

**SUBDIVISION COMMITTEE
METROPOLITAN AREA PLANNING COMMISSION**

AGENDA ITEM NO. 10

March 17, 1994

STAFF REPORT

(Final Plat Deferred from the March 3, 1994 Meeting)

CASE NUMBER: S/D 94-9 BONANZA ADDITION
OWNER/APPLICANT: Bonanza, Inc., P. O. Box 17365, Wichita, KS 67217
SURVEYOR/ENGINEER: Castle & Associates, P. O. Box 9262, Wichita, KS 67277
LOCATION: East of West Street and north of Kellogg
SITE SIZE: 103,420 sq. ft.

NUMBER OF LOTS

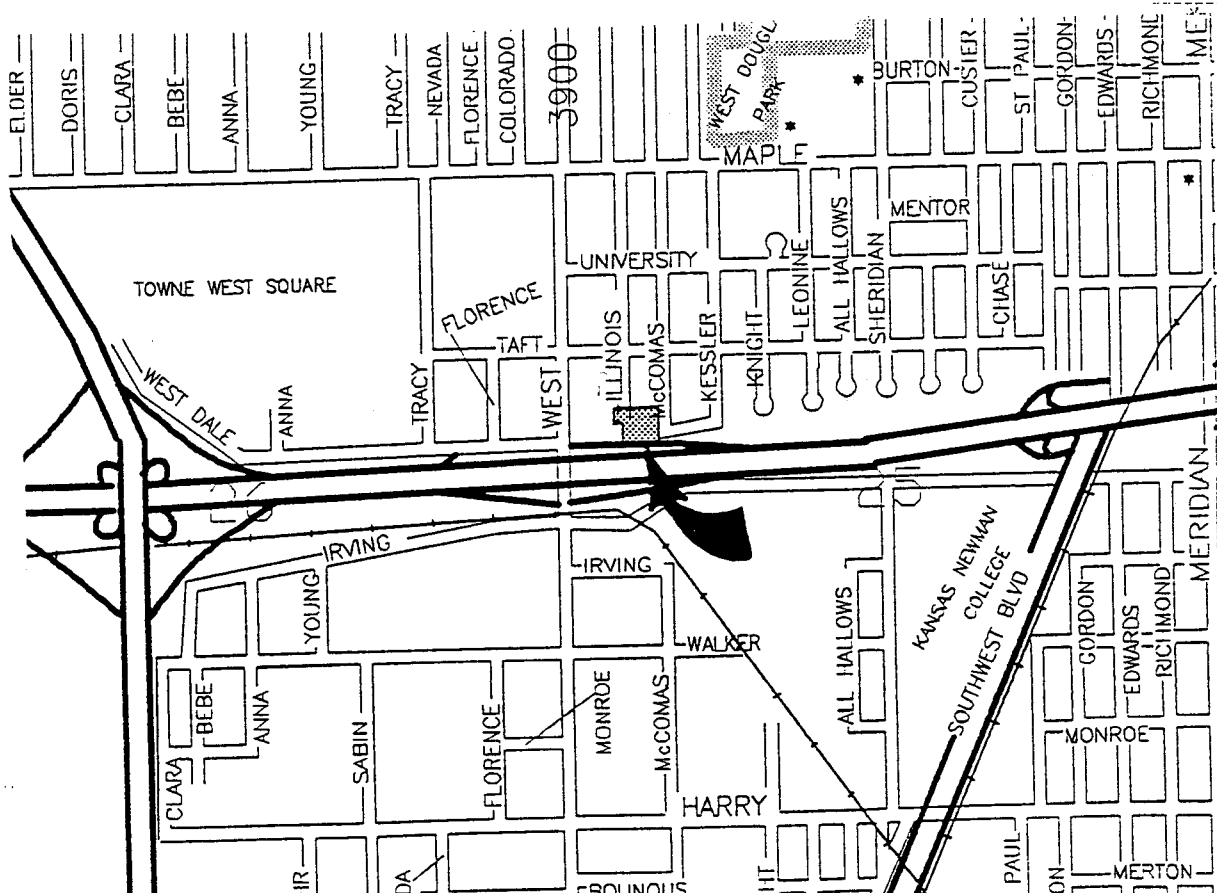
Residential:
Office:
Commercial: 1
Industrial:
Total: 1

MINIMUM LOT AREA: 103,420 sq. ft.

CURRENT ZONING: "LC" and "BB"

PROPOSED ZONING: "LC" (Z-3115)

VICINITY MAP:



NOTE: A zone change to "LC" (Z-3115) has been approved by the MAPC for a portion of this site (the remaining portion is already zoned "LC"). City Council review of the case was scheduled for March 1, 1994.

STAFF COMMENTS:

- A. Approval of this plat is subject to approval of the zone change and any requirements of the zone change. In particular a restrictive covenant concerning the uses to be allowed on this site was considered and if required by the City Council will need to be submitted prior to the plat being released for recording.
- B. City Engineering needs to indicate if any guarantees are needed for the extension of sanitary sewer and water. Guarantees will, however, need to be provided for the abandonment of any sanitary sewer or water lines not being covered by utility easements vacated by virtue of this replat.
- C. On the final plat tracing, complete access control shall be shown and dedicated in the plat's text to Illinois. This is an unpaved street with the actual uses along it being single-family. Such a street is not an acceptable means of access for a commercial use. In addition to being unpaved, this street's existing right-of-way at 60-feet is below the 70-foot standard for streets serving commercial/industrially zoned sites.

If this street is desired for access, the applicant shall obtain by separate instrument the additional 10-feet of right-of-way and will need to submit a valid paving petition for this street, from this plat to Taft. The dedication of right-of-way and paving guarantee shall also provide for an appropriate turnaround.
- D. The applicant shall guarantee the closure of both existing driveways to McComas and the opening to Illinois.
- E. The applicant shall guarantee any drainage improvements required by the platting of this property.
- F. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning Department for recording.
- G. On the final plat tracing, as required for commercially zoned property, a 35-foot building setback shall be platted to Kellogg Drive/Frontage Road and a 20-foot building setback shall be platted to McComas.
- H. The final plat shall indicate the platting of the 35-foot building setback from Kellogg Drive/Frontage Road through the existing buildings which encroaches into the setback area. Central Inspection has advised that the platting of these building setbacks does not preclude the property owner from maintaining or remodeling that portion of the buildings within the setback area. The buildings cannot, however, be enlarged within the setback and, if the

buildings are removed, any new building construction must observe the platted building setback.

- I. If in addition to the access to this site from Kellogg Drive, a private means of access is to be provided across the site to the west, such agreement or easement should be established by separate instrument and recorded by the applicant. Such easement or agreement, for informational purposes should then be noted or shown on the final plat tracing and a copy of the instrument submitted to Planning for the plat file. However, as a private agreement or easement, the City does not need to be made a party to such document.
- J. For the nonmunicipal utilities needing to be relocated, letters shall be submitted from each utility indicating that satisfactory arrangements have been made for such relocations.
- K. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations.
- L. The applicant's engineer is advised that the Register of Deeds is requiring the name(s) of the notary public, who acknowledges the signatures on this plat, to be printed beneath the notary's signature.
- M. Perimeter closure computations shall be submitted with the final plat tracing. Section 5-101(c).
- N. Recording of the plat within 30 days after approval by the City Council.
- O. The representative from City Engineering should be prepared to comment on the status of the applicant's drainage plan.

Note: This plat has been submitted in final form only.

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CASTLE & ASSOCIATES

P.O. Box 9262
Wichita, Kansas 67277

(316) 942-8144

Memo

LETTER

Date Feb 23, 94

Subject BONANZA ADDITION
WICHITA, KS

Don Cosek
WISC-MAPD
CITY HALL - TENTH FLOOR
WICHITA, KS 67202-1688

Attached is the drainage concept for
Bonanza Addition. A copy has been
forwarded to Vicki Huang of Engineering
Dept.

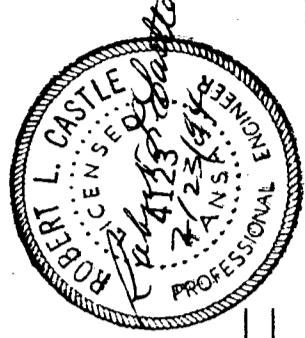
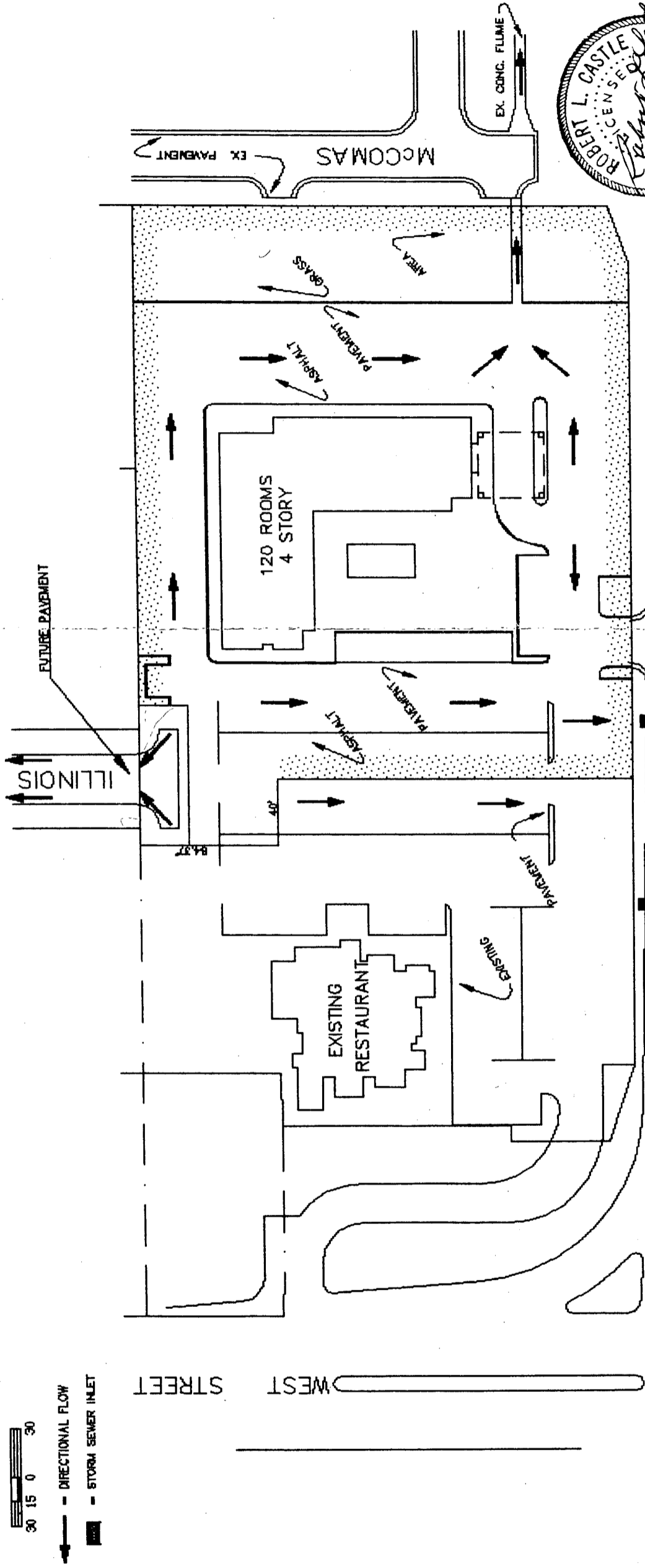
Please reply

No reply necessary

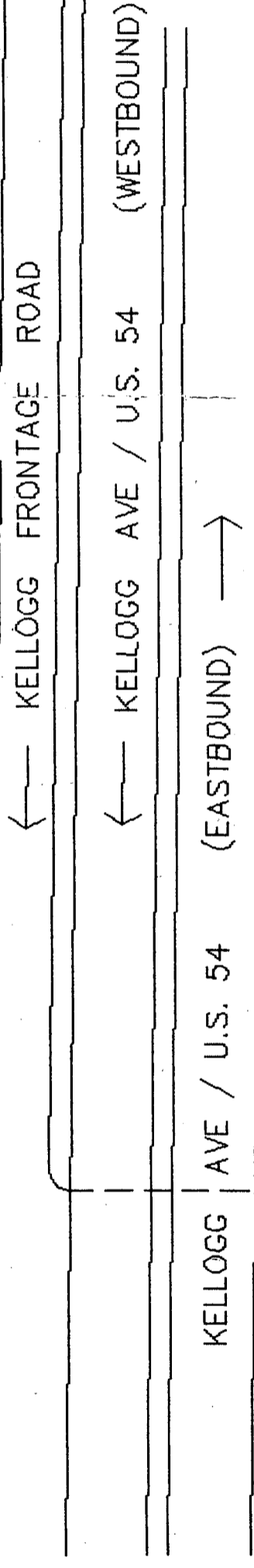
SIGNED:

Mark Subell

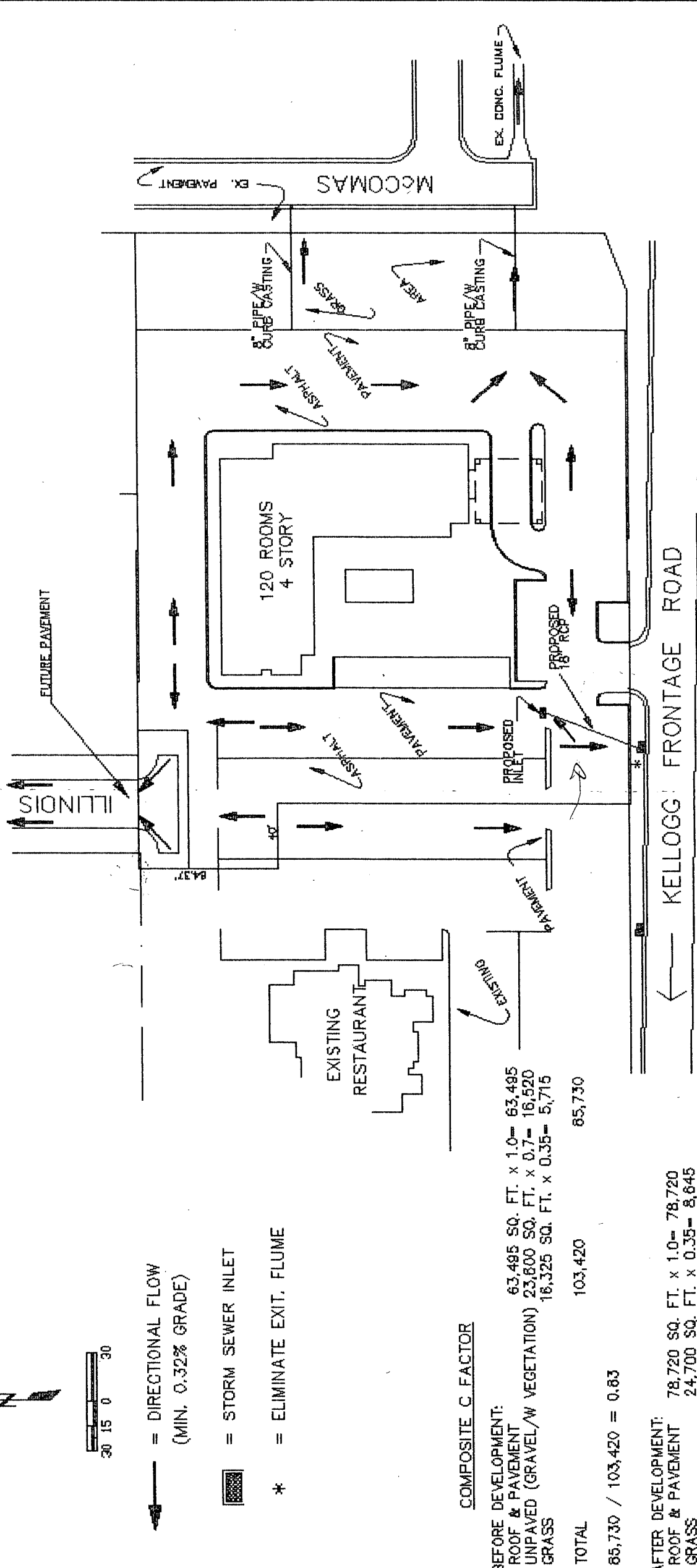
BONANZA ADDITION DRAINAGE CONCEPT



BONANZA, INC. WICHITA, KANSAS	9323 - D - 60,009
DRAINAGE CONCEPT BONANZA ADDITION WICHITA, KANSAS	BHEET NO 1 OF 1
ROBERT L. CASTLE & ASSOCIATES	



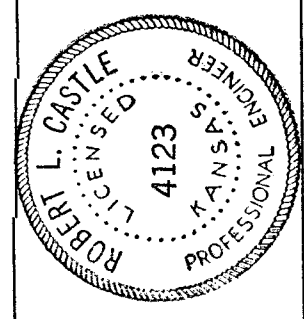
BONANZA ADDITION DRAINAGE PLAN



- = DIRECTIONAL FLOW (MIN. 0.32% GRADE)
- = STORM SEWER INLET
- = ELIMINATE EXIT. FLUME

COMPOSITE C FACTOR

BEFORE DEVELOPMENT:	63,495 SQ. FT. x 1.0 =	63,495
ROOF & PAVEMENT	23,600 SQ. FT. x 0.7 =	16,520
UNPAVED (GRAVEL/W VEGETATION)	16,325 SQ. FT. x 0.35 =	5,715
GRASS		
TOTAL		103,420
	65,730 / 103,420 =	0.63
AFTER DEVELOPMENT:	78,720 SQ. FT. x 1.0 =	78,720
ROOF & PAVEMENT	24,700 SQ. FT. x 0.35 =	8,645
GRASS		
TOTAL		103,420
	85,730 / 103,420 =	0.84



BONANZA, INC.
WICHITA, KANSAS
DRAINAGE PLAN
BONANZA ADDITION
WICHITA, KANSAS
CASTLE & ASSOCIATES
5323 - 0 - 20,000
SHEET NO 1 OF 1