other notes on this sheet do not apply and shall be considered as void.**

**GENERAL NOTES:**

PROPERTY SURVEY BY: MID-KANSAS ENGINEERING CONSULTANTS INC. WICHITA, KANSAS  
 PRESENT SITE ZONING: 'D' CENTRAL BUSINESS DISTRICT

BENCHMARK:  
 BM-1 'D' CUT ON SW CORNER OF SIGNAL POLE BASE ON THE NE CORNER OF MARKET AND WATERMAN STREETS. ELEV. = 11021  
 BM-2 'D' CUT ON SE CORNER OF SIGNAL POLE BASE ON THE SE CORNER OF BROADWAY AND ENGLISH STREETS. ELEV. = 11053

PROPOSED PARKING: 48 (2 HANDICAP STALLS INCL.)

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE START OF CONSTRUCTION.

CONTRACTOR IS TO PROVIDE ALL SAFETY BARRIERS, FENCING ETC. AROUND CONSTRUCTION SITE AS REQUIRED BY LOCAL REGULATIONS.

TOTAL AREA: 12663.43 SQ. FT. (.428 ACRES)  
 LANDSCAPE AREA: 2628.18 SQ. FT.  
 PERMEABLE PAVEMENT: 1184.15 SQ. FT.  
 IMPERVIOUS AREA: 14839.96 SQ. FT.

REQUIRED STREET YARD LANDSCAPE AREA: NONE BY CURRENT LANDSCAPE ORDINANCE  
 NEW STREET YARD LANDSCAPE AREA: 342 SQ. FT. (PARKING TO SIDEWALK)

NOTE: 8" WATER LINE EXISTS IN WEST R<sup>1</sup>/<sub>2</sub>W OF BROADWAY  
 8" WATER LINE EXISTS IN WEST R<sup>1</sup>/<sub>2</sub>W OF MARKET.

NOTE: UTILITIES SHOWN ARE AS PER UTILITY COMPANY RECORDS AND/OR FLAGGED LOCATIONS AND SHOULD BE VERIFIED BEFORE ANY CONSTRUCTION IS UNDER TAKEN.

**LEGAL DESCRIPTION:**

Lots 58, 60, 62, 64, 66, on Broadway Ave, Greiffenstein's Addition, Wichita, Kansas.

**UNIT PAYER NOTES:**

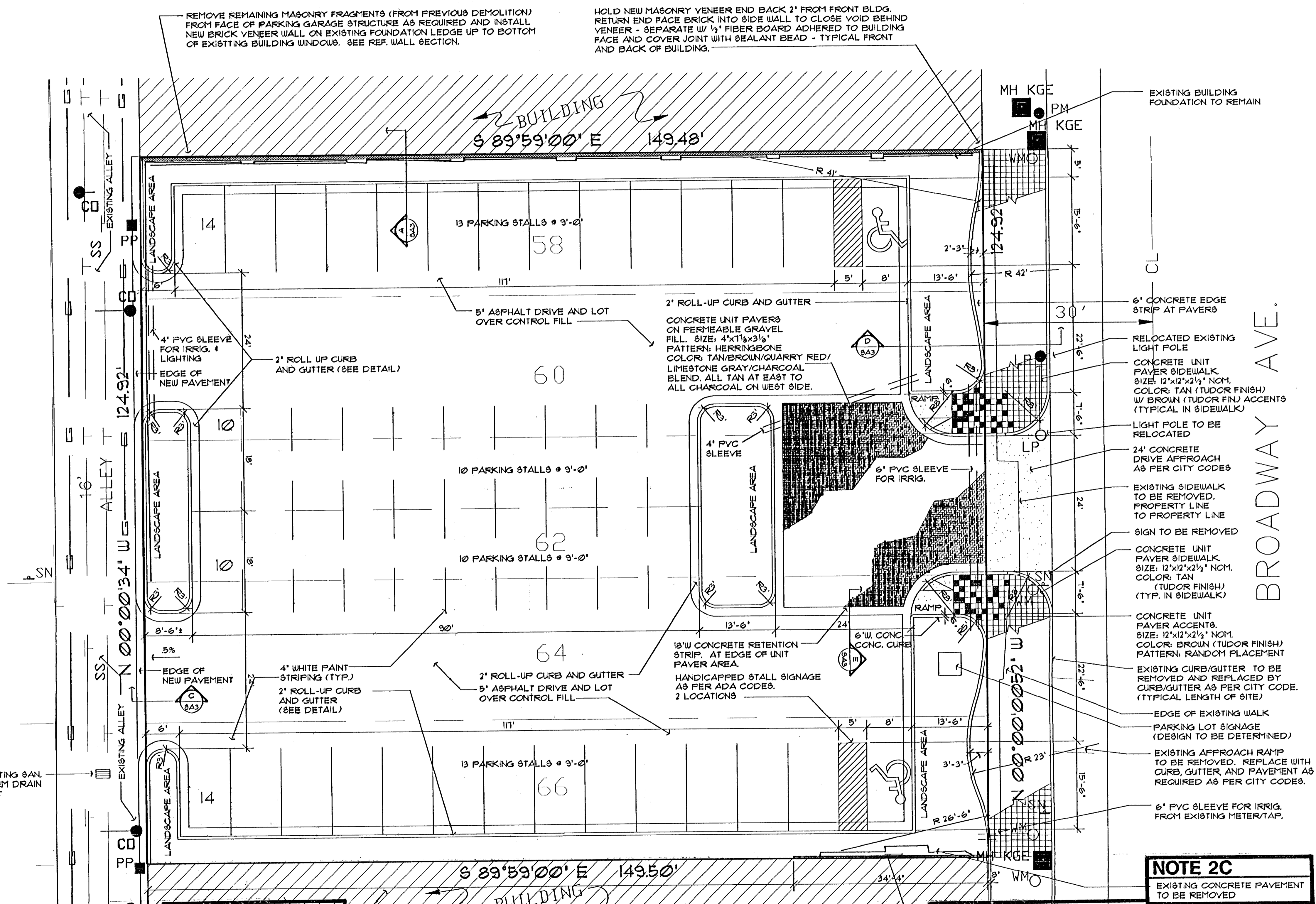
UNIT PAVERS ARE TO MATCH THOSE THAT ARE TO BE INSTALLED AT THE SIDEWALKS OF WILLIAMS STREET BETWEEN BROADWAY AND MARKET STREET.

THE UNIT PAYER COLOR PATTERN ON THE PLAN (IN THE PARKING LOT DRIVE AND NEAR THE RAMPS AT THE SIDEWALK) ARE REPRESENTATIVE OF THE PATTERN TO BE INSTALLED. RANDOMLY, FROM EAST TO WEST, THE DARKER ACCENT COLORS ARE TO BE ADDED INTO THE TAN BASE COLOR CREATING A GRADUAL CHANGE OF COLOR FROM TAN THROUGH BROWN, THROUGH QUARRY RED, THROUGH LIMESTONE GRAY TO THE FINAL COLOR, CHARCOAL. THE WESTERN MOST ROWS OF THE DRIVE PAVERS ARE TO BE ENTIRELY CHARCOAL IN COLOR.

**SIDEWALK:**  
 TYPE/SHAPE: HANOVER-FREST CONCRETE PAYER, 12"x12"x2 1/2" NOMINAL DIMENSIONS  
 COLOR/FINISH: TAN/TUDOR FINISH BROWN/TUDOR FINISH (ACCENTS)

**PARKING LOT DRIVE:**  
 TYPE/SHAPE: HANOVER-FREST CONCRETE PAYER 4"x8"x3" NOMINAL DIMENSIONS  
 COLOR/FINISH: TAN/TUDOR FINISH BROWN/TUDOR FINISH LIMESTONE GRAY/TUDOR FINISH CHARCOAL/TUDOR FINISH

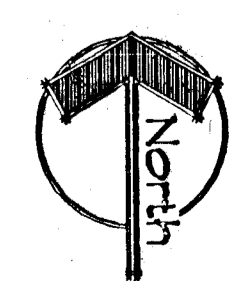
**PATTERN:** HERRINGBONE LAY-OUT BLENDED COLOR, FROM LIGHT TO DARK (EAST TO WEST)



**NOTE 2A**  
 REMOVE MASONRY FRAGMENTS ON BOTTOM 2' OF WALL AND TUCK AND POINT MASONRY.

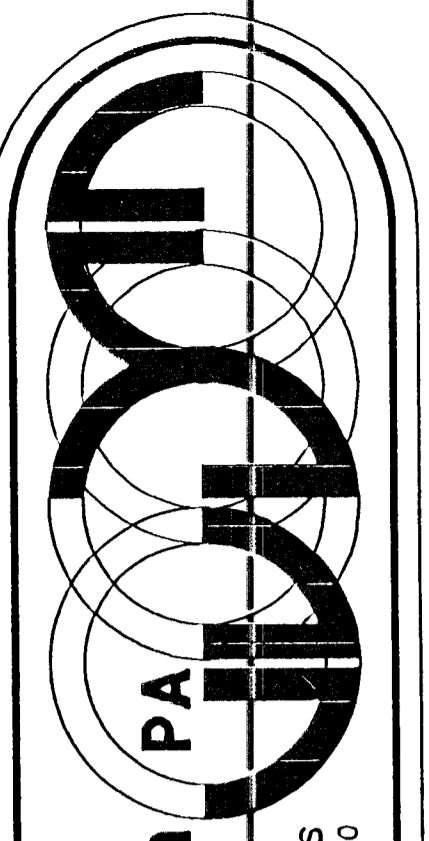
**NOTE 2B**  
 REMOVE REMAINING MASONRY FRAGMENTS FROM WALL FACE TO PROVIDE LEVEL FACE CONDITION TO RECEIVE INSTALLATION OF NEW EIFS COVERING (1/4" STYRENE BOARD) WITH 'SKIP TROUPEL' FINISH AND COLOR TO MATCH EXISTING MATERIAL ON EAST FACE OF EXISTING BUILDING (FULL HEIGHT TO EXISTING PARAPET CAP). PROVIDE MORTAR REMOVAL AND INFILL AS REQUIRED TO CREATE SURFACE APPROPRIATE TO EIFS INSTALLATION. ALL EDGES OF INSTALLATION SHALL BE TERMINATED INTO METAL 'U' FORM. PROVIDE SEALANT BEAD TO CLOSE METAL 'U' TO FACE OF WALL AT ENDS AND NEW PARAPET CAP TILES ACROSS TOP.

**NOTE 2C**  
 EXISTING CONCRETE PAVEMENT TO BE REMOVED

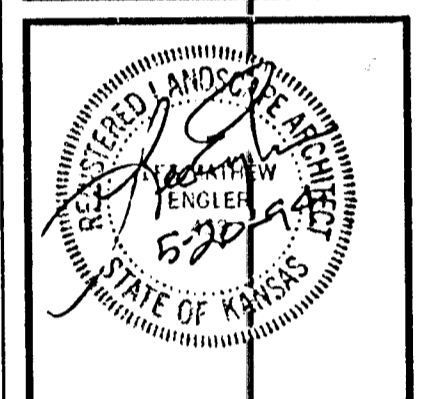


**S I T E L A Y - O U T P L A N**

SCALE: 1" = 10'-0"



**Wilson Darnell Mann PA**  
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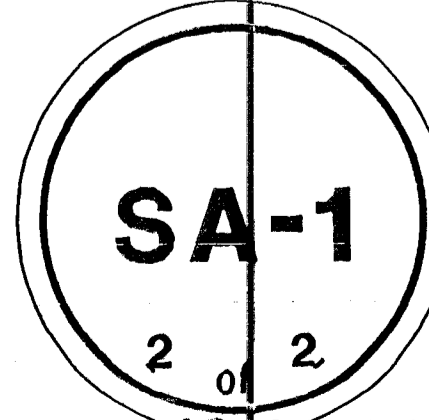
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 drawn LME check

**319 & 325 BROADWAY PARKING LOT**  
 319 & 325 BROADWAY WICHITA, KANSAS

SITE LAY-OUT PLAN



1811-52

LIGHT FIXTURE SCHEDULE

SYMB.	QUANT.	MANUFACTURER	FIXTURE	LAMP	POLE
(A)	2	MCGRAW-EDISON	CREDENZA, SMALL DOME TOP, TYPE V REFRACTOR, Z-2165, BLACK W/ MULTI-TAP BALLAST.	400W-METAL HALIDE	30'H, 8630Z2 BLACK
(B)	2	MCGRAW-EDISON	CREDENZA, SMALL DOME TOP, TYPE IV REFRACTOR, Z-2164, BLACK W/ MULTI-TAP BALLAST.	400W-METAL HALIDE	30'H, 8630Z2 BLACK

ALL ELECTRICAL FIXTURES ARE TO BE INSTALLED WITH PHOTOCELL SWITCH 'ON' AND 'OFF'. PHOTOCELLS ARE TO BE LOCATED OUT OF DIRECT CONTACT OF CAR HEAD LIGHTS, BEAM OF ADJACENT LIGHT FIXTURES, OR VISION OF POSSIBLE VANDALS.

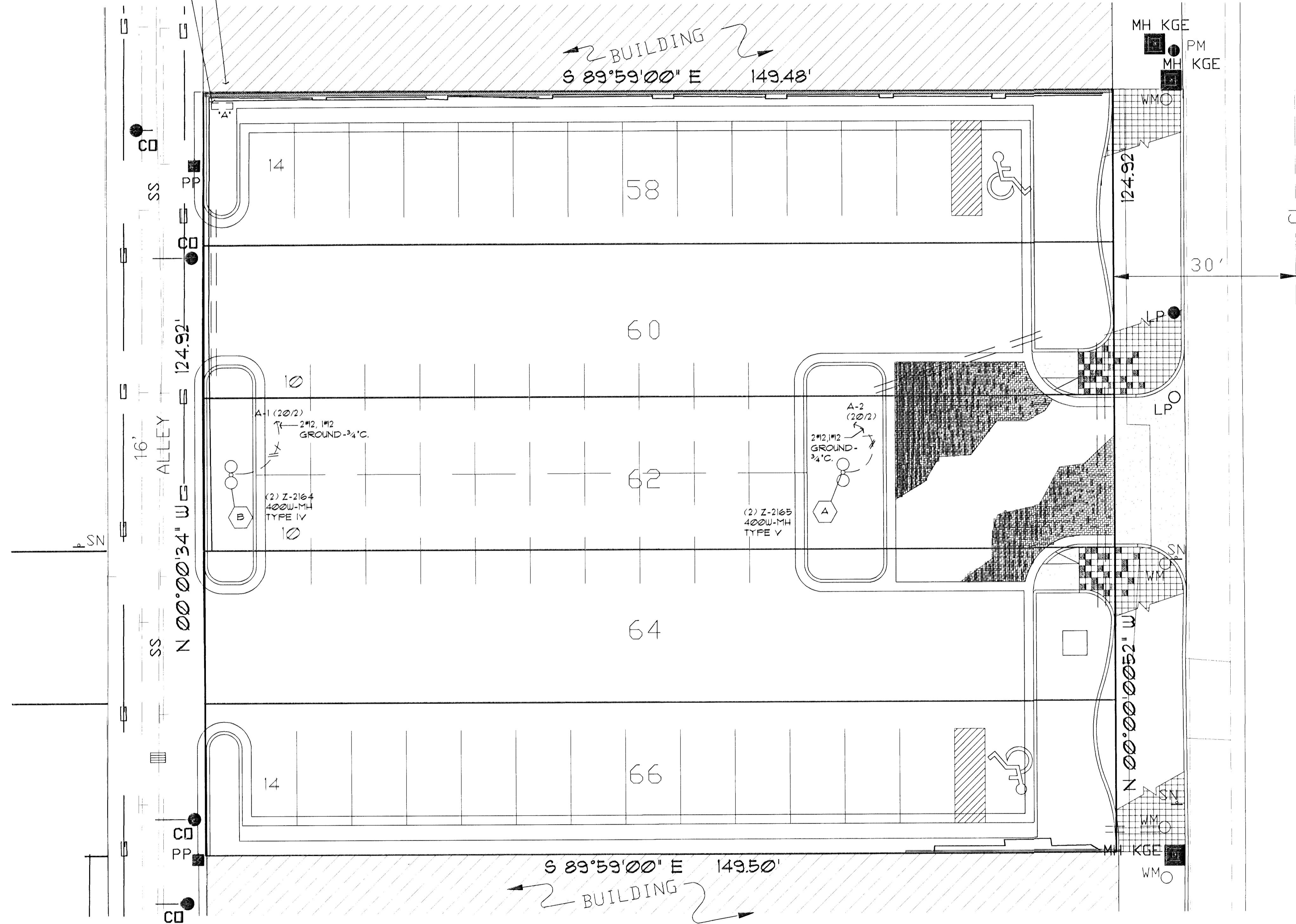
ALL WIRING IS TO BE INSTALLED IN UNDERGROUND CONDUIT. ALL WIRE SHALL BE INSTALLED BELOW GRADE TO FIXTURE. FURNISH WITH GROUND WIRE.

INSTALLATION OF FIXTURES SHALL BE AS PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.

SIZE LIGHTING CIRCUIT CONDUCTORS TO LIMIT VOLTAGE DROP TO 3% MAXIMUM.

ELECTRIC SERVICE, METER AND SWITCH BOX FOR LIGHTING AND IRRIGATION CONTROLLER

NEW CONTROL PANEL 'A' LOCATION. MOUNT ON NEW WALL. SEE DETAILS.



BROADWAY AVE.

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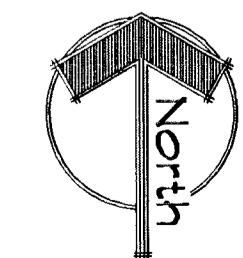
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**319 & 325 BROADWAY  
 PARKING LOT  
 PROJ # 472-82420 INDEX # 790840**  
 319 & 325 BROADWAY  
 WICHITA, KANSAS

SITE LIGHTING  
 PLAN



S I T E L I G H T I N G P L A N

SCALE: 1" = 10'-0"

