

GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:
Kansas One-Call 687-2470
The Contractor must notify the following in case of an emergency:
AT&T 1-800-246-8464
Black Hills Energy 1-800-694-8989
City of Wichita Water & Sewer 1-316-219-8921
City of Wichita Stormwater 1-316-268-4090
City of Wichita Traffic 1-316-268-4034
Cox Communications 1-888-249-3530
Kansas Gas Service 1-888-482-4950
Westar Energy 1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valves one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match final grades by the contractor.
- The Contractor shall notify the consultant engineer and Dawnita Reinhardt at 316-650-0740 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Mike Armour at traffic@wichita.gov before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of the Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are NAVD 88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.

Mueller (STORZ)
Wichita Concrete Pipe
Pro-Tracer Wire
SIP MJ Acc. Pack
STAR PIPE PRODUCTS
SANDERSON C-900
SANDERSON C-900R
NAPF DICL
TRUMBULL MJ Acc. Pack


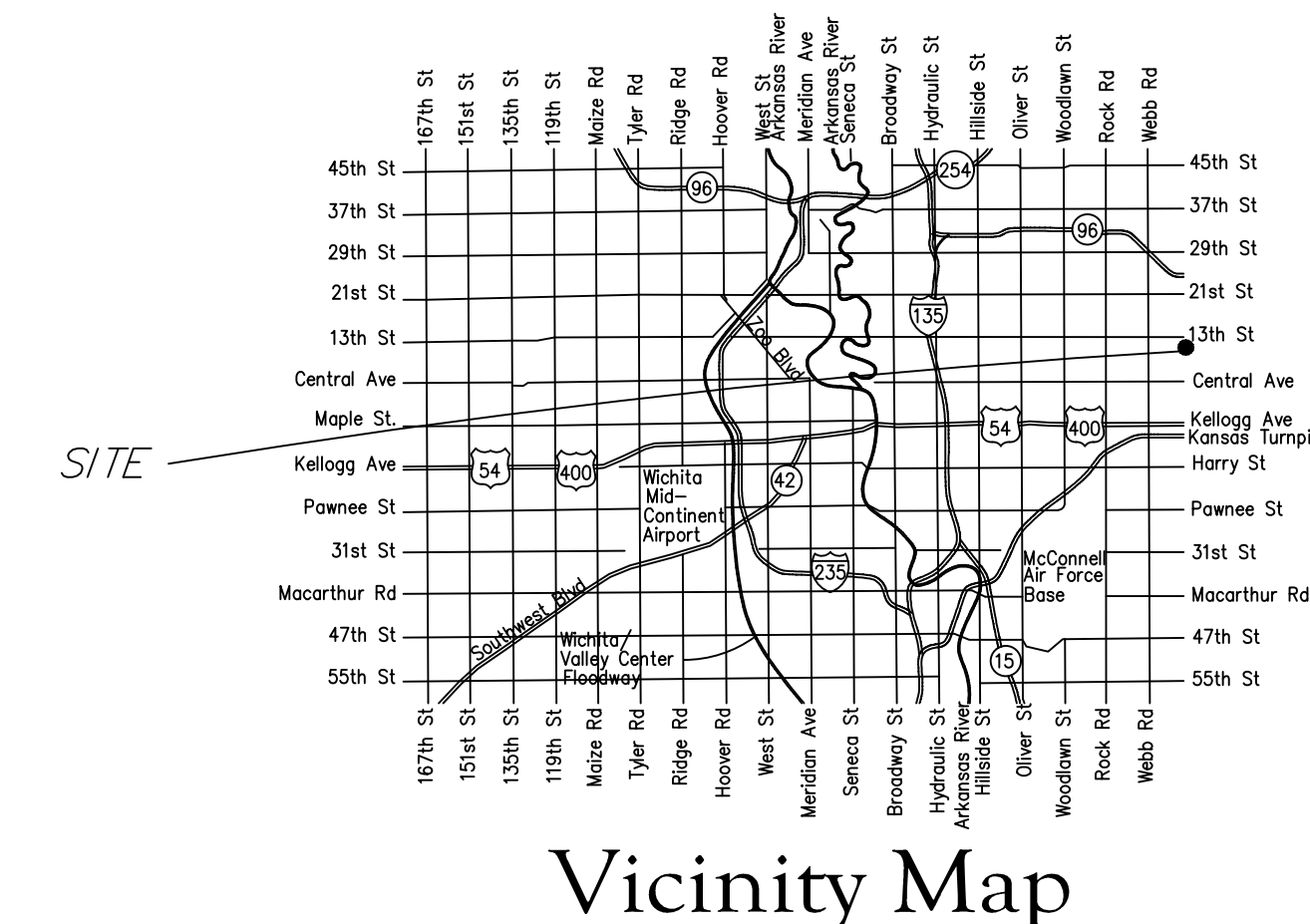
WATER LINE to serve Plazzio Apartments Near N Greenwich Rd. & E 13th St. The Gateway Center 3rd Addition: Lot 7, Block 1 CITY OF WICHITA, KANSAS

Paul Gunzelman, P.E. Interim City Engineer
Project Number
PPW - 2022 - 021248
Org Code: 54030980

AS-BUILTS

Contractor: Dutton Construction & Plumbing
Project Inspector: Pablo Oden

Date: 4/24/2024

Sheet Index

- 1.0 Title Sheet
- 2.1 Std Water Ass'y Detail
- 2.2 Misc. Water Detail
- 2.3 Standard Vault Details
- 3.0 Plan and Profile Line 1
- 3.1 Plan and Profile Lines 2 & 3
- 3.2 Plan and Profile Lines 4 & 5
- 4.0 Erosion Control Plan
- 4.1-4.5 Erosion Control Details
- 5.0-5.1 Plat (For Reference Only)

APPROVED AS NOTED
BY WICHITA PUBLIC WORKS
ENGINEERING DIVISION
& BY WICHITA FIRE DEPARTMENT

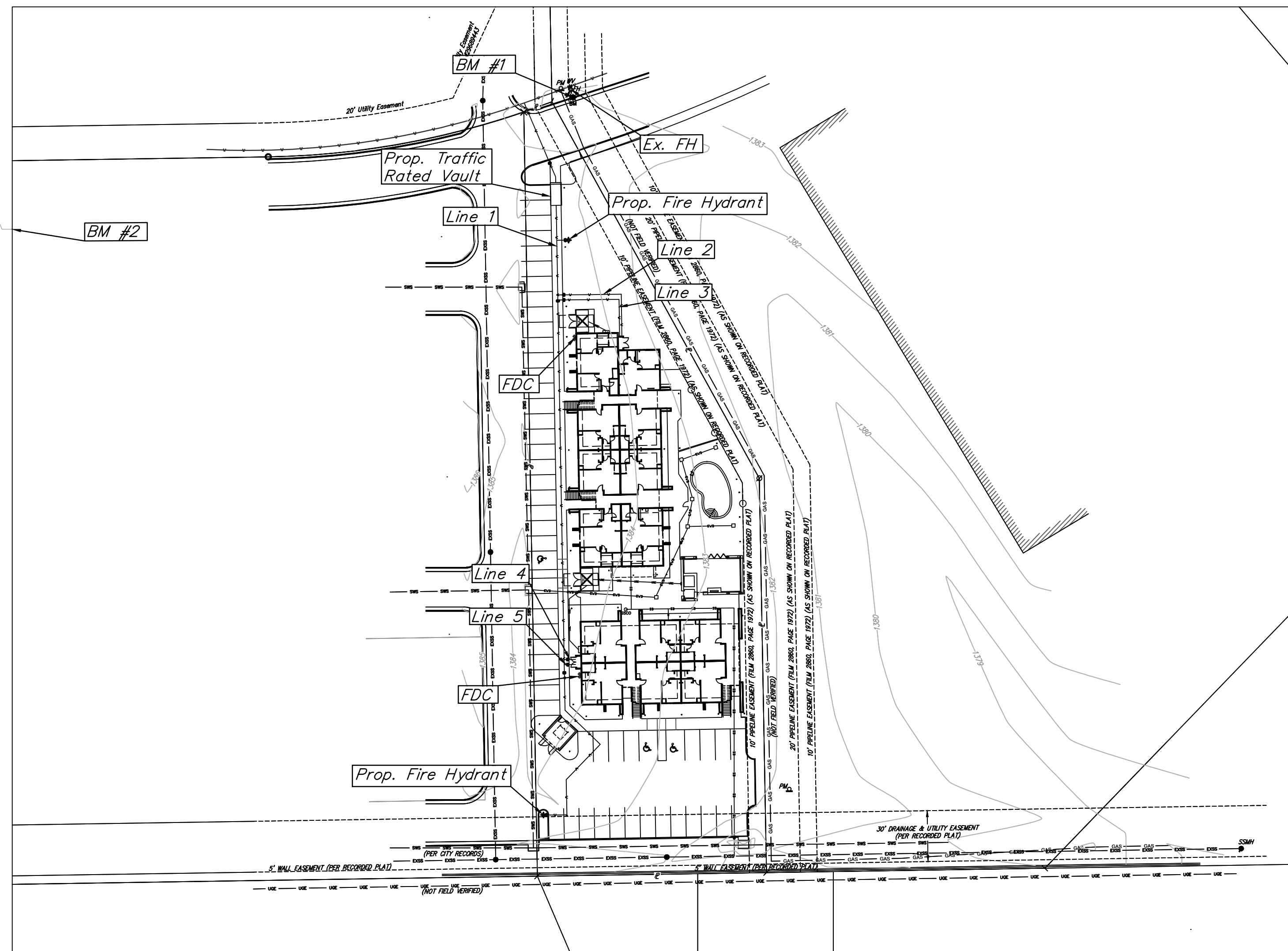
Engineering approved by Shawn Mellies on this day the 30th of March, 2023
Utilities approved by Greg Lolley on this day the 30th of March, 2023
Fire Dept. approved by Jose Ocadiz on this day the 30th of March, 2023

NOTE TO CONTRACTORS

Public Property:
Inspection and testing for the waterline is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection is to be in accordance with the City of Wichita standard construction engineering practices and certified by a Professional Engineer Licensed in the state of Kansas. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the City of Wichita Specifications and Standards and Special Provision (on file and available in the City Engineer's Office) or on the City's Website.

Private Property:
Installation and testing for the fire protection line is to be performed by a City of Wichita licensed fire protection contractor in accordance with the fire codes as adopted by the City of Wichita. All material and construction practices for the fire protection line shall comply with the fire codes as adopted by the City of Wichita (available from the City of Wichita Fire Department). The Contractor shall not commence work without notification and approval of the Wichita Fire Department. Inspection of the fire protection line is to be provided by a licensed Engineering Firm under contract with the Owner/Developer and the Fire Department. The contractor shall not start work until the project inspector is assigned to the project and present on the site. Any work done without inspection will be required to be uncovered for inspection.

An approved copy of these plans signed by City staff are required on-site.



Benchmarks

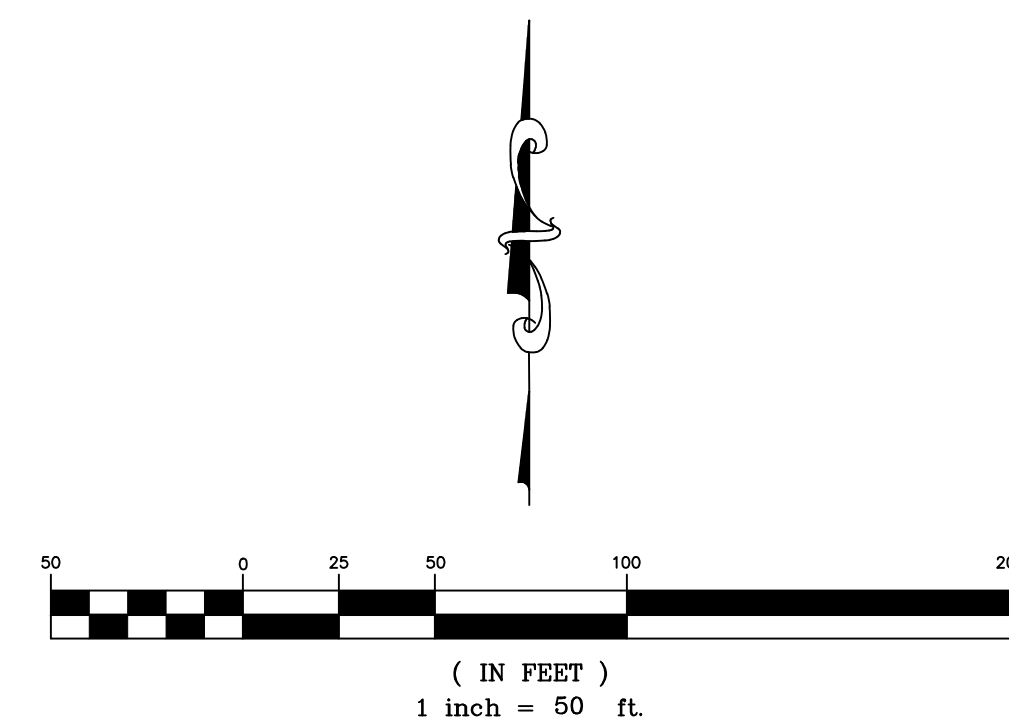
BM#1:
Cut on Top of Curb
Elevation = 1383.55 (NAVD88)
N=1693296.45 E=1686845.84

BM#2:
Cut on Top of Transformer
Concrete Base located approx. 100' NE
of NE corner of the Residence Inn
Building
Elevation = 1389.03 (NAVD88)
N=1693218.74 E=1686461.21

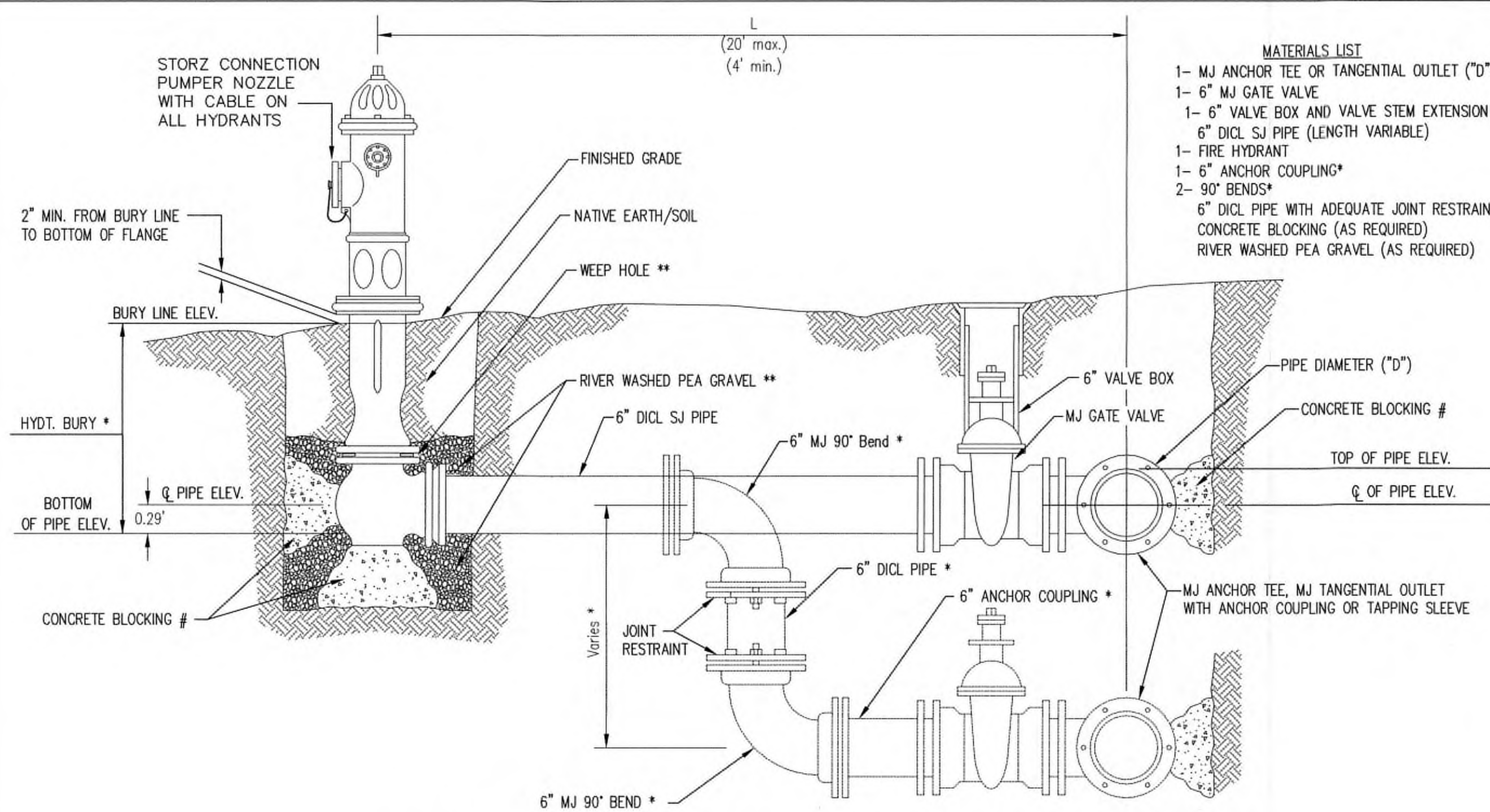


THIS SHEET HAS BEEN
SIGNED, SEALED AND
DATED DIGITALLY

MARCH, 2023




KEMILLER
ENGINEERING PA
117 E. Lewis, Wichita, KS 67202 (316)264-0242



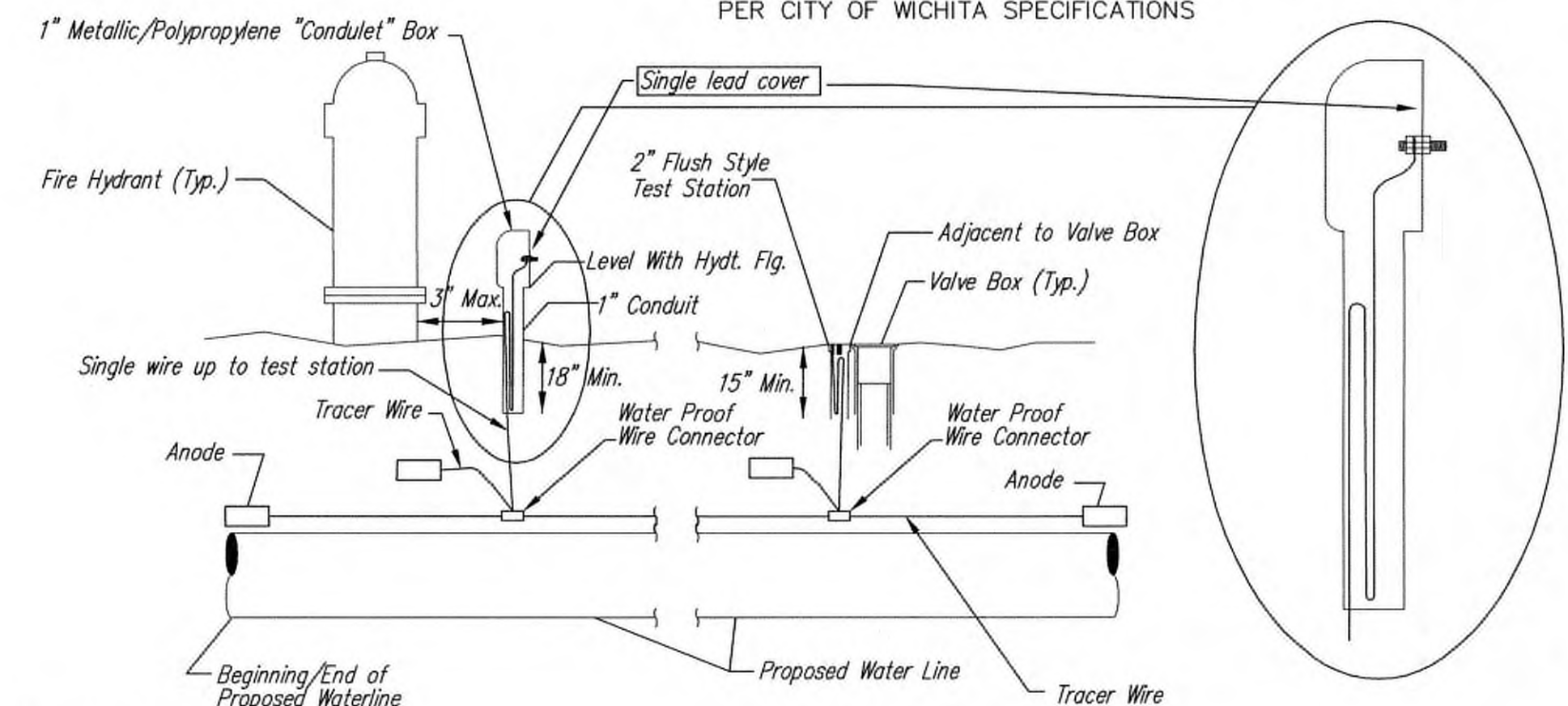
- MATERIALS LIST**
- 1- MJ ANCHOR TEE OR TANGENTIAL OUTLET ("D"x 6")
 - 1- 6" MJ GATE VALVE
 - 1- 6" VALVE BOX AND VALVE STEM EXTENSION IF REQUIRED *
 - 6" DICL SJ PIPE (LENGTH VARIABLE)
 - 1- FIRE HYDRANT
 - 1- 6" ANCHOR COUPLING*
 - 2- 90° BENDS*
 - 6" DICL PIPE WITH ADEQUATE JOINT RESTRAINT *
 - CONCRETE BLOCKING (AS REQUIRED)
 - RIVER WASHED PEA GRAVEL (AS REQUIRED)

* IF THE REQUIRED HYDRANT BURY IS IN EXCESS OF 5', BUT LESS THAN 7', CONTRACTOR SHALL USE STANDARD 5' HYDRANT BURY AND HYDRANT BARREL EXTENSIONS AS NECESSARY. IF THE REQUIRED HYDRANT BURY IS GREATER THAN 7', CONTRACTOR SHALL USE 5' HYDRANT BURY, 2-MJ 90° BENDS, 6" ANCHOR COUPLING AND 6" DICL PIPE AS NECESSARY FOR VERTICAL ADJUSTMENT. THE CONTRACTOR SHALL PROVIDE ADEQUATE THRUST BLOCKING AT HYDRANT AND MEGALUGS, OR SIMILAR RESTRAINT BETWEEN 90° BENDS TO SECURE ALL FITTINGS DURING TESTING AND OPERATION. THE CONTRACTOR SHALL PROVIDE A VALVE STEM EXTENSION PER DETAIL THIS SHEET.

** CAUTION: WEEP HOLES TO BE KEPT CLEAR DURING CONSTRUCTION AND BACKFILL. CONCRETE FOR THRUST BLOCKING SHALL NOT OBSTRUCT WEEP HOLES. PLACE 1 CUBIC FOOT OF RIVER WASHED PEA GRAVEL AROUND EACH WEEP HOLE.

CONCRETE THRUST BLOCKING SHALL BE KEPT CLEAR OF BOLTS, NUTS, AND MJ ACCESSORIES.

FIRE HYDRANT ASSEMBLY
PER CITY OF WICHITA SPECIFICATIONS



TRACER WIRE
Conductive type pipe locator/tracer wire shall be installed to locate all waterline pipe regardless of pipe material. The wire shall extend the entire length of the proposed pipe. The wire shall be taped to the waterline and pulled with the pipe. A waterproof connector shall be used at splice locations. A complete list of approved tracer wire and waterproof connectors can be found on the City of Wichita's website at www.wichita.gov.

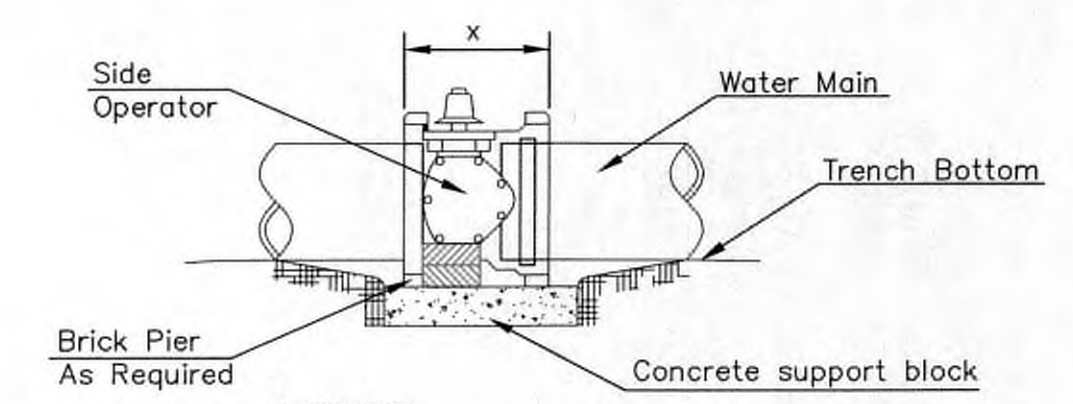
WIRE
The tracer wire shall be Blue No. 12 AWG CCS with 45 mil HDPE insulation. To allow for grade adjustment, a minimum of 12" of excess wire shall be coiled at the bottom of the test station for all wires. Wire connectors shall be installed per manufacturer recommendations. Contractor shall attach wire being installed with proposed water main to any tracer wire installed with adjacent waterline projects.

TEST STATIONS
The test station for fire hydrant application shall be a 1" "condulet" style station as manufactured by AGRA Industries with a removable solid cover having a single lead extending from the face or approved equal. The "conduit" style test station shall be attached to a 1" rigid galvanized conduit with a minimum length of 36" and plastic end bushing. The flush style shall have the word "WATER" stamped or molded into the lid. The test station for valve applications shall be a 2" flush style test station with wire connector on lid. Model # T2PH/B1LP Handley Industries or CD14*TP SnakePit as manufactured by Copperhead Industries or approved equal. The flush style shall have the word "WATER" stamped or molded into the lid. All test stations shall be manufactured using molded blue tops or sufficiently coated with blue enamel paint. The tracer wire and the anode wire shall be installed to allow 12" of wire within the test station. The location of all test stations shall be recorded, and shown in the as-built drawings. Flush style test stations shall not be installed in pavement or sidewalk unless approved by the Engineer. Contractor shall extend tracer wire & move flush mount test station to nearest location out of pavement or sidewalk.

ANODES
The anodes shall be 3 lb. bare zinc or magnesium. The anodes shall be buried at the same elevation as the waterline at each test station. The anodes shall be connected to 12 AWG CCS which shall be extended to the test station.

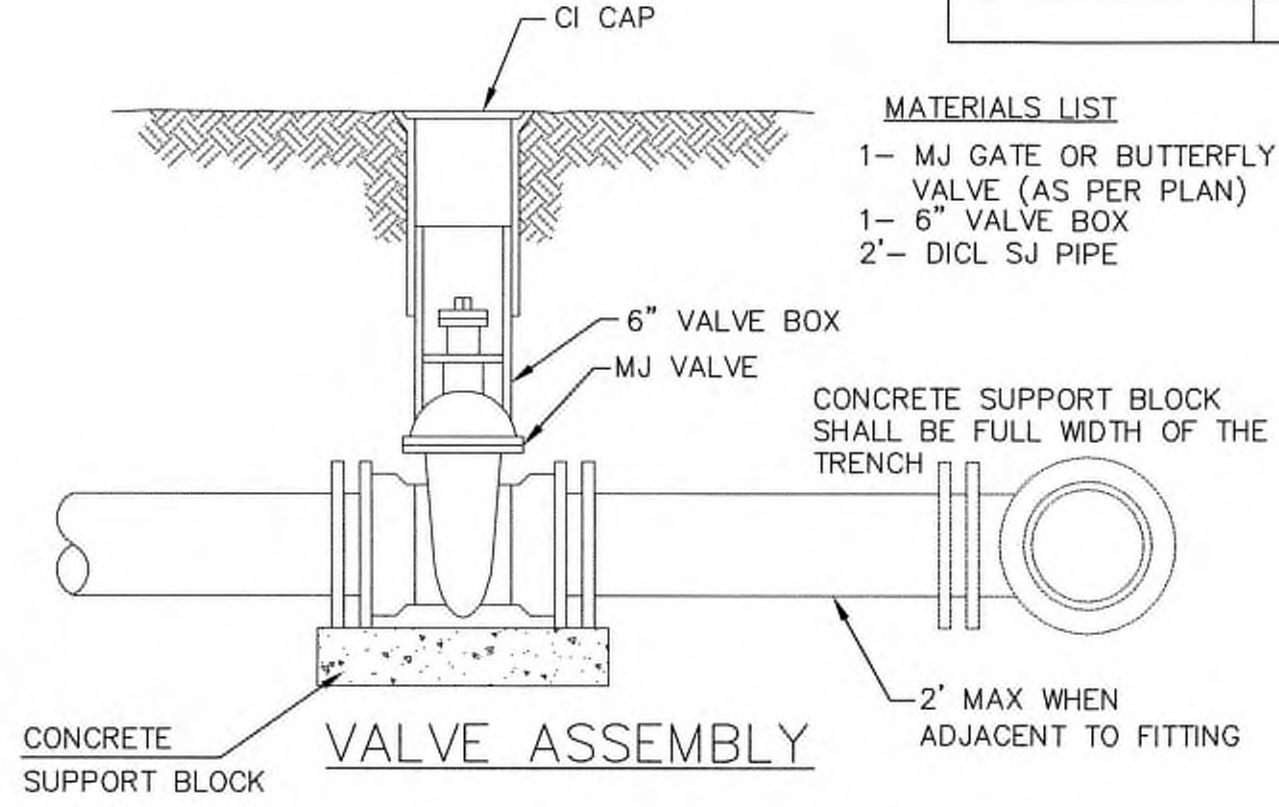
TRACER WIRE DETAIL
COST IS SUBSIDIARY TO PIPE INSTALLATION

FIRE HYDRANTS REQUIRED				
STATION	BURY LINE ELEVATION	TOP OF PIPE ELEVATION	FIRE HYDRANT BURY REQUIRED*	VALVE STEM EXT. REQUIRED (ft)*
0+84.80	1385.50	1380.22	5.0'	N/A
4+40.68	1383.83	1379.24	5.0'	

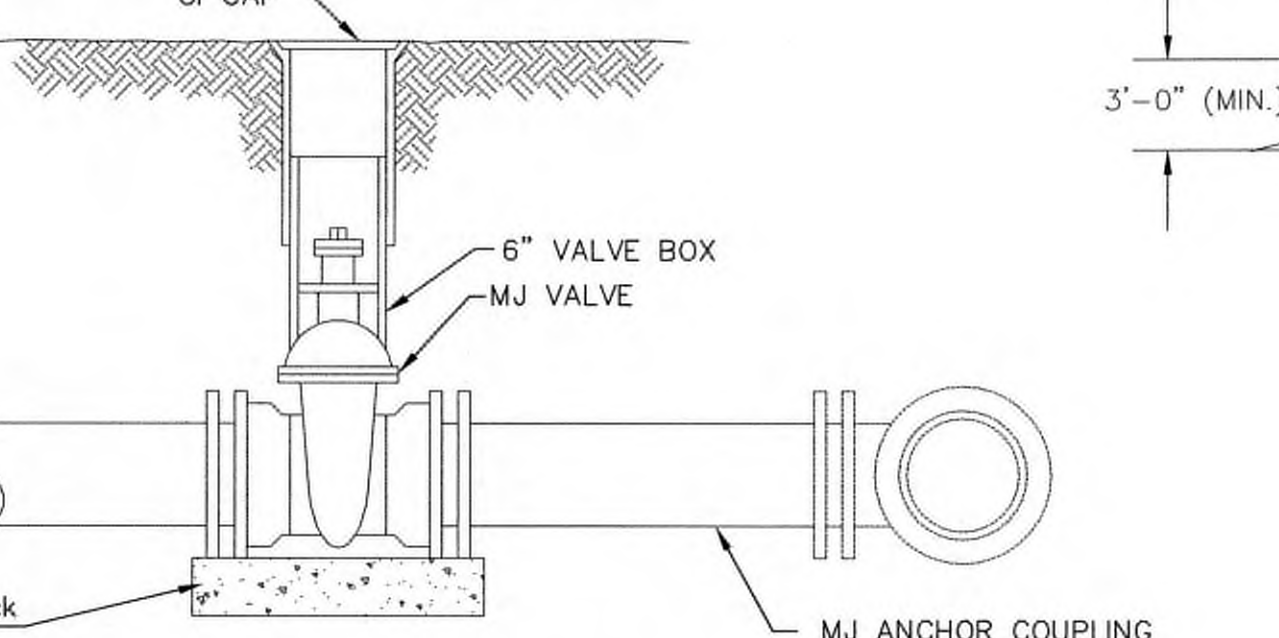


- NOTES**
- This detail covers Butterfly Valve installation, inclusive, regardless of type of pipe or joint used. 24" and larger lines to be detailed on plans.
 - 6" Valve Box and Cover required per City of Wichita Std. Specifications.
 - Conc. Support Block to be full width of trench.

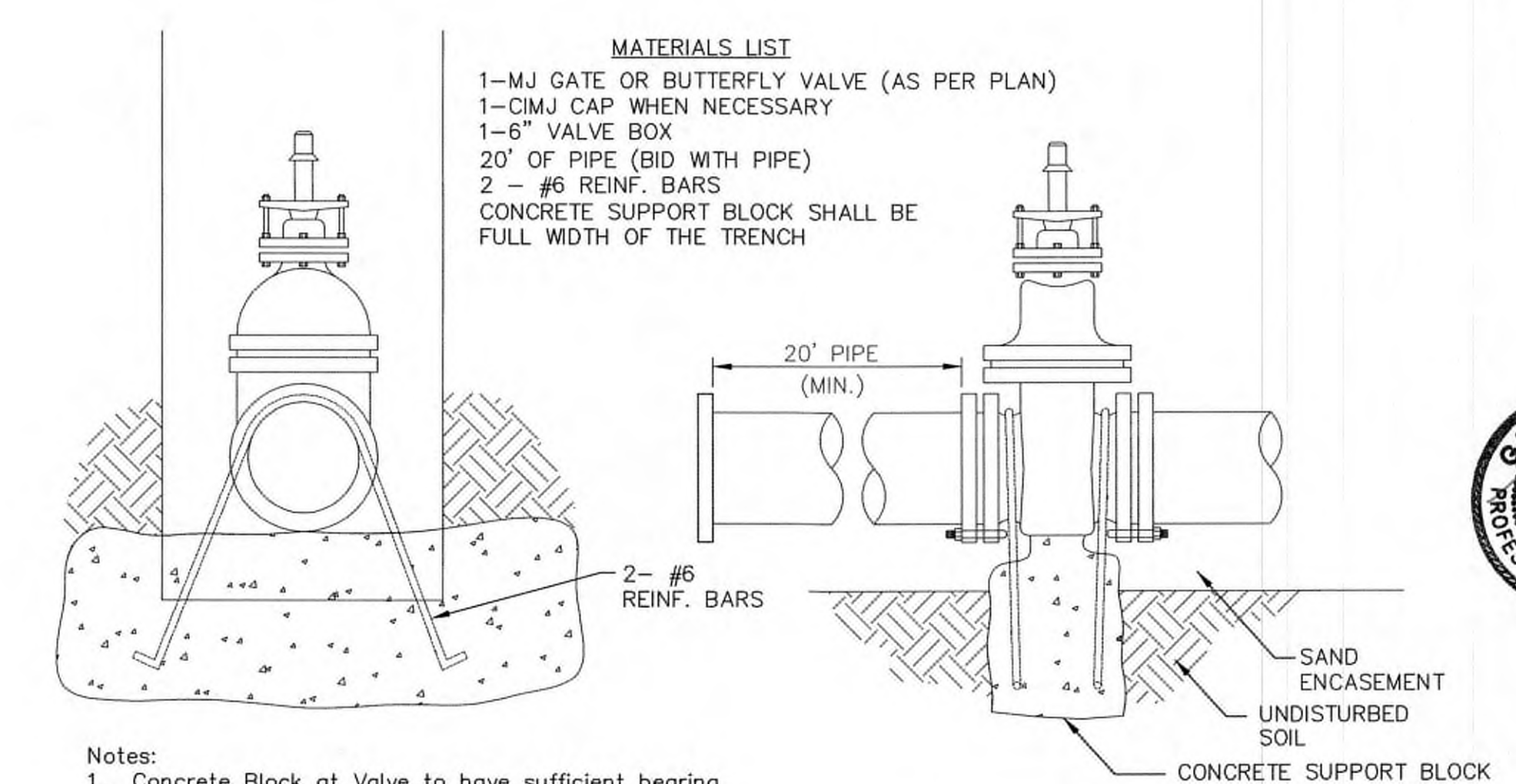
CONCRETE SUPPORT BLOCKING FOR BUTTERFLY VALVE INSTALLATION



- MATERIALS LIST**
- 1- MJ GATE OR BUTTERFLY VALVE (AS PER PLAN)
 - 1- MJ ANCHOR COUPLING (12" OR SMALLER)
 - 1- 6" VALVE BOX
 - CONCRETE SUPPORT BLOCK SHALL BE FULL WIDTH OF THE TRENCH



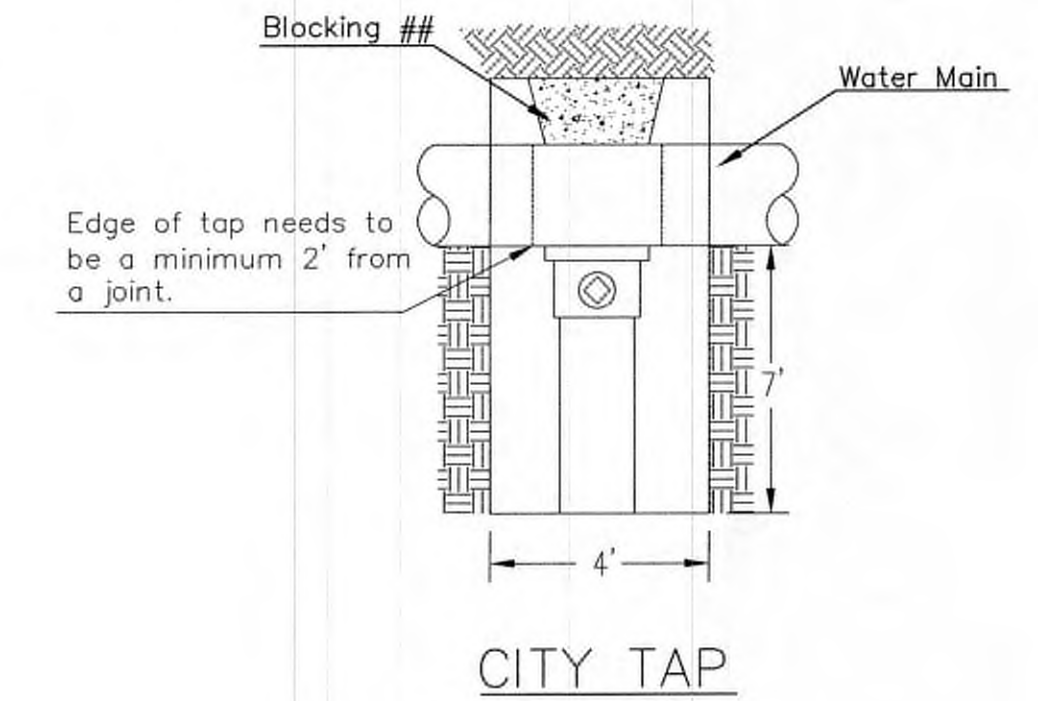
ANCHORED VALVE ASSEMBLY



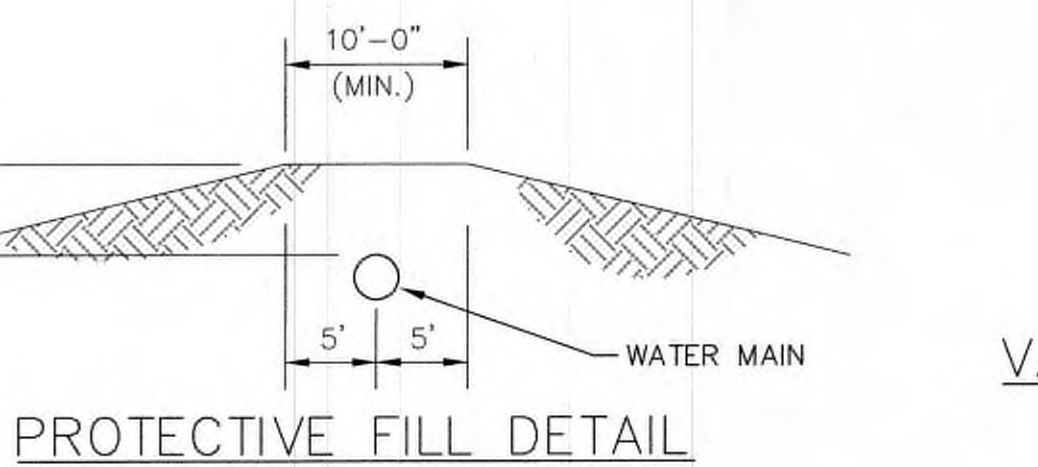
- Notes:**
- Concrete Block at Valve to have sufficient bearing in undisturbed soil to prevent thrust movement as shown in table at right. Field Engineer to determine thrust loading of undisturbed soil and final size of thrust block.
 - The thrust block shall be constructed such that bolts, nuts, and other MJ accessories are kept clear of concrete.
 - All valves at dead ends and at other locations as called out on the plans shall be blocked as shown here.

VALVE	THRUST AT 150 #/sq. in.
4"	1809 lbs.
6"	4245 lbs.
8"	7540 lbs.
12"	16965 lbs.

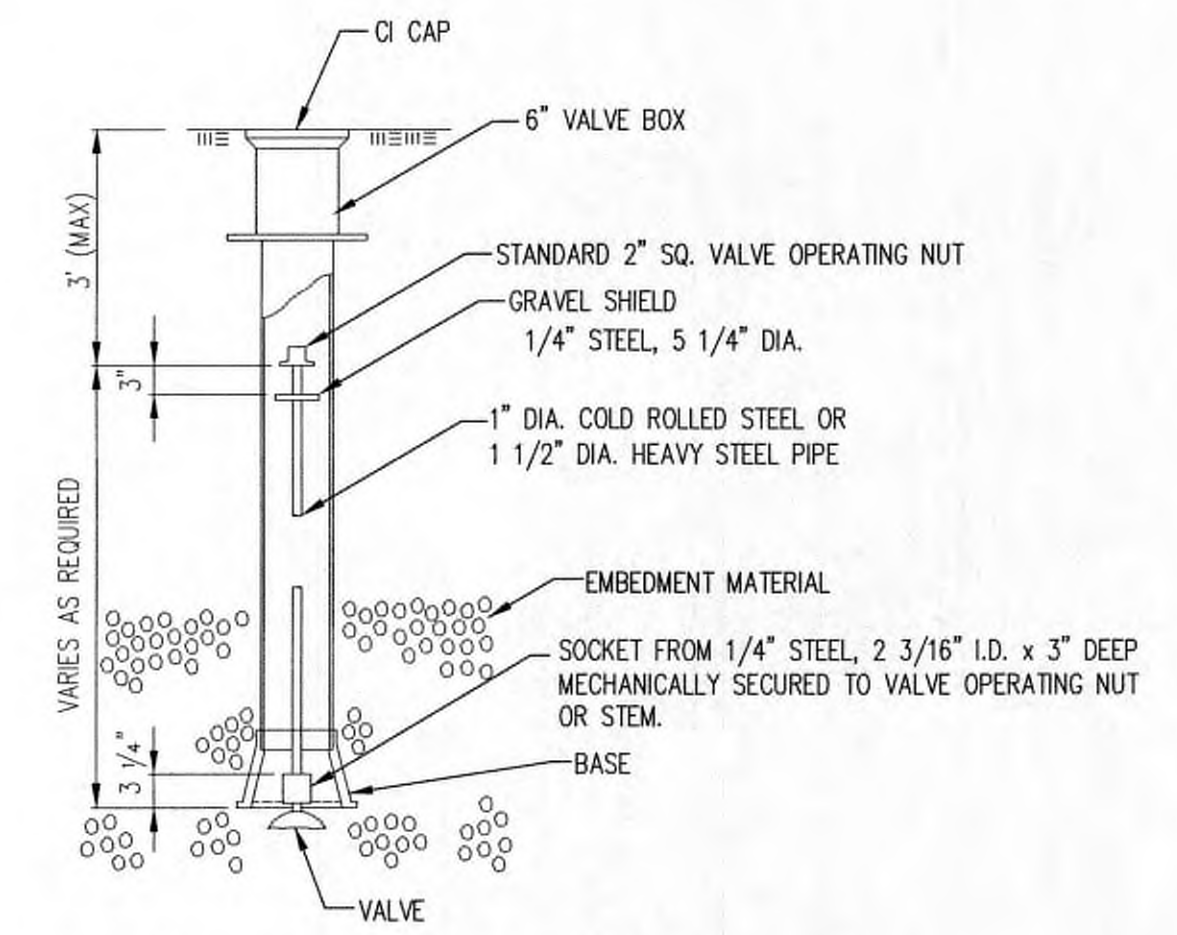
ANCHORED VALVE ASSEMBLY, SPECIAL



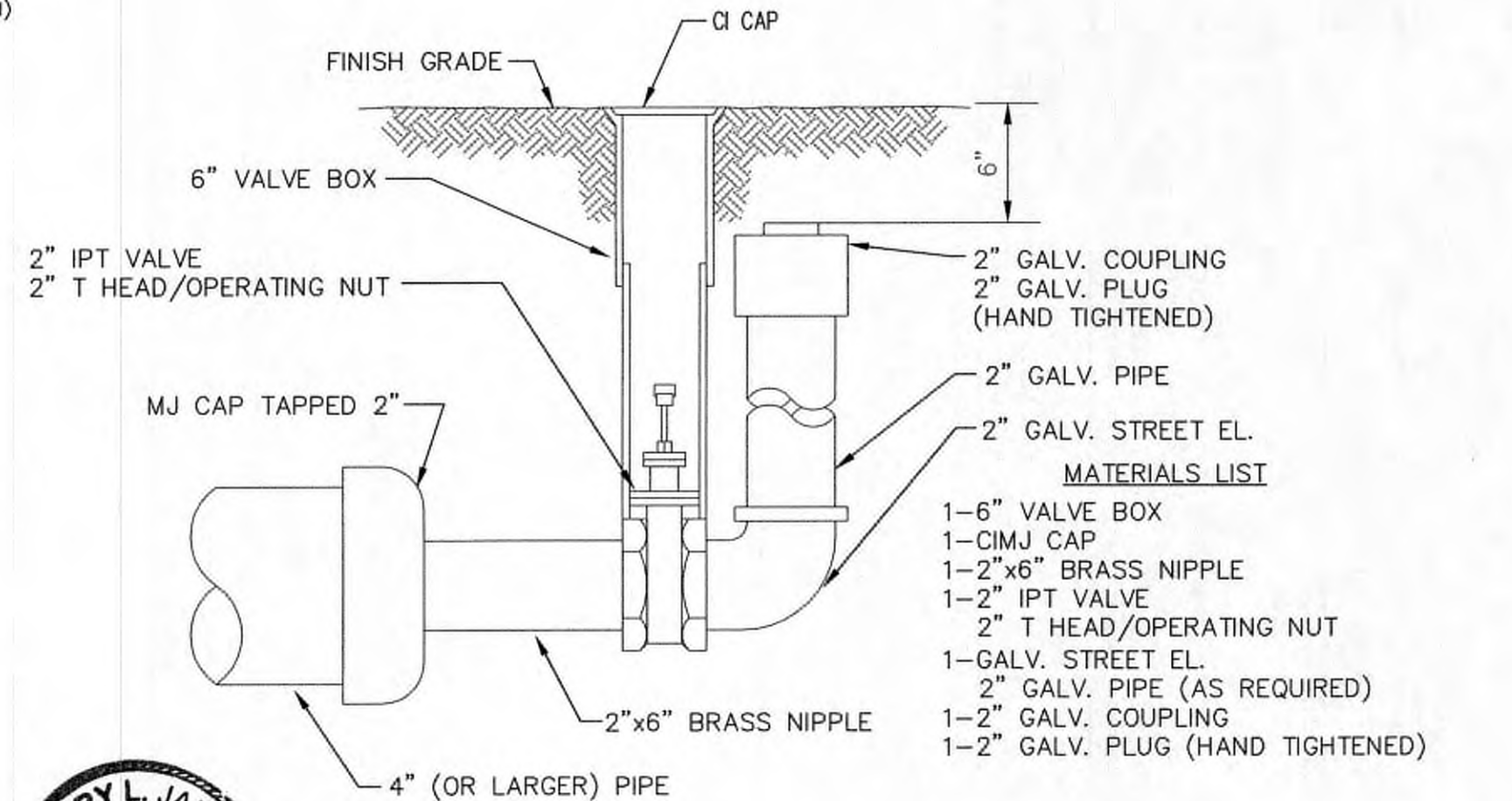
When the City of Wichita makes tap, blocking is to be done by Contractor



MINIMUM PROTECTIVE FILL SHALL BE PROVIDED IN ALL INSTANCES WHERE COVER OVER THE PROP. WATER LINE IS LESS THAN 3". (COST SUBSIDIARY TO PIPE INSTALLATION)



NOTE: ONE VALVE STEM EXTENSION FOR EACH VALVE BURIED GREATER THAN 5'.



2" BLOWOFF ASSEMBLY

CITY OF WICHITA
PUBLIC WORKS & UTILITIES ENGINEERING DIVISION

REVISED: OCTOBER 2016

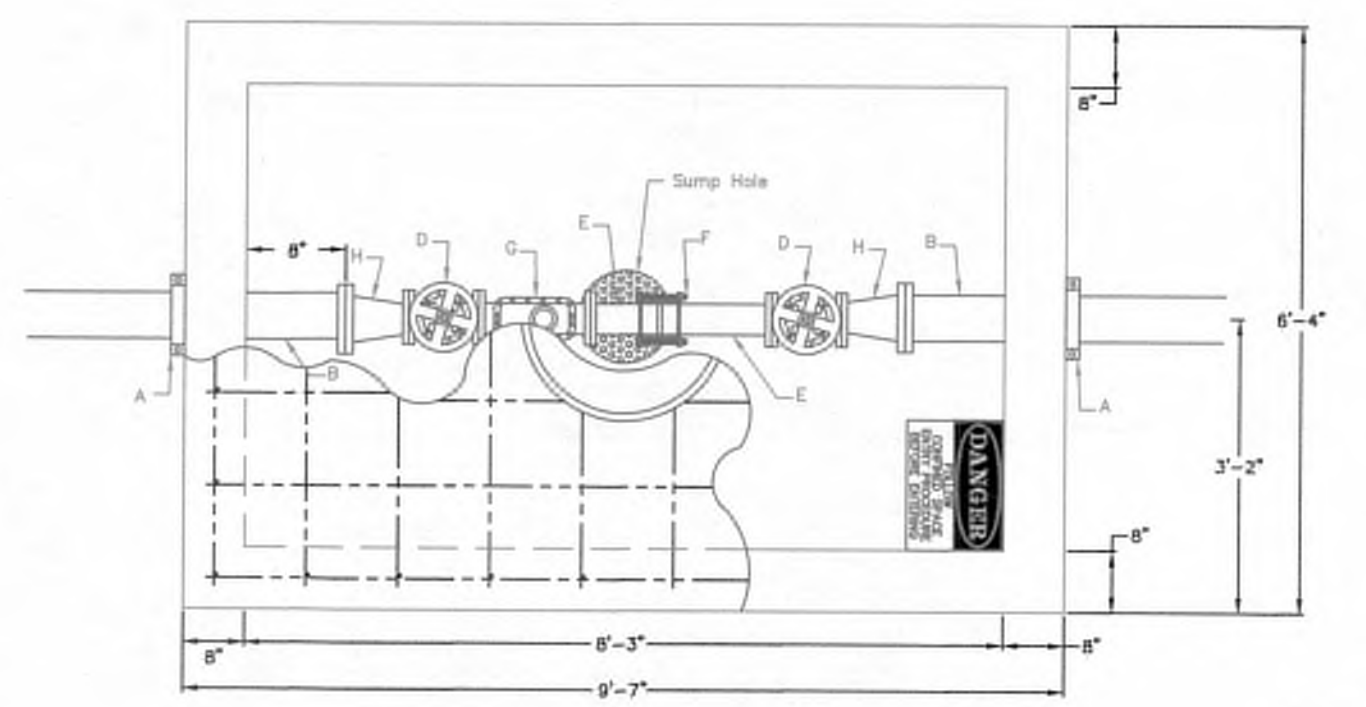
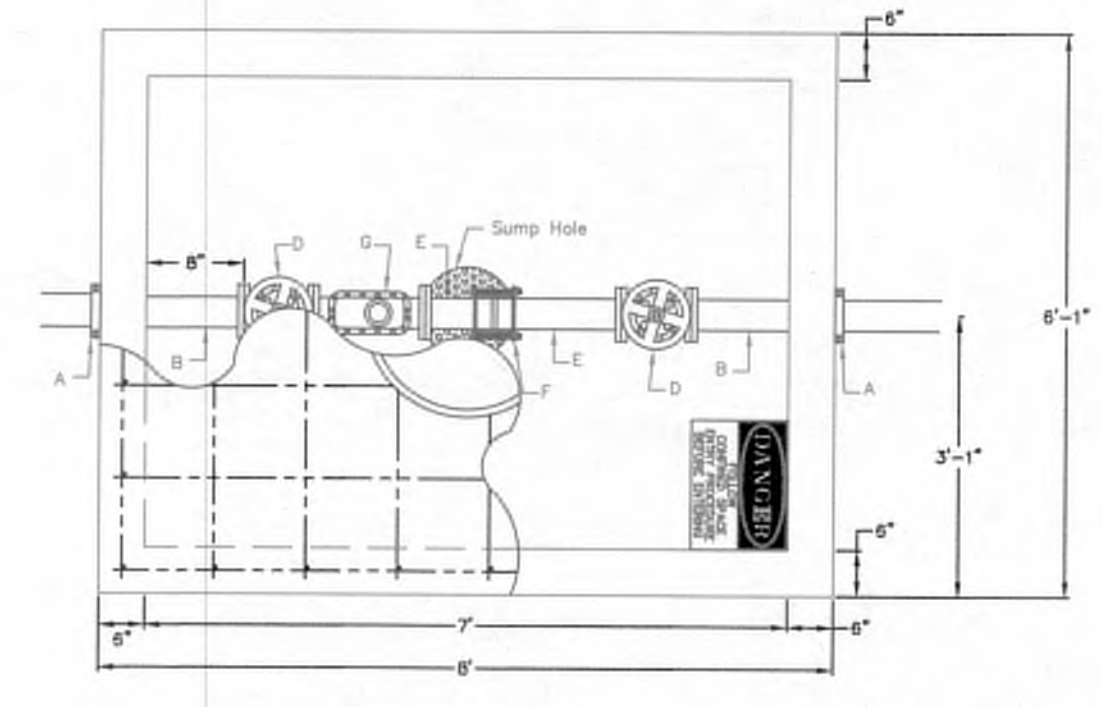
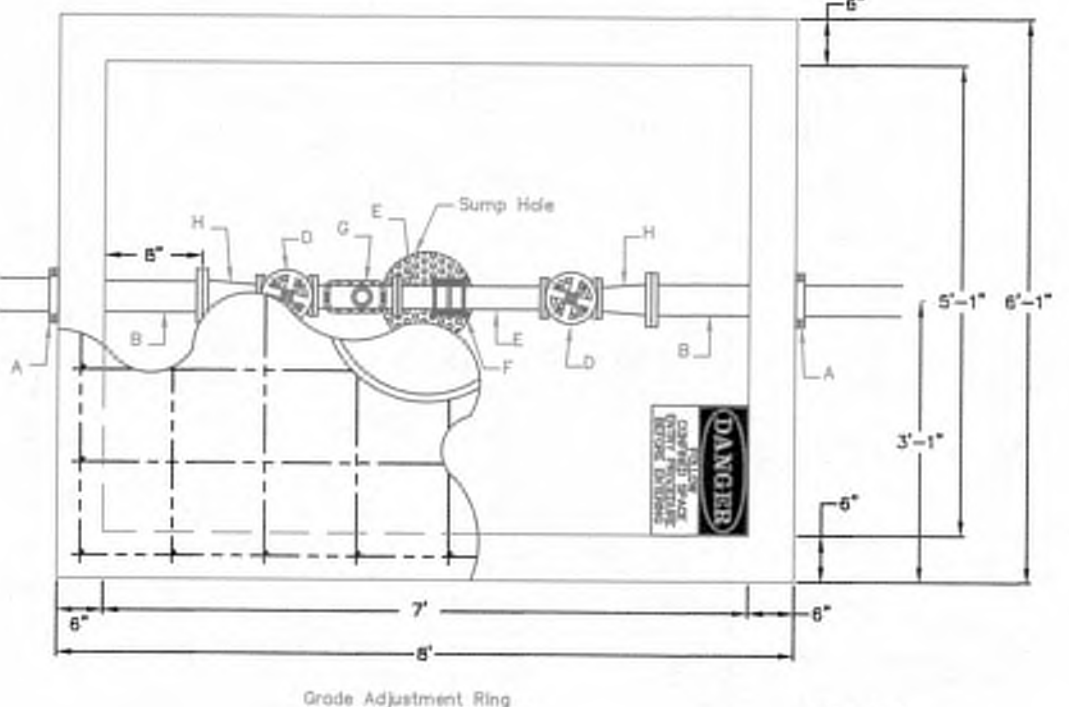
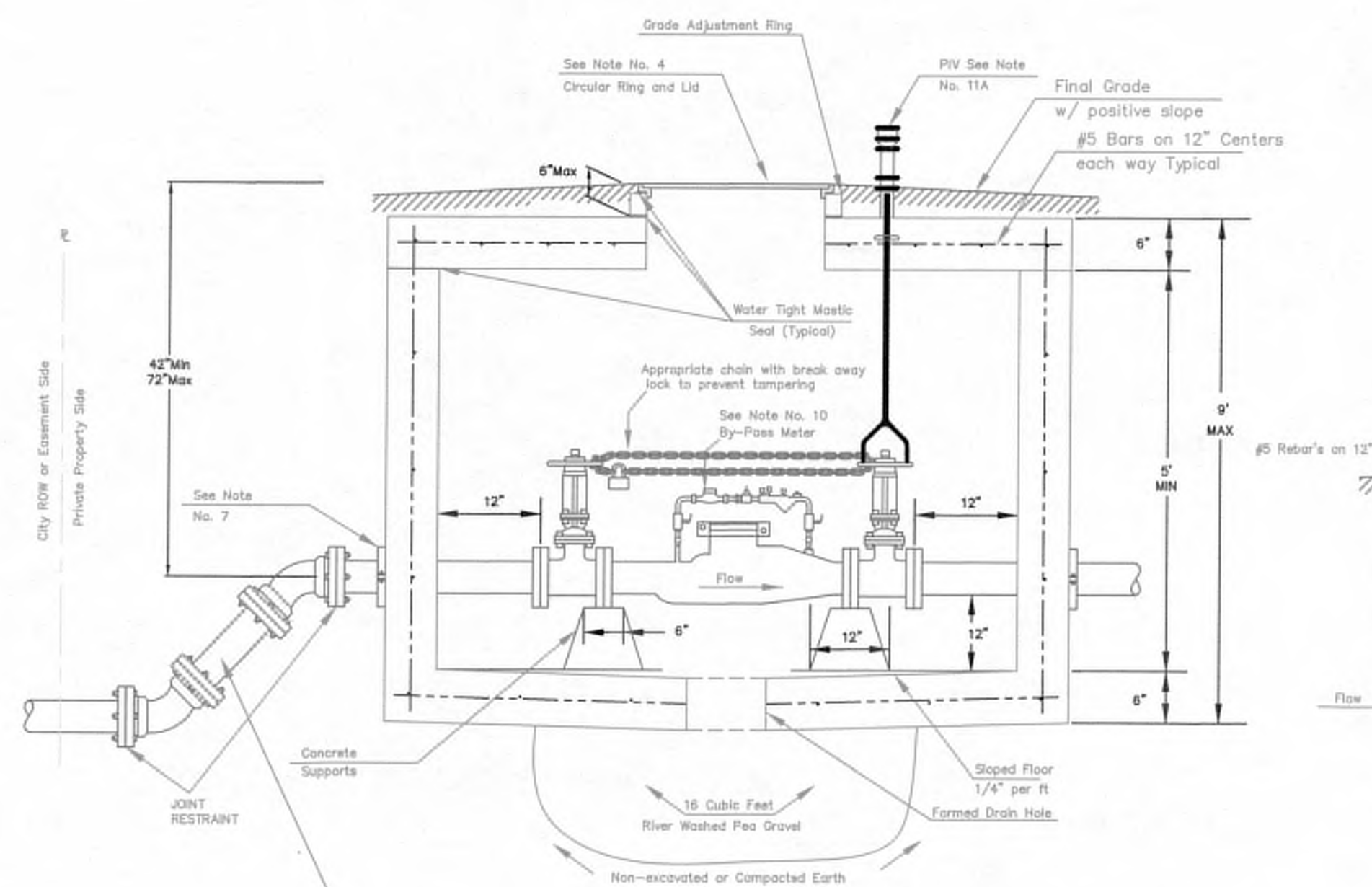
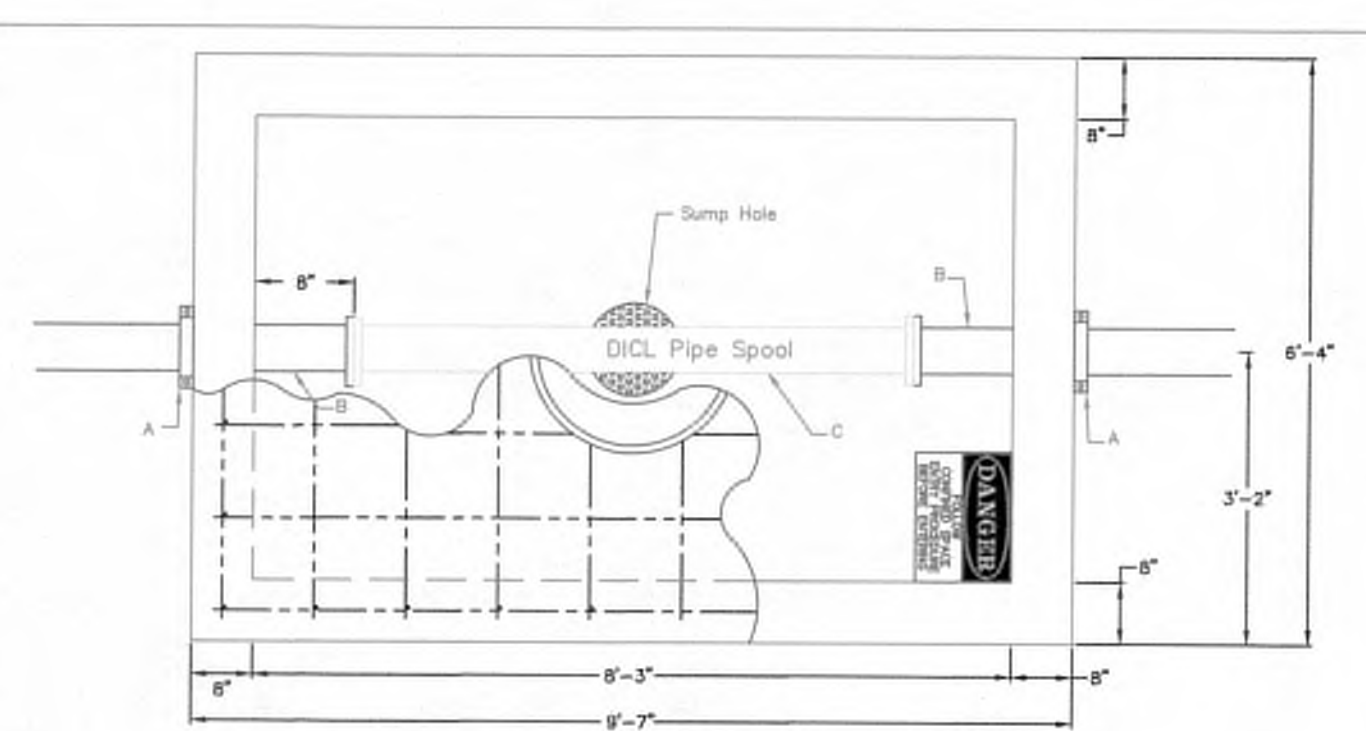
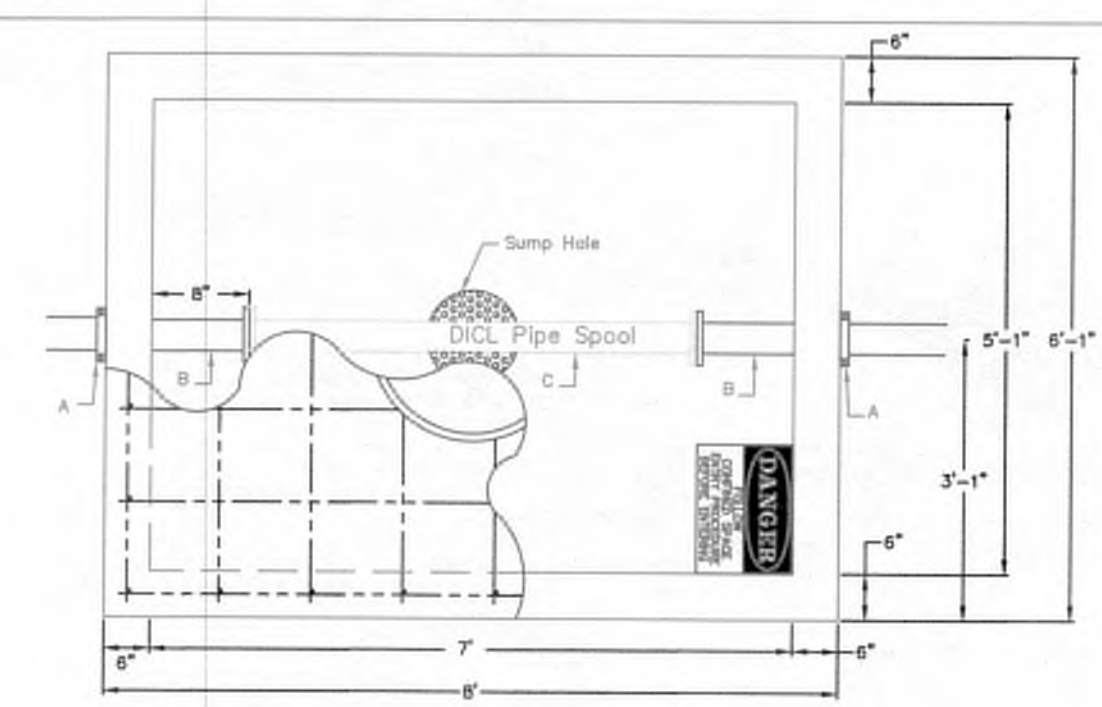
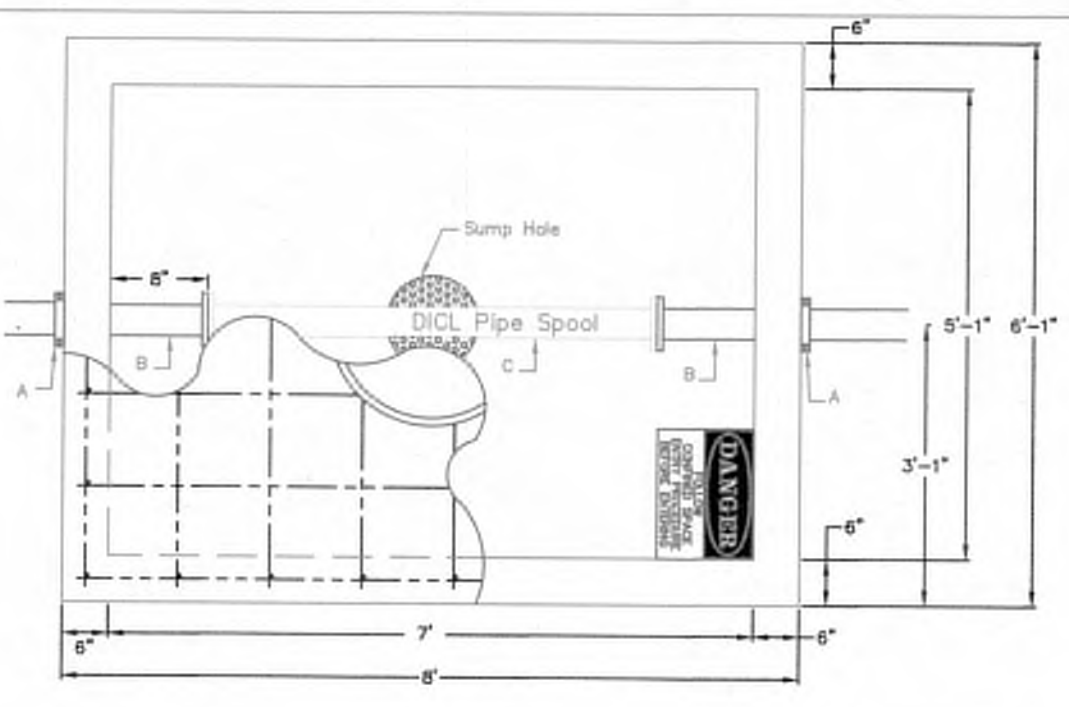
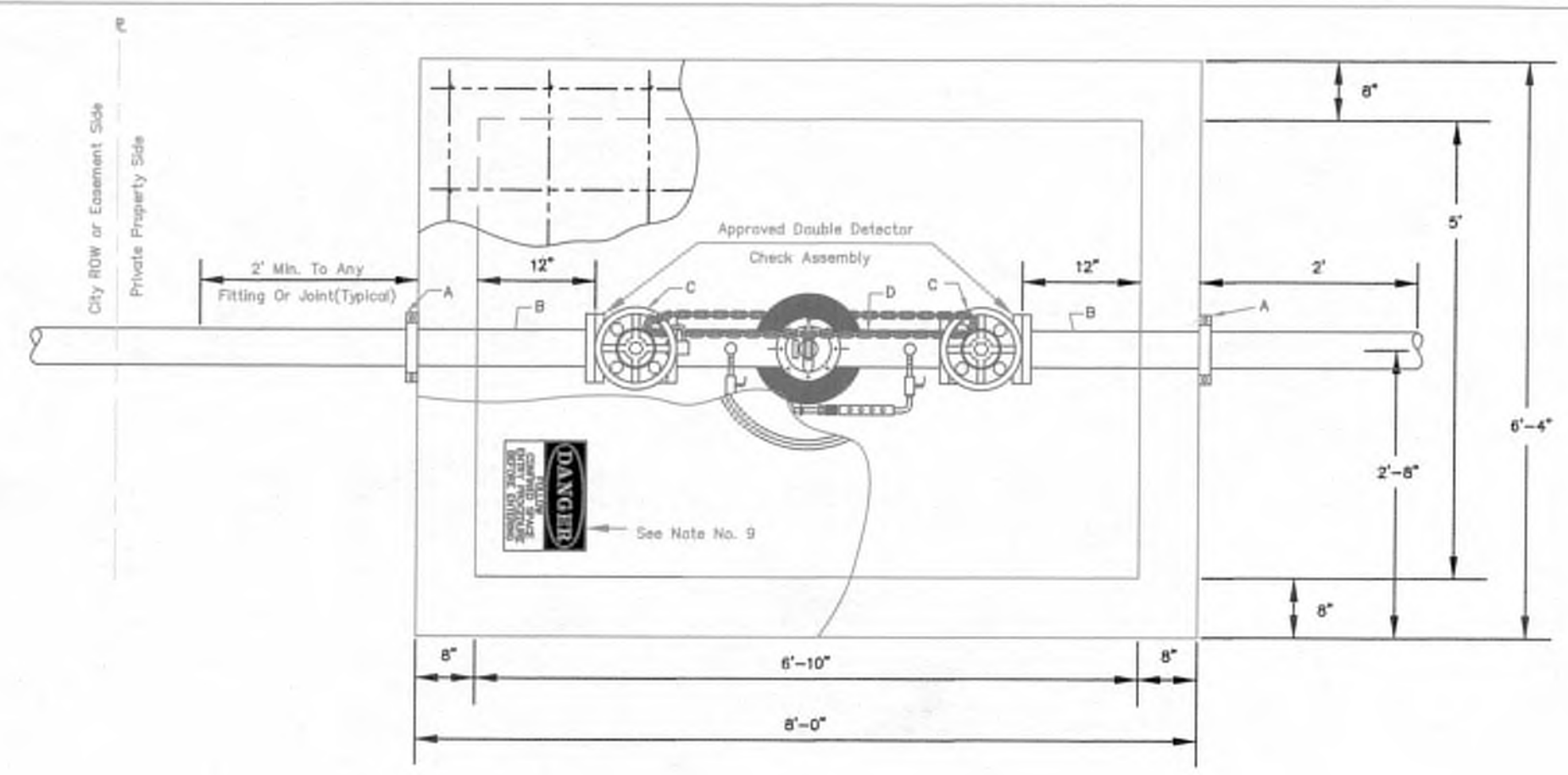
STANDARD WATER ASSEMBLY DETAIL

CITY ENGINEER
GARY JANZEN, P.E.

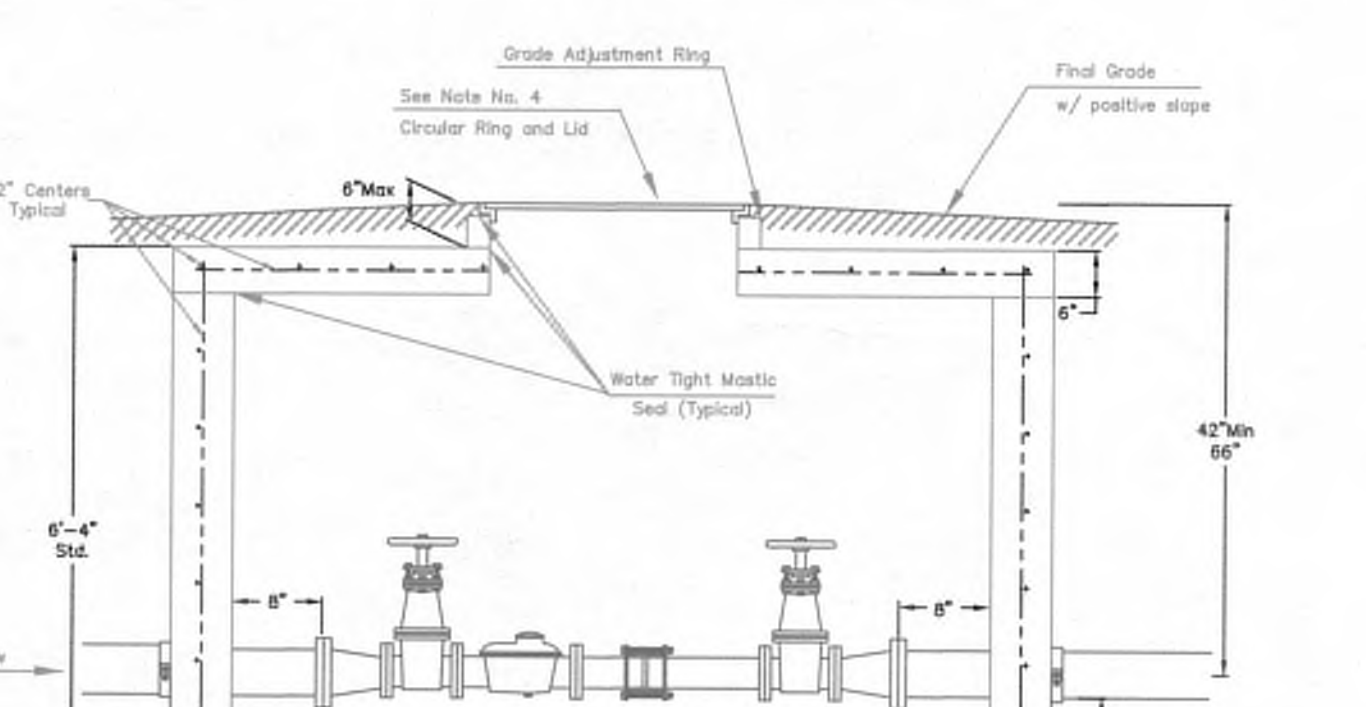
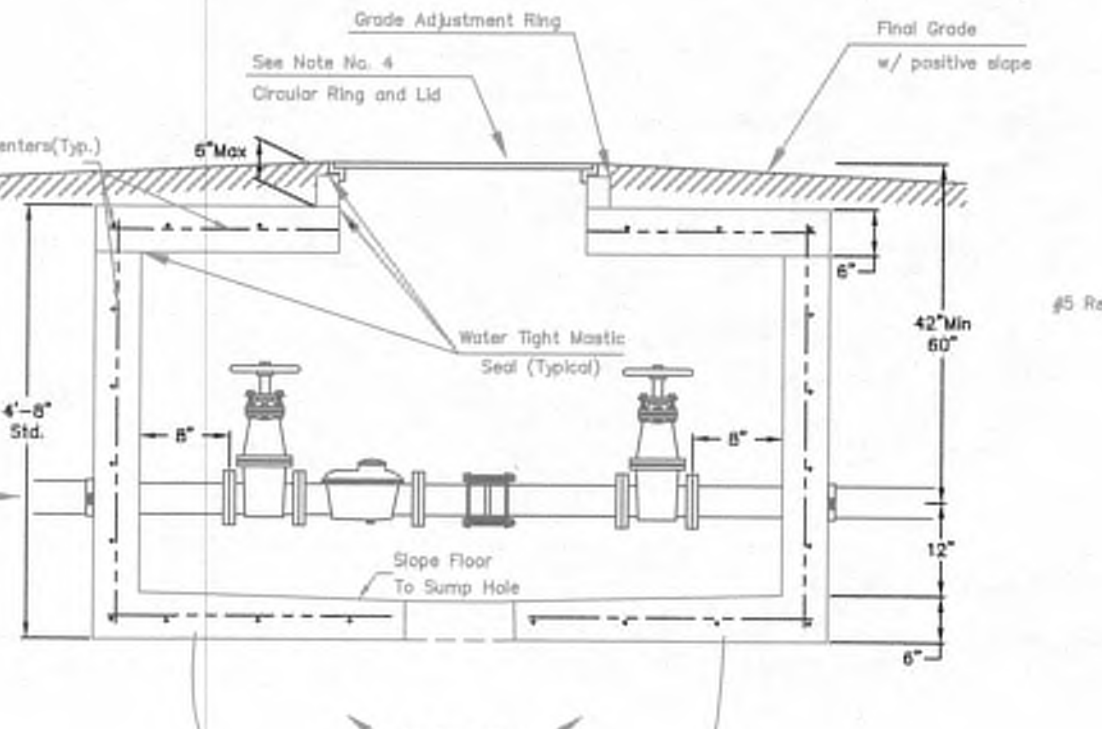
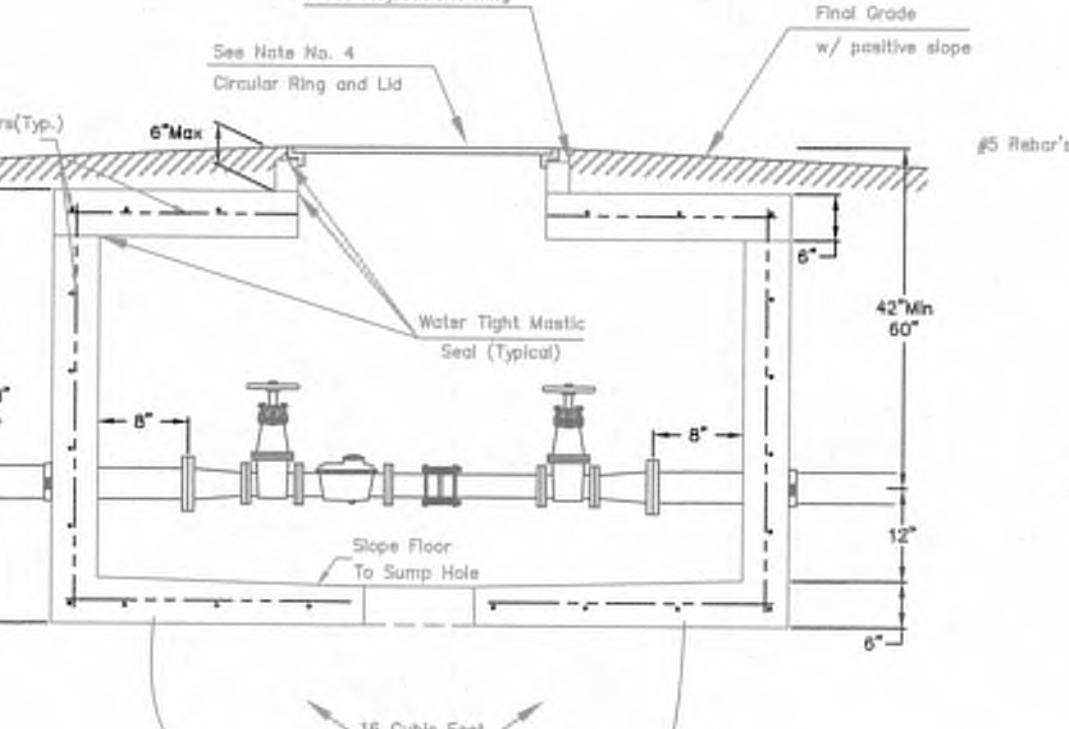
PROJECT NUMBER	OCA NUMBER	DATE

CITY ENGINEER'S OFFICE
CITY HALL - SEVENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202-1620
(316) 268-4501

SHEET
2.1



Use 45 degree fittings as necessary to keep depth of vault within 76 inch maximum. All fittings should be mega lug, restrained joint or approved equal. All fittings for vertical and horizontal adjustments are to be on private property.



4" thru 8" Fire Service

Detail A
Vault Lid

NOTE:
Domestic Services larger than 6" shall be custom designed by Consultant Engineer.

3" Domestic Service

4" Domestic Service

6" Domestic Service with 4" meter

- A - Mega Lug (See Note 7)*
- B - Min. 3'-8" Piece of FL x PE D.I.C.L. Pipe*
- C - Flange Gate Valve, Wheel Operated*
- D - Ames Model 3001SS or approved equal with metered (cubic foot) by-pass assembly*
- E - 4" Vault Clamp*
- F - Min. 3' Piece of 4" FL x PE D.I.C.L. Pipe*
- G - 4" D.I.C.L. Flanged Pipe Spool*
- H - 3" Flange Non-rising Stem Gate Wheel Valve**
- I - 4" FL x PE Pipe**
- J - 4" Flex Coupling**
- K - 3" Badger Recordall II Turbo Cubic Foot Meter with AMR Register with a ADE on the register.**
- L - 3" x 4" FL Reducer**

NOTE:
INSPECTOR FROM PUBLIC WORKS AND UTILITIES TO BE CONTACTED 24 HOURS PRIOR TO INSTALLATION TO SET VAULT
CONTACT: 316-219-8928 OR 316-219-8929



- Notes For All Services - 3" thru 12":
- When the standard vault dimensions are not applicable, such as when additional space is required for special pipe, fittings, additional meters, etc. the consultant design engineering shall design a vault with the required dimensions for Public Works and Utilities approval.
 - The vault shall be poured concrete, cement blocks (voids to be completely filled with 2500 P.S.I. concrete), or approved precast structure. The intent of these details shall not be limited by drawings or standards of precast structures.
 - Vault location to be determined by Public Works and Utilities prior to construction and approved by Department's field supervisor prior to installation. A final inspection will be required for acceptance. Vault location standards include but not limited to: not to be located where subjected to vehicular loads unless vault is H20 traffic rated, not to be located in any right-of-way or utility easement, and must be located on the property being served.
 - The manhole ring and lid shall be Neenah R-6034 Frame with Type "C" Solid Lid and Drop Down Handle or US Foundry APS-30x30 (Aluminum) or Deeter 1261 or EU 1936z1 (with pick hole(s) as shown in Detail A). Where applicable the standard 10" Public Works and Utilities pattern meter reading lid and ring shall be located directly above water meter register. All joints of concrete to concrete or metal to concrete in the construction of the vault shall have a approved water tight mastic joint seal.

- Any fittings or appurtenances required to achieve proper elevation of pipe through the vault shall be provided by the contractor and appropriately noted on the as-builts submitted by the inspecting engineer. Such fittings shall be a minimum of 2' from the exterior wall of vault.
- For all domestic services larger than 3" the contractor shall provide an outlet flange connection as shown B" from the inside wall. Inlet and outlet wall sleeves shall be provided and installed by the contractor and shall be in alignment with one another. The inlet and outlet pipe shall be ductile iron pipe, cement lined, Class 150 per Standard Specifications and shall be continuous through vault and joint no less than 2' from the exterior wall of vault. Flanges of inlet and outlet pipe shall be in proper alignment and bolt pattern shall be rotated in such a way that valves and other fittings shall be in their proper vertical alignment when installed.
- For all services 4" and larger the contractor shall install a mega lug, restrained joint, or approved equal on the exterior walls of the vault, which shall be manufactured of ductile iron conforming ASTM A 536-80, heat treated to a minimum hardness of 370 BHN and have a working pressure of a least 250 P.S.I. For a services smaller than 4" the contractor shall install an approved vault clamp on the exterior walls of the vault.
- All valves, meters, assemblies and fitting shall be provided with sufficient concrete or other approved supports to the vault floor.
- The "Confined Space Warning" sign shall be fastened to the top of all vaults. If necessary for landscaping or site consideration, the sign may be fastened to the vault lid if it does not impede access to the handle. Acceptable materials: Aluminum 73415HH, Plastic 73439HH or S.A. Vinyl 73463HH.
- All meters shall have an electronic read register compatible with the current City of Wichita meter reading system. All detector meters shall be on 5/8 cubic foot Badger meter with AMR register with a ADE on the register and 25' long Itron cord and plug or approved equal. Gallon meters shall not be accepted.
 - Fire Detect Leak Meters and ERTs will be purchased from the CITY at cost and meters purchased from a third party source shall not be accepted.
- Additional Notes For Fire Services
 - A post indicator valve (PIV) is an option for the outlet valve. It is not required by the City of Wichita ordinance, it can be requested by the owner and will be allowed at the discretion of the City Engineer.
 - When Siamese connections are required by the Wichita Fire Department, refer to the current City Code Section 15.
 - If due to any reason the completed vault retains ground or drainage water in excess of 4" in depth from the floor of the vault, the property owner shall be responsible for providing and installing an appropriate automatic sump pump or approved equal, as well as any other appurtenances required to make such system function as intended.

REVISED: JULY 2020

STANDARD VAULT DETAILS AND METER ASSEMBLIES

CITY ENGINEER
GARY JANZEN, P.E.

PROJECT NUMBER	OCA NUMBER	DATE
CITY ENGINEER'S OFFICE CITY HALL - SEVENTH FLOOR 455 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501		SHEET 2.3

PUBLIC WORKS & UTILITIES
ENGINEERING DIVISION

From Centerline of Greenwich Rd. and private drive between 1252 and 1212 N Greenwich:

Line 2

715' East & 95' South & 7' East to Tee
 715' East & 95' South & 8' East to Valve
 715' East & 95' South & 44' East to 90-Degree Bend
 715' East & 95' South & 44' East & 27'8" South to Riser

From Centerline of Greenwich Rd. and private drive between 1252 and 1212 N Greenwich:

Line 3

715' East & 98' South & 7' East to Tee
 715' East & 98' South & 8' East to Valve
 715' East & 98' South & 43' East to 90-Degree Bend
 715' East & 98' South & 43' East & 27'8" South to Building

12, BLOCK 1
 CENTER 2ND ADDITION

Ex. Building

AS BUILTS

KEMILLER ENGINEERING PA
 117 E. Lewis, Wichita, KS 67202 (316)264-0242

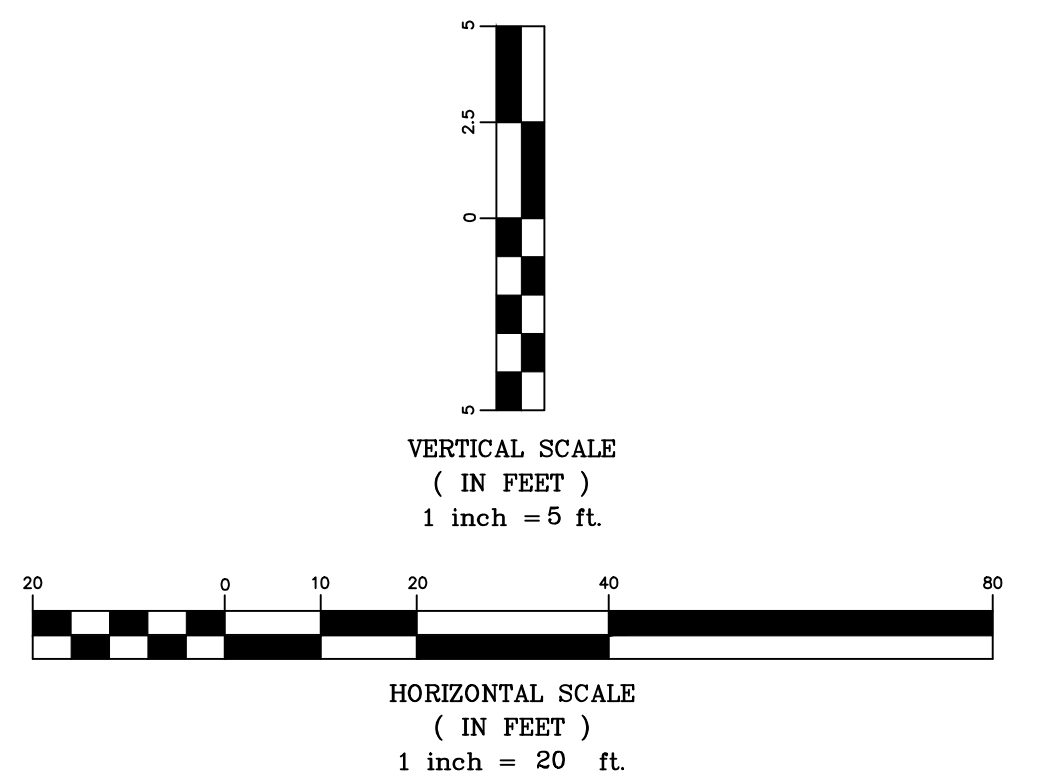


THIS SHEET HAS BEEN SIGNED, SEALED AND DATED DIGITALLY

Notes:
 Contractor is to backfill under pavement per City of Wichita requirements

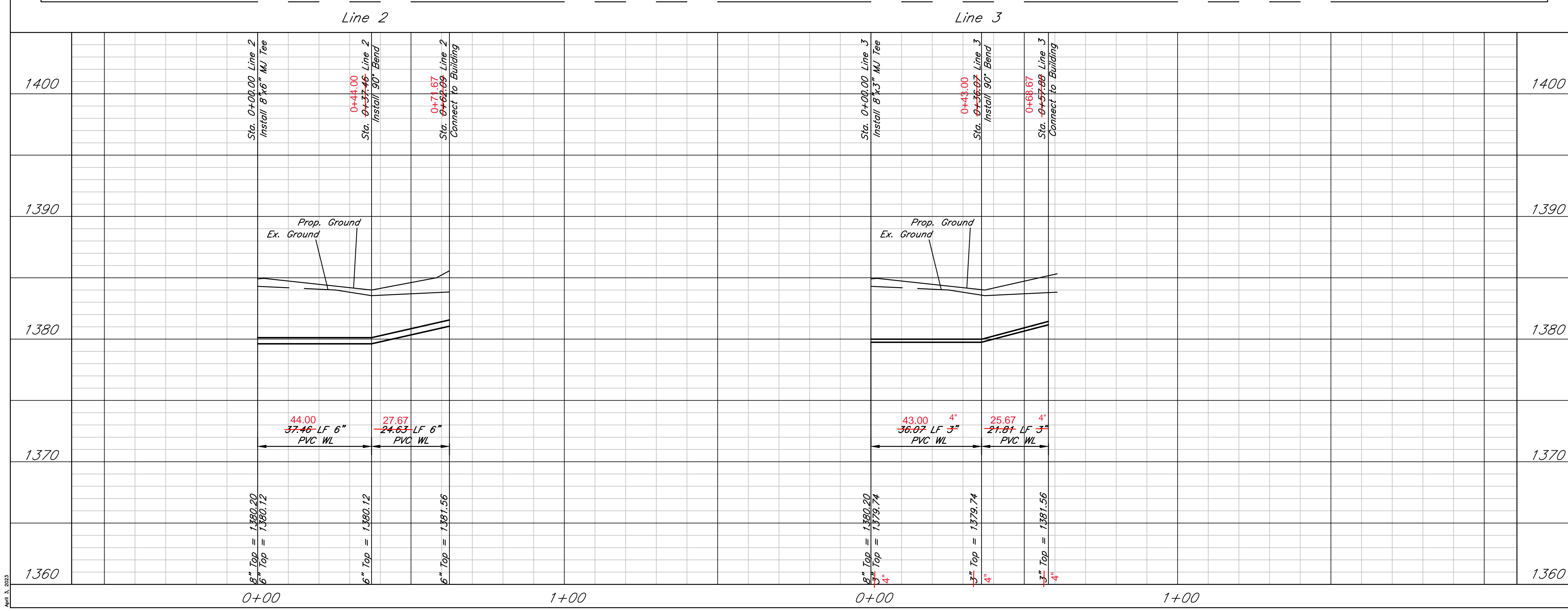
Contractor to verify horizontal and vertical location of all utilities prior to construction.

** Fire Department Connection with Clapper shall be a Siamese 4"x2.5"x2.5" with Female Connections with End Plugs & Chain as specified in NFPA 1963, Standard for Fire Hose Connections. 4-inch 30 degree STORZ connection is now allowed



Plazzio Apartments
 Plan & Profile Lines 2 & 3
 Wichita, Kansas

PROJECT NUMBER PPW-2022-021248		SHEET 3.1
KEM NO. 21022	FILE	DATE 07/2022
DESIGN KM	DRAWN	REVISED 03/2023



REV. 3, 2023

From Centerline of Greenwich Rd. and private drive between 1252 and 1212 N Greenwich:

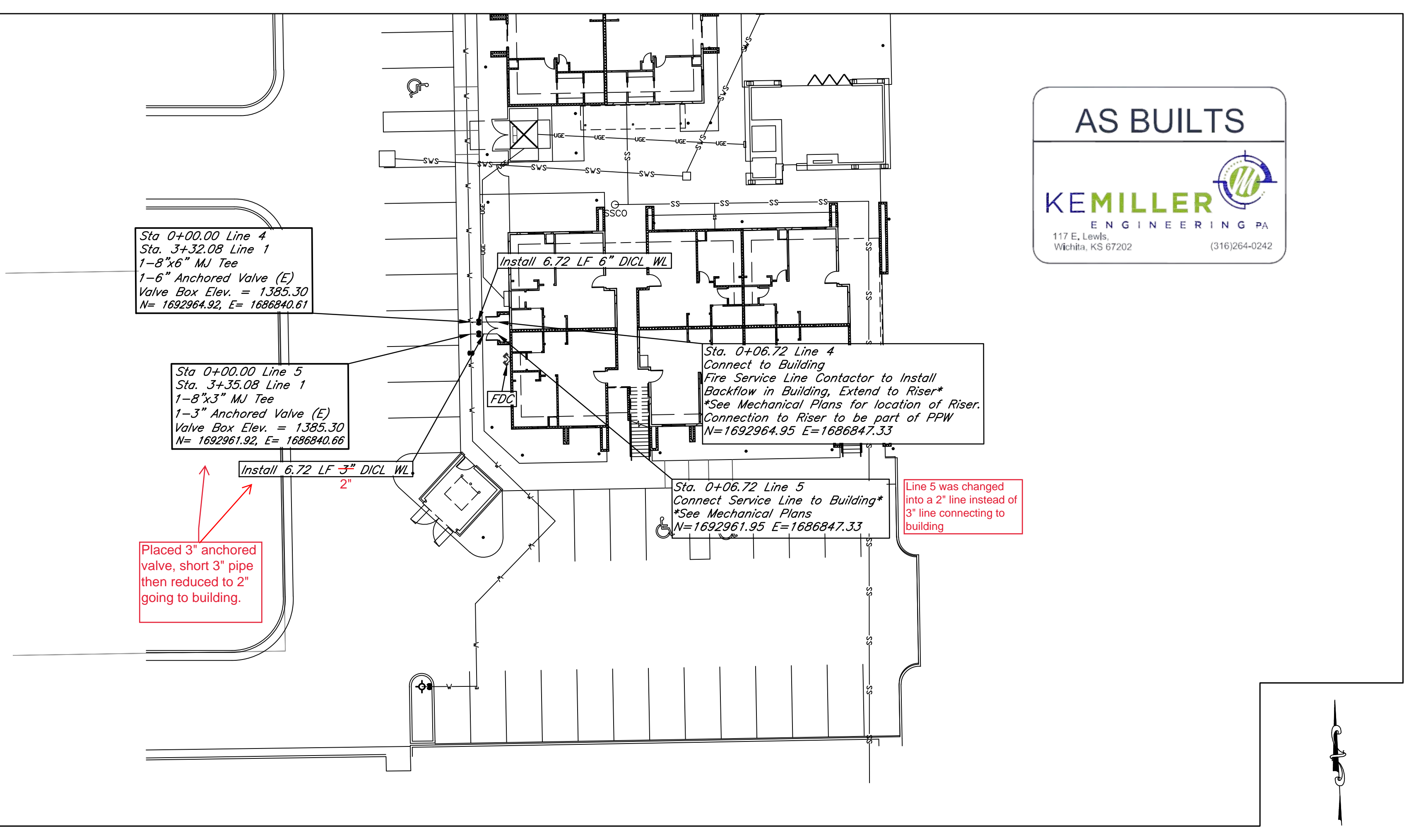
Line 4

715' East & 310'5" South & 5'5" East to Tee
 715' East & 310'5" South & 6'5" East to Valve
 715' East & 310'5" South & 11'7" East to Riser

From Centerline of Greenwich Rd. and private drive between 1252 and 1212 N Greenwich:

Line 5

715' East & 313'5" South & 5'5" East to Tee
 715' East & 313'5" South & 6'5" East to Valve
 715' East & 313'5" South & 11'7" East to Building

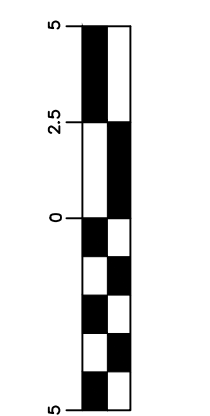


THIS SHEET HAS BEEN SIGNED, SEALED AND DATED DIGITALLY

Notes:
 Contractor is to backfill under pavement per City of Wichita requirements

Contractor to verify horizontal and vertical location of all utilities prior to construction.

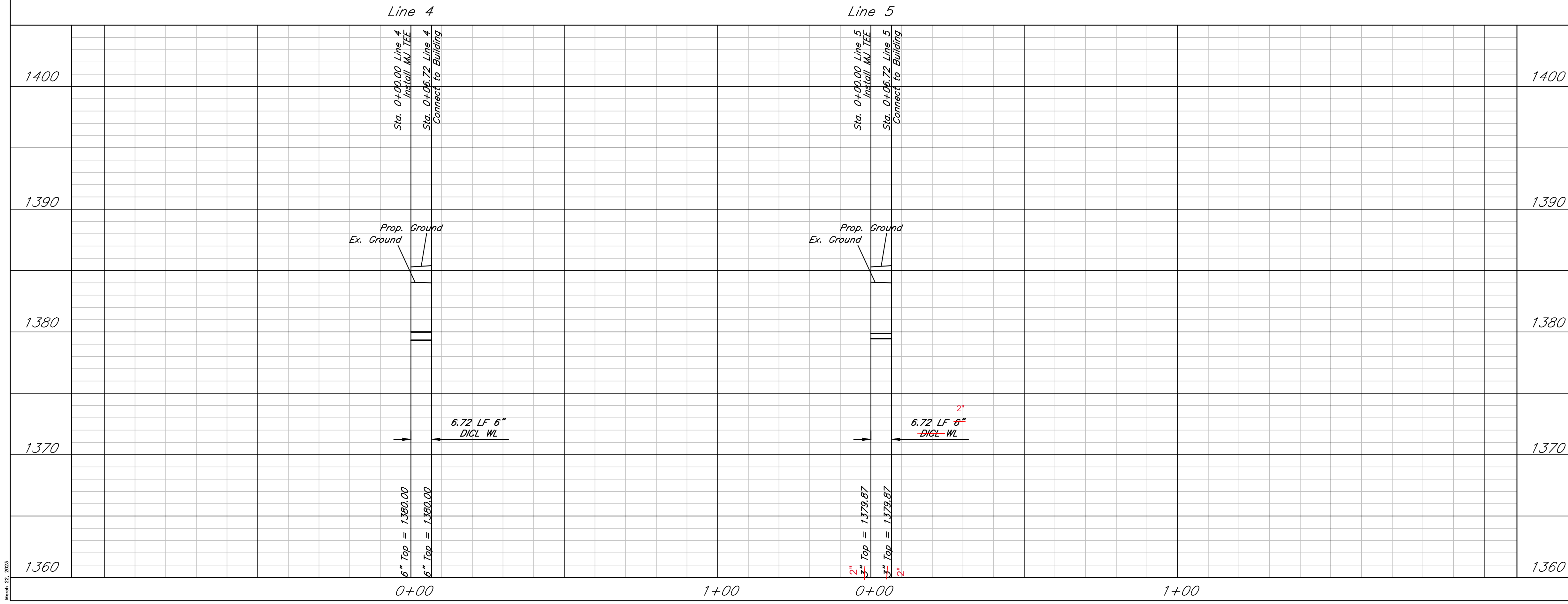
** Fire Department Connection with Clapper shall be a Siamese 4"x2.5"x2.5" with Female Connections with End Plugs & Chain as specified in NFPA 1963, Standard for Fire Hose Connections. 4-inch 30 degree STORZ connection is now allowed



VERTICAL SCALE (IN FEET)
 1 inch = 5 ft.



HORIZONTAL SCALE (IN FEET)
 1 inch = 20 ft.



Plazzio Apartments
 Plan & Profile Line 3
 Wichita, Kansas

	PROJECT NUMBER PPW-2022-021248			SHEET 3.2
	KEM NO. 21022	FILE	DATE 07/2022	
DESIGN KM	DRAWN	REVISED 03/2023		

March 22, 2023

LOT 6, BLOCK 1
THE GATEWAY CENTER
3RD ADDITION

Property Address:
1236 N GREENWICH RD
WICHITA, KS 67206
Owner:
GREENWICH HOTEL LLC
Owner Address:
153 S PAYNE STEWART DR
BRANSON, MO 65616

LOT 12, BLOCK 1
THE GATEWAY CENTER 2ND ADDITION

Property Address:
1220 N GREENWICH RD
WICHITA, KS 67206
Owner:
HOTEL WICHITA GREENWICH III LP
Owner Address:
2120 HIGH WICKHAM PL STE 200
LOUISVILLE, KY 40245-5904

The Gateway Center
3rd Add.

LOT 13 BLOCK 1
LOT 14
KILLENWOOD POINTE ADD.

Property Address:
11413 E 13TH ST N
WICHITA, KS 67206
Owner:
BED CONCEPT LLC
Owner Address:
3200 N ROCK RD
WICHITA, KS 67228-1313

Finished Floor Elevation=1381.92

Building

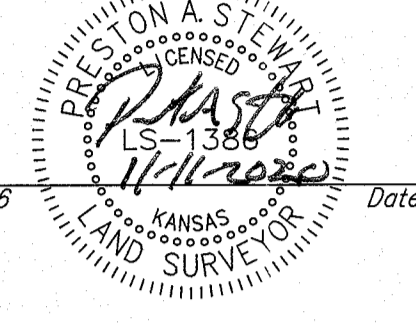
LOT 12, BLOCK 1
THE GATEWAY CENTER ADDITION

State of Kansas)
County of Sedgwick)

Jeff Englert
October 31, 2020

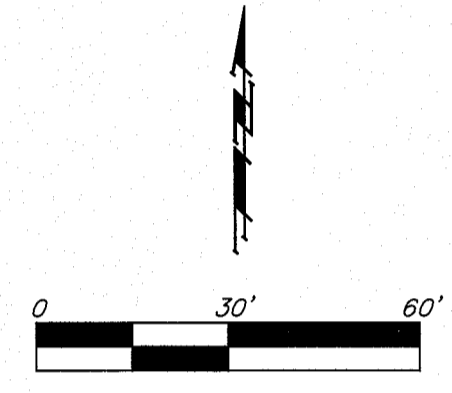
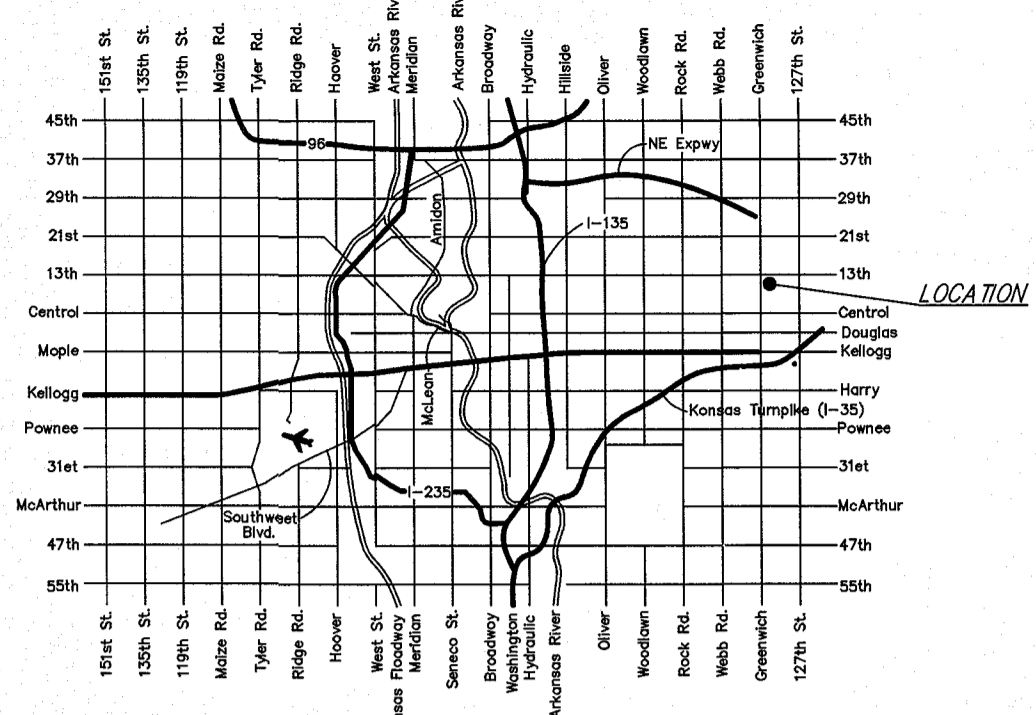
We, Baughman Company, P.A., Surveyors in aforesaid county and state do hereby certify that, under the supervision of the undersigned, we did on this 31st day of October, 2020, perform a survey of Lot 7, Block 1, Gateway Center 3rd Addition, Wichita, Sedgwick County, Kansas.

The accompanying sketch is a true and correct exhibit of said survey based on actual field measurements where the monuments are of the character and occupy the positions as indicated.



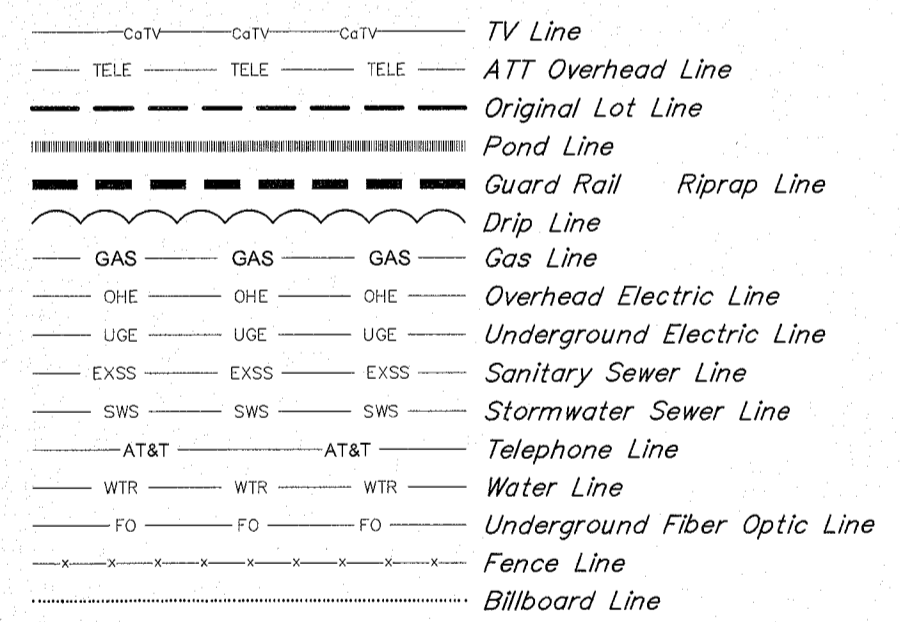
Preston A. Stewart #1386

Date



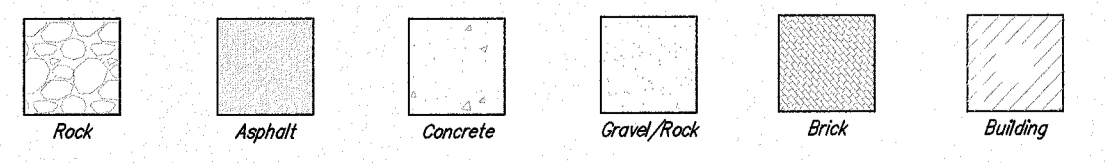
NOTES:

- The utility locations represented on this survey were compiled by both field observation and information from the various utility companies. If any construction or relocation is planned for this site the various utility companies should be requested to verify their locations in the field prior to final design or construction. Any utilities not shown are due to no response to Kansas One Call "1-800-DIG-SAFE" ticket number 20505351.
- The existence of underground storage facilities, buried foundations, pipelines, or any other subsurface structure may be present. All visible above ground evidence of underground structures or appurtenances have been shown. Additional subsurface exploration work or detailed record data will be required to further delineate any subsurface conditions not defined by this survey.
- Baughman Company, P.A. has not researched any title examination of subject property. An abstract or title insurance company would need to be contacted to research and provide to us any easements, rights-of-ways or dedications.
- According to scaled location on FEMA FIRM 20173C0379G, effective December 22, 2016 subject property lies within Zone X (Shaded).
- Subject property contains 48,380.8 square feet or 1.111 acres.



■ = Benchmark
X = Chiseled "X" Found (Origin Unknown)
⊙ = #5 Rebar W/"KEM" Cap Found

(C) = Calculated
CH = Chord Length
CH BR = Chord Bearing
Δ = Delta Angle
L = Arc Length
M = Measured
P = Plotted
R = Radius



BAUGHMAN COMPANY
315 Ellis St. Wichita, KS 67211 316-262-7271
BaughmanCo.com
pstewart@baughmanco.com

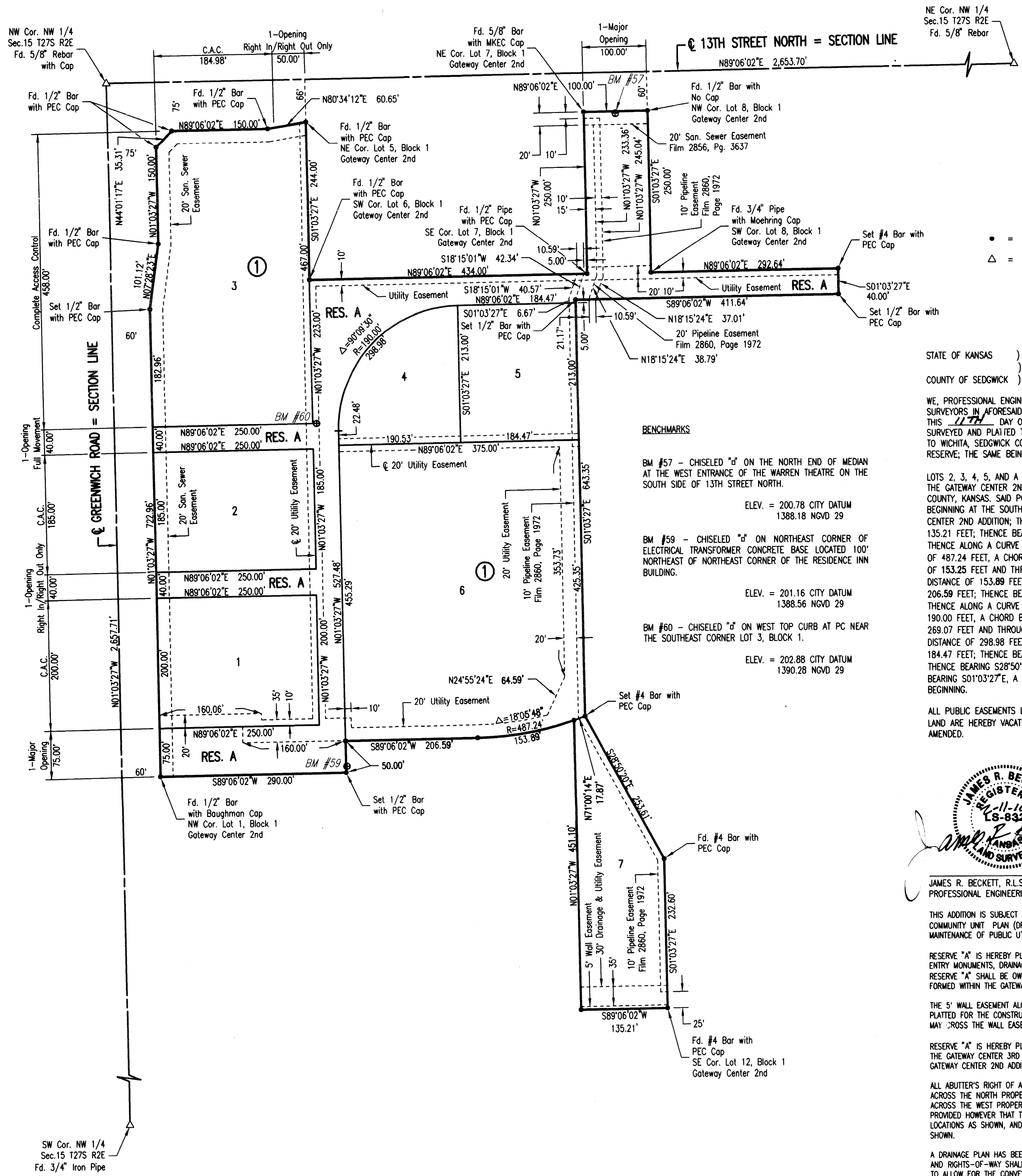
Architectural Survey
Lot 7, Block 1,
The Gateway Center 3rd Add.
Wichita, Sedgwick County, Kansas

Project Number
20-10-E727-Y
DRAWN PAS - YMA
APPROVED PAS
DATE 11/11/2020
SHEET **1**
OF **1**

File: F:\survey\ARCH\Gateway Center 3rd L7-B-1_20-10-E727-Drawing\20-10-E727-PAS Y.dwg

THE GATEWAY CENTER 3RD ADDITION

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



SCALE: 1" = 100'

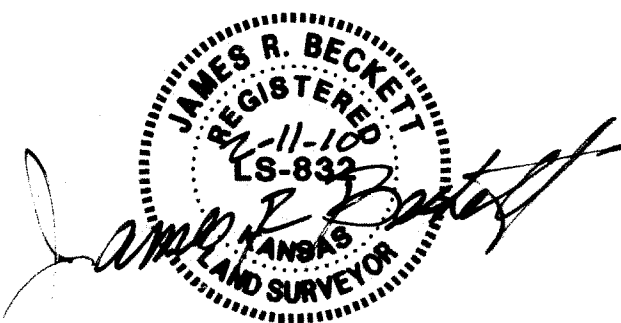
• = 1/2" REBAR W/PEC CAP UNLESS OTHERWISE NOTED
△ = SECTION CORNER

STATE OF KANSAS }
 } SS
COUNTY OF SEDGWICK }

WE, PROFESSIONAL ENGINEERING CONSULTANTS, P.A., ENGINEERS AND SURVEYORS IN AFORESAID STATE AND COUNTY, DO HEREBY CERTIFY THAT ON THIS 17th DAY OF FEBRUARY, 2010, WE HAVE SURVEYED AND PLATTED THE GATEWAY CENTER 3RD ADDITION, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS, INTO LOTS, A BLOCK AND RESERVE, THE SAME BEING A REPEAT OF AND DESCRIBED AS FOLLOWS:

LOTS 2, 3, 4, 5, AND A PORTION OF LOT 12, BLOCK 1, AND RESERVE "A", THE GATEWAY CENTER 2ND ADDITION, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS, SAID PORTION OF LOT 12 DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 12, BLOCK 1, THE GATEWAY CENTER 2ND ADDITION; THENCE BEARING S89°06'02"W, A DISTANCE OF 135.21 FEET; THENCE BEARING N01°03'27"W, A DISTANCE OF 451.10 FEET; THENCE ALONG A CURVE TO THE RIGHT (NON TANGENT), HAVING A RADIUS OF 487.24 FEET, A CHORD BEARING OF S80°03'08"W, A CHORD DISTANCE OF 153.25 FEET AND THROUGH A CENTRAL ANGLE OF 18°05'48", AN ARC DISTANCE OF 153.89 FEET; THENCE BEARING S89°06'02"W, A DISTANCE OF 206.59 FEET; THENCE BEARING N01°03'27"W, A DISTANCE OF 477.77 FEET; THENCE ALONG A CURVE TO THE RIGHT (TANGENT), HAVING A RADIUS OF 190.00 FEET, A CHORD BEARING OF N44°01'17"E, A CHORD DISTANCE OF 269.07 FEET AND THROUGH A CENTRAL ANGLE OF 90°09'30", AN ARC DISTANCE OF 298.98 FEET; THENCE BEARING N89°06'02"E, A DISTANCE OF 184.47 FEET; THENCE BEARING S01°03'27"E, A DISTANCE OF 638.35 FEET; THENCE BEARING S28°50'20"E, A DISTANCE OF 253.61 FEET; THENCE BEARING S01°03'27"E, A DISTANCE OF 232.60 FEET TO THE POINT OF BEGINNING.

ALL PUBLIC EASEMENTS LYING WITHIN THE ABOVE DESCRIBED TRACT OF LAND ARE HEREBY VACATED AND REPLATED BY VIRTUE OF KSA 12-512(b) AMENDED.



JAMES R. BECKETT, R.L.S. NO. 832
PROFESSIONAL ENGINEERING CONSULTANTS, P.A.

THIS ADDITION IS SUBJECT TO THE CONDITIONS OF THE GATEWAY CENTER ADDITION COMMUNITY UNIT PLAN (OP-239). EASEMENTS FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE ARE HEREBY GRANTED.

RESERVE "A" IS HEREBY PLATTED FOR PRIVATE DRIVES, LANDSCAPING, SIGNAGE, ENTRY MONUMENTS, DRAINAGE, SIDEWALKS, AND UTILITIES CONFINED TO EASEMENTS. RESERVE "A" SHALL BE OWNED AND MAINTAINED BY AN OWNER'S ASSOCIATION TO BE FORMED WITHIN THE GATEWAY CENTER 3RD ADDITION.

THE 5' WALL EASEMENT ALONG THE SOUTH LINE OF LOT 7, BLOCK 1 IS HEREBY PLATTED FOR THE CONSTRUCTION AND MAINTENANCE OF A PRIVATE WALL. UTILITIES MAY CROSS THE WALL EASEMENT.

RESERVE "A" IS HEREBY PLATTED FOR ACCESS TO LOTS 1 THROUGH 6, BLOCK 1, THE GATEWAY CENTER 3RD ADDITION, AND LOTS 1, 6, 7, 8, AND 9, BLOCK 1 THE GATEWAY CENTER 2ND ADDITION.

ALL ABUTTER'S RIGHT OF ACCESS TO AND FROM 13TH ST. NORTH OVER AND ACROSS THE NORTH PROPERTY LINE AND TO AND FROM GREENWICH ROAD OVER AND ACROSS THE WEST PROPERTY LINE IS HEREBY GRANTED TO THE CITY OF WICHITA, PROVIDED HOWEVER THAT THERE SHALL BE ACCESS TO 13TH STREET NORTH AT TWO LOCATIONS AS SHOWN, AND ACCESS TO GREENWICH ROAD AT THREE LOCATIONS AS SHOWN.

A DRAINAGE PLAN HAS BEEN APPROVED FOR THIS PLAT. ALL DRAINAGE EASEMENTS AND RIGHTS-OF-WAY SHALL REMAIN AT ESTABLISHED GRADES AND UNOBSERVED TO ALLOW FOR THE CONVEYANCE OF STORM WATER, UNLESS MODIFIED WITH THE APPROVAL OF THE CITY ENGINEER.

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED PROPERTY OWNERS OF THE LAND AS ABOVE SET FORTH IN THE SURVEYOR'S CERTIFICATE, HAVE CAUSED THE LAND TO BE SURVEYED AND PLATTED INTO LOTS, A BLOCK AND RESERVE, THE SAME TO BE KNOWN AS THE GATEWAY CENTER 3RD ADDITION, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

OWNER:
GATEWAY CENTER, L.L.C.
A RITCHEE DEVELOPMENT CORPORATION

KEVIN M MULLEN, PRESIDENT
STATE OF KANSAS }
 } SS
COUNTY OF SEDGWICK }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 12th DAY OF February, 2010, BY KEVIN M. MULLEN, PRESIDENT OF GATEWAY CENTER, L.L.C., A RITCHEE DEVELOPMENT CORPORATION.

ANGIE M. SZEMORE, NOTARY PUBLIC
ANGIE M. SZEMORE
My Appt. Expires 7/25/11

MY APPOINTMENT EXPIRES: 7/25/11

STATE OF KANSAS }
 } SS
COUNTY OF SEDGWICK }

WE, PROFESSIONAL ENGINEERING CONSULTANTS, P.A., ENGINEERS AND SURVEYORS IN AFORESAID STATE AND COUNTY, DO HEREBY CERTIFY THAT ON THIS 16th DAY OF February, 2010, WE HAVE SURVEYED AND PLATTED THE GATEWAY CENTER 3RD ADDITION, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS, INTO LOTS, A BLOCK AND RESERVE, THE SAME BEING A REPEAT OF AND DESCRIBED AS FOLLOWS:

LOTS 2, 3, 4, 5, AND A PORTION OF LOT 12, BLOCK 1, AND RESERVE "A", THE GATEWAY CENTER 2ND ADDITION, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS, SAID PORTION OF LOT 12 DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 12, BLOCK 1, THE GATEWAY CENTER 2ND ADDITION; THENCE BEARING S89°06'02"W, A DISTANCE OF 135.21 FEET; THENCE BEARING N01°03'27"W, A DISTANCE OF 451.10 FEET; THENCE ALONG A CURVE TO THE RIGHT (NON TANGENT), HAVING A RADIUS OF 487.24 FEET, A CHORD BEARING OF S80°03'08"W, A CHORD DISTANCE OF 153.25 FEET AND THROUGH A CENTRAL ANGLE OF 18°05'48", AN ARC DISTANCE OF 153.89 FEET; THENCE BEARING S89°06'02"W, A DISTANCE OF 206.59 FEET; THENCE BEARING N01°03'27"W, A DISTANCE OF 477.77 FEET; THENCE ALONG A CURVE TO THE RIGHT (TANGENT), HAVING A RADIUS OF 190.00 FEET, A CHORD BEARING OF N44°01'17"E, A CHORD DISTANCE OF 269.07 FEET AND THROUGH A CENTRAL ANGLE OF 90°09'30", AN ARC DISTANCE OF 298.98 FEET; THENCE BEARING N89°06'02"E, A DISTANCE OF 184.47 FEET; THENCE BEARING S01°03'27"E, A DISTANCE OF 638.35 FEET; THENCE BEARING S28°50'20"E, A DISTANCE OF 253.61 FEET; THENCE BEARING S01°03'27"E, A DISTANCE OF 232.60 FEET TO THE POINT OF BEGINNING.

ALL PUBLIC EASEMENTS LYING WITHIN THE ABOVE DESCRIBED TRACT OF LAND ARE HEREBY VACATED AND REPLATED BY VIRTUE OF KSA 12-512(b) AMENDED.

STATE OF KANSAS }
 } SS
COUNTY OF SEDGWICK }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 17th DAY OF February, 2010, BY GEORGE E. LAHAM, II, MANAGER, VENTURE SEVEN DEVELOPMENT, LLC.

CATHY ERICKSON, NOTARY PUBLIC
CATHY ERICKSON
My Appt. Expires 9-22-12

MY APPOINTMENT EXPIRES: 9-22-12

STATE OF KANSAS }
 } SS
COUNTY OF SEDGWICK }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 25th DAY OF February, 2010, BY ELAINE BRAUNS, PRESIDENT OF RETAIL BUILDINGS, INC.

MELODIE GREEN, NOTARY PUBLIC
MELODIE GREEN
My Appt. Expires 9/31/12

MY APPOINTMENT EXPIRES: 9/31/12

STATE OF KANSAS }
 } SS
COUNTY OF SEDGWICK }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 16th DAY OF February, 2010, BY GEORGE E. LAHAM, II, PRESIDENT, GATEWAY CENTER ADDITION MASTER OWNERS ASSOCIATION.

CATHY ERICKSON, NOTARY PUBLIC
CATHY ERICKSON
My Appt. Expires 9-22-12

MY APPOINTMENT EXPIRES: 9-22-12

WE, FIDELITY BANK, HOLDER OF A MORTGAGE ON THE ABOVE DESCRIBED PROPERTY, DO HEREBY CONSENT TO THE PLATING OF THE GATEWAY CENTER 3RD ADDITION, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

TIMOTHY B. NELSON, EXEC. VICE PRESIDENT
STATE OF KANSAS }
 } SS
COUNTY OF SEDGWICK }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 18th DAY OF February, 2010, BY TIMOTHY B. NELSON, EXEC. VICE PRESIDENT OF FIDELITY BANK.

PAM LAMBERTZ, NOTARY PUBLIC
PAM LAMBERTZ
My Appt. Exp. 4-1-2011

MY APPOINTMENT EXPIRES: 4-1-2011

THIS PLAT OF THE GATEWAY CENTER 3RD ADDITION HAS BEEN SUBMITTED TO AND APPROVED BY THE WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION, WICHITA, KANSAS.

DATED THIS 21st DAY OF January, 2010.
WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

JOHN L. SCHLEGEL, CHAIR
JOHN L. SCHLEGEL, SECRETARY

REVIEWED IN ACCORDANCE WITH K.S.A. 58-2005 ON THIS 16th DAY OF February, 2010.



THIS PLAT IS APPROVED AND ALL DEDICATIONS SHOWN HEREON, IF ANY ARE ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WICHITA, KANSAS, THIS 23rd DAY OF March, 2010.

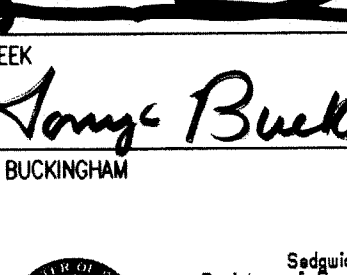
KAREN SUBLETT, CITY CLERK
KAREN SUBLETT

ENTERED ON TRANSFER RECORD THIS 26th DAY OF March, 2010.

KELLY B. ARNOLD, COUNTY CLERK
KELLY B. ARNOLD

THIS IS TO CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN THE REGISTER OF DEEDS OFFICE AT 2:06 P.M., ON THE 06th DAY OF March, 2010.

BILL MECK, REGISTER OF DEEDS
TONYA BUCKINGHAM, DEPUTY



Register of Deeds - Bill Meck
DOC #FLM-PG-28130540
Receipt # 1743108
Page Recorded: 1
Date Recorded: 3/26/2010 2:05:18 PM

