

SUBDIVISION REPORT

SUBDIVISION COMMITTEE
METROPOLITAN AREA
PLANNING COMMISSION

S/D NO. 78-103 Name Campus Valley Addition
Date Application Rec'd. 12-18-78 Preliminary Approval 12-28-78
Scheduled S/D Meeting 2-21-80

DESCRIPTION

General Location North of 47th Street South in an area east of Meridian.

Owner R and S Enterprises, a partnership
Surveyor/Engineer Baughman Company
Address 330 Laura, 67211 Phone 262-7271

- | | |
|---|---|
| 1. Gross Acreage of Plat <u>29.7</u> | 7. Lineal Feet of New Streets: |
| 2. Number of Lots: | a. <u> </u> R/W <u> </u> ft. |
| Residential <u>106</u> | b. <u> </u> R/W <u> </u> ft. |
| Commercial <u> </u> | c. <u> </u> R/W <u> </u> ft. |
| Industrial <u> </u> | d. <u>64'</u> R/W <u>4500</u> ft. |
| Other <u> </u> | e. <u> </u> R/W <u> </u> ft. |
| Total Number of Lots <u>106</u> | TOTAL <u>4500</u> ft. |
| 3. Minimum Lot Frontage <u>52.36</u> ft. | 8. Sidewalk adjacent to all streets? <u>yes</u> <input checked="" type="checkbox"/> <u>no</u> |
| 4. Minimum Lot Area <u>7,222 square</u> ft. | |
| 5. Existing Zoning <u>AA</u> | |
| 6. Proposed Zoning <u> </u> | |
| 9. Public Water Supply <u>Yes</u> (Yes-No), Name <u>City of Wichita</u> | |
| 10. Public Sanitary Sewers <u>Yes</u> (Yes-No), Name <u>City of Wichita</u> | |
| 11. Health Department Approval (where applicable) <u>N/A</u> (Yes-No) | |
| 12. City of Wichita <u>X</u> : Three-Mile Area <u> </u> | |

STAFF COMMENTS:

- A. The Flood Control office and the City Engineer's office shall be prepared to comment on the applicant's drainage plan and state what drainage guarantees are required with the platting of this property.
 - B. The applicant has obtained from U.S.D. 259 the dedication of the east half of the drainage right-of-way adjacent to the north end of this plat.
 - C. The applicant shall attempt to obtain the dedication of the north half of 45th Street from the property owner at the northeast corner of Meridian and 45th.
 - D. "Complete access control" to Meridian and to 47th Street South shall be indicated on all lots abutting these two streets.
 - E. A 15-foot side yard setback shall be indicated on all corner lots.
 - F. The applicant shall guarantee the extension of City water and sanitary sewer to serve all lots.
 - G. The applicant shall guarantee the paving of all interior streets as well as 45th Street South.
 - H. Since 45th Street South is a collector, a sidewalk is required on both sides of the street.
 - I. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations.
- T9-303 J. Requirements for a final plat (see pages 20-25, Part 4, Article 5 of the MAPC Subdivision Regulations).

S/D NO. 78-103 Name Campus Valley Addition
Date Application Rec'd. 12-18-78 Preliminary Approval _____
Scheduled S/D Meeting 12-28-78

DESCRIPTION

General Location North of 47th Street south in an area east of Meridian.

Owner R and S Enterprises, a partnership
Surveyor/Engineer Baughman Company
Address 330 Laura, Wichita, Ks. 67211 Phone 262-7271

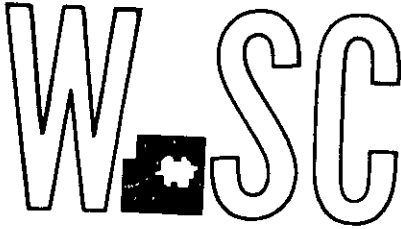
- 1. Gross Acreage of Plat 29.7
- 2. Number of Lots:
 - Residential 108
 - Commercial _____
 - Industrial _____
 - Other _____
- 3. Minimum Lot Frontage 60 ft.
- 4. Minimum Lot Area 6456 ft.
- 5. Existing Zoning AA
- 6. Proposed Zoning AA
- 7. Lineal Feet of New Streets:
 - a. 58 R/W 4710 ft.
 - b. 33 R/W 1270 ft.
 - c. 50 R/W 1100 ft.
 - d. _____ R/W _____ ft.
 - e. _____ R/W _____ ft.
 - TOTAL 7080 ft.
- 8. Sidewalk adjacent to all streets? yes no
- 9. Public Water Supply yes (Yes-No), Name City of Wichita
- 10. Public Sanitary Sewers yes (Yes-No), Name City of Wichita
- 11. Health Department Approval (where applicable) N/A (Yes-No)
- 12. City of Wichita X: Three-Mile Area _____

STAFF COMMENTS:

? Drainage

- A. The applicant shall guarantee the paving of all interior streets as well as 45th Street South.
- B. The applicant shall attempt to obtain the dedication of the north half of 45th Street from the property owner at the northeast corner of Meridian and 45th.
- C. "Complete access control" to Meridian and to 47th Street South shall be indicated on all lots abutting these two streets.
- D. A 15 foot side yard setback shall be indicated on all corner lots.
- E. The applicant shall guarantee the extension of City water and sewer to serve all lots.
- F. Sidewalks will be required adjacent to the south side of 45th Street and both sides of all interior streets.
- G. The street north of St. Clair shall be labeled as 46th Street South and the street east of Everett shall be labeled Athenian.
- H. The applicant shall be prepared to state on which side of the 58' streets parking will be permitted.
- I. The applicant shall submit a restrictive covenant which states that 4 off-street parking spaces will be required on all lots fronting on a 58-foot street.
- J. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations. The applicant should be prepared to discuss with the Subdivision Committee the manner in which it is proposed to provide for such utilities and facilities, e.g., petition, actual construction, monetary guarantee, etc.

WICHITA—SEDGWICK COUNTY



METROPOLITAN AREA PLANNING
DEPARTMENT

CITY HALL — TENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202
(316) 268-4561

January 2, 1979

Baughman Company
330 Laura
Wichita, Kansas 67211

Re: S/D 78-103 - Preliminary plat of Camps Valley
Addition

Gentlemen:

At the regular meeting of the Subdivision Committee of the Metropolitan Area Planning Commission, December 28, 1978, the above captioned plat was considered. The action of the Committee was to approve the preliminary and authorize preparation of the final plat, subject to the following:

- A. The final plat shall be submitted with the revisions discussed at the Subdivision meeting of December 28, 1978, including:
 1. Redesign of streets in NW corner of plat;
 2. 64-foot wide streets;
 3. 78-foot outside radius at 46th and Athenian;
 4. Realignment of easements at north end of plat to enable use of existing sewer manholes;
 5. Addition of easements as shown on enclosed, marked "engineer's copy" of the plat.
- B. A drainage concept shall be submitted to the City Engineer's office prior to submission of the final plat.
- C. The applicant shall guarantee the paving of all interior streets as well as 45th Street South.
- D. The applicant shall attempt to obtain the dedication of the north half of 45th Street from the property owner at the northeast corner of Meridian and 45th.
- E. "Complete access control" to Meridian and to 47th Street South shall be indicated on all lots abutting these two streets.

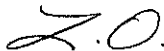
Baughman Company
January 2, 1979
Page 2

- F. A 15 foot side yard setback shall be indicated on all corner lots.
- G. The applicant shall guarantee the extension of City water and sewer to serve all lots.
- H. Sidewalks will be required adjacent to the south side of 45th Street and both sides of all interior streets.
- I. The street north of St. Clair shall be labeled as 46th Street South and the street east of Everett shall be labeled Athenian. St. Clair Court shall be changed to Davis Circle.
- J. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations. The applicant should be prepared to discuss with the Subdivision Committee the manner in which it is proposed to provide for such utilities and facilities, e.g., petition, actual construction, monetary guarantee, etc.
- K. Requirements for a final plat (see pages 20-25, Part 4, Article 5 of the MAPC Subdivision Regulations).

Enclosed herewith is the "marked" copy of the preliminary plat for your information and files.

If you should have any questions concerning this matter, please call.

Sincerely,


Louise Olivarez
Junior Planner

LO:bh

cc: Glenn Renollet, 3131 e. Kinkaid, 67211
Ralph Sandefur, 831 E. Lincoln, Derby, 67037
— Dean Sellers, Assistant City Engineer



MEMO

RECEIVED

MAR 30 1979

Engineering Division

PROJECT NO. 30-79045-1028

PROJECT: Campus Valley
Drainage Plan

DATE: March 29, 1979

TO: Mr. Dick Linn, P. E.
City Engineer
City Hall - Seventh Floor
455 North Main Street
Wichita, Kansas 67202

ATTN:

FROM: Chris Brennenstuhl

REFERENCE: Meeting of March 28, 1979

COPIES TO:

Yash Desai, P. E.

Bill Korber

PLEASE ADVISE IMMEDIATELY OF ANY MISCONCEPTIONS OR OMISSIONS YOU BELIEVE TO BE CONTAINED HEREIN.

As per our meeting of Wednesday, March 28, 1979, held at the Wichita Department of Public Works at which the following people were in attendance:

City of Wichita Department of Public Works

Dick Linn
Yash Desai
Bill Kerby

Baughman Co., P. A.

Bill Korber

Professional Engineering Consultants, P. A.

Chris Brennenstuhl

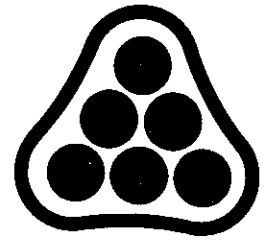
The drainage plan prepared by P.E.C., P.A., and submitted on March 5, 1979, to your Department for review was found to be unacceptable due to the increased runoff at Clarence that would result from the development of Campus Valley Addition.

The conclusion of our discussion was that P.E.C., P.A., would redesign the ditch to be located along the east line of Campus Valley Addition such that at Clarence the developed runoff would not exceed the runoff presently being generated. It was also stated that Yash Desai would send Baughman, Co., P.A., and P.E.C., P. A., a written summary of his comments, criticisms, and requirements on the Campus Valley Drainage Plan.

Please advise us immediately of any errors in the aforewritten summary of our meeting. We assume that the letter from Mr. Desai will be received within the next week; if we receive no written comments, our redesign will be based on our previous assumptions and calculations with modification of channel size as mentioned above.

DIRECTORS

- C. O. KNOP, P.E.
- R. B. PEUGH, P.E.
- C. J. FREUND, P.E.
- W. H. KELTNER, P.E.
- R. D. FLETCHER, P.E.
- F. D. MIDDLETON, JR., P.E.
- K. R. HORNER, P.E.
- D. E. MALTBIE, P.E.
- M. D. SCHOMAKER, P.E.



PROFESSIONAL
ENGINEERING
CONSULTANTS
PROFESSIONAL ASSOCIATION

June 12, 1979

Mr. Dick Linn, P. E.
 City Engineer
 City Hall - Seventh Floor
 455 North Main Street
 Wichita, Kansas 67202

Attention: Mr. Yash Desai, P. E.

Re: Campus Valley Drainage Plan
 PEC File 30-79045-1028

Dear Mr. Linn:

On Wednesday, May 23, 1979, the following people met in the offices of the Department of Public Works to review a drainage plan prepared by P.E.C., P.A. for the proposed Campus Valley Addition to Wichita, Kansas:

- | | |
|--|----------------------------------|
| City of Wichita | Dick Linn
Yash Desai |
| Developers | Glenn Renollet
Ralph Sandefur |
| Baughman Co. | Bill Korber |
| P.E.C., P. A. | Chris Brennenstuhl |
| Sedgwick County Dept.
of Public Works | M. S. Mitchell |

The drainage plan submitted at that time proposed that a drainage ditch be constructed in the proposed and existing drainage dedications of this Plat and the adjacent Caldwell Third Addition and that a new cross-road culvert be installed west of Clarence so as to prevent any additional storm water from further contributing to the existing drainage problems in Purcell's Eleventh Addition which is located east of Clarence.

After Mr. Mitchell explained that the downstream area is more than capable of accepting the additional runoff generated by the development of Campus

1440 EAST ENGLISH
 WICHITA, KANSAS 67211
 (316) 262-2691

Mr. Dick Linn
Attn: Yash Desai
June 12, 1979
Page two

Valley Addition, Messrs. Linn and Desai stated that the only objection to the proposed plan was that the increased downstream flow rate might cause a higher headwater elevation upstream of the existing 2@15'x 3' WPB and therefore compound existing drainage problems in Purcell's Eleventh Addition. It was further stated that if P.E.C., P. A., could show that the increased runoff from Campus Valley Addition would not cause the upstream high water to be "appreciably" greater, the engineering staff would find the proposed plan to be acceptable.

Transmitted with this memo are the revised plan and calculations which follow the concept presented at the meeting of May 23 and which have been refined to show downstream conditions and the effects of same on the upstream area. Data for the downstream area was obtained from the Flood Control Office as was the limits of the upstream drainage area.

The result of the calculations show that the headwater elevation upstream of the 2@15'x 3'x 20' WPB is now 85.64; after completion of the drainage improvements as shown, the headwater elevation will be 85.75 - an increase of less than 1 1/2". We feel that this does not constitute an "appreciably greater" effect.

Thank you for your efforts in resolving this situation. We would appreciate an expeditious review and response.

Yours very truly,

PROFESSIONAL ENGINEERING CONSULTANTS, P. A.



Chris Brennenstuhl

cb:lo

Encls.

cc: Max Greene, P. E.
Bill Korber
Glenn Renollet
M. S. Mitchell
Louise Olivarez

Letter (6/12/79) & study (6/11/79) of Campus Valley
Drainage Plan by PEC

Summary:

(6/27/79)

	Bridge Existing	Bridge New	2-49"x33"
DSWS	85.48	85.71	85.71
USWS	86.25	85.97	89.11
Q	216 cfs	135 cfs	119 cfs

Note: some of USWS of outlet channel

Flows over 47th St @ 88[±]

Determine max. permissible water surface @ NW of 47th St & clearance and then determine conduit required for 119 cfs & the water surfaces.

THE CITY OF WICHITA

OFFICE OF Public Works - Engineering

DATE August 15, 1979

TO Jack Galbraith, Chief Planner

FROM Yash Desai, Chief Drainage Engineer

SUBJECT Campus Valley Addition/Drainage Plan

Reference is made to the subject drainage plan submitted to this office for review. Also noted are the comments by the Flood Control and Landfill Division in the letter dated August 7, 1979, a copy of which is attached.

The calculations submitted by the consultant indicate that the geometry of the channel downstream from the 47th Street South does not have the capacity to handle the runoff generated by the two year frequency rainfall over both Caldwell's 3rd Addition and proposed Campus Valley Addition. The City of Wichita criteria specifies that the channel downstream handle 100 year frequency runoff from the total drainage basin, upstream from the 47th Street South bridge (approximately 650 acres). Under the circumstances, detention would be the only method of development for this plat. However, consideration is given by the Flood Control Office to the drainage plan submitted by the consultant recommending installation of a larger structure under 47th Street South to pass the runoff generated by the 216 acre sub-basin comprising of Campus Valley Addition, thus nullifying its flood influence in Purcell's 11th Addition. Since the calculations submitted by the consultant does not include a backwater curve based on existing geometry of the channel and structures downstream from 47th Street South, the analysis fails to show the flood effect of improving this subdivision on Purcell's 11th Addition.

Based upon the data submitted to date with the drainage plan by the consultant and the letter by the Flood Control Division, approval of the plat is at the discretion of the Flood Control Engineer.

Based on such approval by the Flood Control Office, this office agrees that the developers of Campus Valley Addition shall guarantee construction of the proposed channel and the structure under 47th Street South. The proposed channel includes the portion along South Line of the Caldwell's 3rd Addition Plat. The developer also agrees to guarantee construction of necessary storm sewers to drain the Campus Valley Addition to the proposed channel.

Please call me at Centrex 4235 if you need additional information.

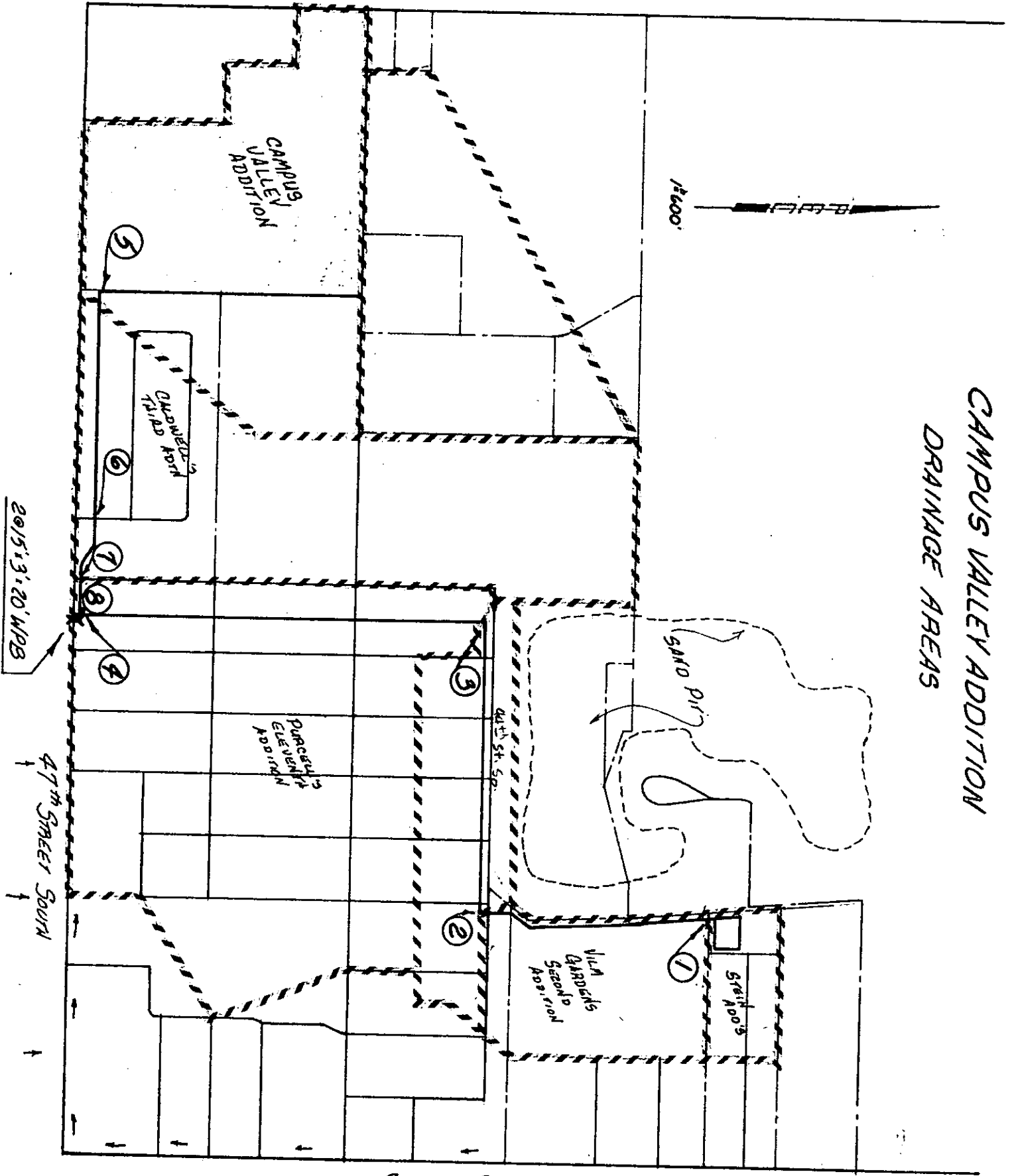
Yash Desai
Chief Drainage Engineer

HW

Attch: (1)
cc: Dick Linn/Campus Valley Plat File
Max Green, Flood Control
Chris Brehnenstuh, P.E.C.

MERIDIAN AVENUE

CAMPUS VALLEY ADDITION
DRAINAGE AREAS



SENECA STREET

CAMPUS VALLEY ADDITION

QUONED'S TRAP ROOM

SAND PIT

PURCELL'S ELEVATOR ADDITION

WILKINS GARAGE SECOND ADDITION

GRAVE ADD'S

415' ST. SW.

2015' 3' 20" W.P.B.

47th STREET SOUTH

5

6

7

8

4

3

2

1

CAMPUS VALLEY ADDITION

Volume of Storage in Ditch

Ditch upstream from pt ⑥ WS = 90.00

Ditch Upstream from pt 5

$$\text{Average Depth} = \frac{(90-87) + (90-86)}{2} = 3.5$$

$$\text{Length} = 1200'$$

$$\text{Volume} = 1200 [10(3.5) + 4(3.5)^2] = 100,800 \text{ CF}$$

Ditch between pt 5 & pt 6

$$\text{Average Depth} = \frac{(90-86) + (90-84.85)}{2} = 4.57'$$

$$\text{Length} = 960'$$

$$\text{Volume} = 960 [10(4.57) + 4(4.57)^2] = 124,070 \text{ CF}$$

Ditch between pt 6 & pt 7

WS = 89.55 (from sheet 14 of 18)

$$\text{Average Depth} = \frac{(89.55-84.80) + (89.55-83.90)}{2} = 5.20'$$

$$\text{Length} = 220'$$

$$\text{Volume} = 220 [10(5.20) + 4(5.20)^2] = 35,235 \text{ CF}$$

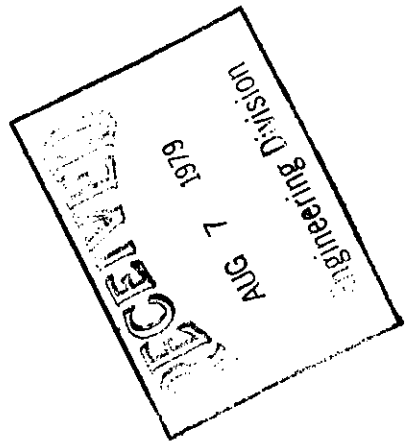
$$\text{Total Volume} = 100,800 + 124,070 + 35,235 = 260,105 \text{ CF}$$

For Hydrograph use "g₁" sheet 18 of 18 Point 7

Time 0 mins to 2 hr 50 mins (170 mins)

$$\text{Let } Q = Q = 4.1836t = 416.84 - 2.505t; \quad t = 62.32 \text{ mins}$$

$$Q = 260.72 = 260.73 \quad \text{Consider as } 260.72$$



XXXXXX 268-4591

August 7, 1979

Professional Engineering Consultants
1440 East English
Wichita, Kansas 67211

ATTN: Chris Brennenstuhl

Subject: Campus Valley Addn./Drainage Plan

Dear Chris:

Reference is made to subject drainage plan submitted to this office for review and have the following comments.

Having reviewed the computations pertaining to additional runoff being generated by the proposed Campus Valley project, it is our feeling that the project will not substantially or drastically affect or increase the drainage problems or runoff as they presently exist.

It is acknowledged that a problem does exist within this area pertaining to drainage. Until such time as funds become available to initiate a South Seneca drainage project, the problem will invariably remain.

If the developers of Campus Valley will guarantee construction of the proposed ditch along with the installation of the culverts, it is felt that an improvement would be realized. Rather than to try to drain the area from the west through an obstructed structure existing at the south edge of Purcell's 11th Addition, the flow would be redirected under 47th Street south to tie into the existing drainage area.

Depending upon the type of storm experienced, runoff generated from the west should be past before the influence north of Purcell's 11th is realized.

If I may be of further assistance, please advise.

Yours truly,

Paul Johnston,
Flood Control Engineer
Flood Control and Landfill Division

PJ/glm

cc: Yash Desai/City Engineering
Campus Valley Addn. Plat File
Purcell's 11th Addn. Plat File
Caldwell's 3rd Addn. Plat File

Flood Control

September 4, 1979

Yash

Jack Galbraith, Chief Planner

Paul Johnston, Flood Control Engineer

Campus Valley Addition/
Drainage Plan

Having reviewed the drainage plan for subject plat, approval is granted provided the following conditions are met:

1. Acquire the necessary right-of-way for the proposed channel by obtaining a 40' drainage dedication from the adjacent property owner to the east, extending from 45th Street South to the existing drainage dedication at the west side of Caldwell's Third Addition.
2. Guarantee the construction of the drainage ditch along the east side of Campus Valley from 45th to 47th Street South then east along the north edge of 47th Street South to the west side of Clarence, same to be seeded.
3. Guarantee the costs and installation associated in placing the culverts across 47th Street South at Clarence.
4. Obtain a temporary construction easement just southeast of 47th Street South and Clarence to grade into the existing swale to match flow lines.

Paul Johnston
Flood Control Engineer

gc

cc: Yash Desai, City Engineering
Chris Brennenstuhl, P.E.C.
Campus Valley Addn. Plat File
Purcell's 11th Addn. Plat File
Caldwell's 3rd Addn. Plat File

SUBDIVISION REPORT

SUBDIVISION COMMITTEE
METROPOLITAN AREA
PLANNING COMMISSION

S/D NO. 78-103 Name Campus Valley Addition
Date Application Rec'd. 12-18-78 Preliminary Approval 2-21-80
Scheduled S/D Meeting 3-20-80

DESCRIPTION

General Location North of 47th Street South in an area east of Meridian.

Owner R and S Enterprises, a partnership
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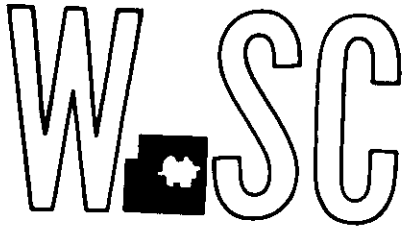
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| Commercial <u> </u> | c. <u>64'</u> R/W <u>4500</u> ft. |
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| Other <u> </u> | e. <u> </u> R/W <u> </u> ft. |
| Total Number of Lots <u>106</u> | TOTAL <u> </u> 4500 ft. |
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| 5. Existing Zoning <u>AA and A</u> | |
| 6. Proposed Zoning <u> </u> | |
| 9. Public Water Supply <u>Yes</u> (Yes-No), Name <u>City of Wichita</u> | |
| 10. Public Sanitary Sewers <u>Yes</u> (Yes-No), Name <u>City of Wichita</u> | |
| 11. Health Department Approval (where applicable) <u>N/A</u> (Yes-No) | |
| 12. City of Wichita <u>X</u> : Three-Mile Area <u> </u> | |

STAFF COMMENTS:

Note: A request for duplex zoning has been submitted for Blocks 1, 2, 5, and Lots 35 thru 40 in Block 4.

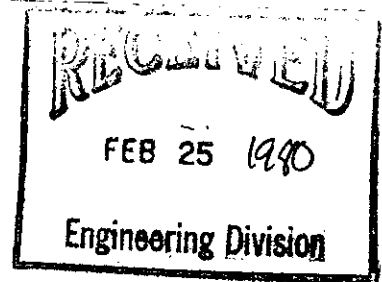
- A. The applicant shall guarantee the construction of the drainage channel east of this plat and south of Caldwell's Third Addition as well as any necessary drainage structures under 47th Street at Clarence.
- B. The applicant shall guarantee the extension of City water to serve all lots.
- C. The applicant shall guarantee the extension of sanitary sewer to serve all lots.
- D. The applicant shall guarantee the paving of all interior streets and shall petition for the paving of 45th Street South.
- E. Since 45th Street South is a collector, a sidewalk is required on both sides of the street.
- F. The easternmost street in the plat shall be called "Athenian" between 47th and 46th Street and "Athenian Circle" from 46th Street to the cul-de-sac.
- G. The right-of-way ~~for~~ the turnaround on Meikle shall be increased to 15' x 32'. *(Signature)*
- H. Recording of the plat within 30 days after approval by the Board of City Commissioners.

WICHITA—SEDGWICK COUNTY



METROPOLITAN AREA PLANNING
DEPARTMENT

CITY HALL — TENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202
(316) 268-4561



February 21, 1980

Baughman Company
330 Laura
Wichita, Ks. 67211

Re: S/D 78-103 - Preliminary plat of Campus Valley Addition

Gentlemen:

At the regular meeting of the Subdivision Committee of the Metropolitan Area Planning Commission, February 21, 1980, the above captioned plat was considered. The action of the Committee was to approve the preliminary and authorize preparation of the final plat subject to the following:

- A. The Flood Control Office has approved the applicant's drainage plan and states that guarantees will be required for construction of the drainage ditch east of Campus Valley and also south of Caldwell's Third, as well as for the necessary structures under 47th Street South at Clarence.
- B. The applicant shall attempt to obtain the dedication of the north half of 45th Street from the property owner at the northeast corner of Meridian and 45th. If he is unable to do this, it is recommended that Lots 1, 2, and 3, in Block 1 be restricted by covenant from obtaining building permits until the street right-of-way is obtained and the street is opened.
- C. The applicant shall file for a change of zoning from "LC" to a residential classification on that portion of the property now included in the "LC" zoning district.
- D. "Complete access control" to Meridian and to 47th Street South shall be indicated on all lots abutting these two streets.
- E. A 15-foot side yard setback shall be indicated on all corner lots.
- F. The applicant shall guarantee the extension of City water and sanitary sewer to serve all lots.

Baughman Company
Page 2
February 22, 1980
Page 2

- G. The applicant shall guarantee the paving of all interior streets as well as 45th Street South.
- H. Since 45th Street South is a collector, a sidewalk is required on both sides of the street.
- I. Utility easements as requested by K. G. and E. and indicated on the engineer's "marked copy" of the preliminary plat shall be shown on the final plat.
- J. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations.
- K. Requirements for a final plat (see pages 20-25, Part 4, Article 5 of the MAPC Subdivision Regulations).

Enclosed herewith is the "marked" copy of the preliminary plat for your information and files.

If you should have any questions concerning this matter, please call.

Sincerely,


Louise Olivarez
Senior Planner

LO:bh

cc: R and S Enterprises, 3131 E. Kinkaid, 67211
✓ Dean Sellers, Acting City Engineer
Paul Johnston, Flood Control

3/20/80

Drainage Plan : Campus Valley

1. PEC study shows flow in channel at 47th street S. is 119 cfs. According to Baughman Co., flow upstream from Campus Valley channel is approximately 138 cfs. Hence additional runoff added from Campus Valley alone (another 20 acres) would be at least 40 cfs. Hence the channel should be designed for 180 cfs. This will necessitate deepening of the channel in future which cannot be done within the presently dedicated 80 foot R/W.

possible
180 ac.

2. Although the drainage plan submitted by Baughman Co. shows ~~only~~ 36 ac. upstream from Campus Valley, a rough study of the area in the vicinity of the project indicates that more than 100 acres ^{could} drain into the ditch, upstream from Campus Valley.

3. The drainage calculations submitted also shows a 16 acre drainage basin to the northeast that drains into this ditch. Before the plat is approved by the Commission, the developer's engineer should ~~provide~~ suggest a method to handle this runoff.

4.

WICHITA—SEDGWICK COUNTY



METROPOLITAN AREA PLANNING
DEPARTMENT

CITY HALL — TENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202

March 21, 1980

Baughman Company
330 Laura
Wichita, Ks. 67211

Re: S/D 78-103 - Final plat of Campus Valley Addition

Gentlemen:

At the regular meeting of the Subdivision Committee of the Metropolitan Area Planning Commission, March 20, 1980, the above captioned plat was considered. The action of the Committee was to recommend that this plat be approved subject to:

- A. The applicant shall guarantee, by petition or other means, the construction of the drainage channel east of this plat and south of Caldwell's Third Addition as well as any necessary drainage structures under 47th Street at Clarence. It is recommended that this plat not be approved unless some type of guarantee is submitted and accepted for these drainage improvements.
- B. The applicant shall guarantee the extension of City water to serve all lots.
- C. The applicant shall guarantee the extension of sanitary sewer to serve all lots.
- D. The applicant shall guarantee the paving of all interior streets and shall petition for the paving of 45th Street South.
- E. Since 45th Street South is a collector, a sidewalk is required on both sides of the street.
- F. The easternmost street in the plat shall be called "Athenian" between 47th and 46th Street and "Athenian Circle" from 46th Street to the cul-de-sac.
- G. The following utility easements shall be added to the final plat tracing:

10 feet between Lots 9 & 10, 21 & 22, Block 5;
10 feet between Lots 26 & 27, Block 4;
20 feet on east side of Lots 25-40, Block 4.


H. Recording of the plat within 30 days after approval by the Board of City Commissioners.

Enclosed with the applicant's copy of this letter is a list of the five methods which have been adopted as being acceptable for guaranteeing improvements required in the approval of plats. Forms for the bond and irrevocable letter of credit are available from this office.

The enclosed "marked" copy of the final plat is for your information and files.

This matter will be forwarded to the Planning Commission for its consideration on March 27, 1980, at 1:30 p.m. If you have any questions regarding this matter, please call.

Sincerely,


Louise Olivarez
Senior Planner

LO:bh

cc: R and S Enterprises, 3131 E. Kinkaid, 67211
X Dean Sellers, Acting City Engineer

W $\frac{1}{2}$ NW $\frac{1}{4}$ Sec 19-28-1E (RI-301-1)

Lee R. Cox

5018 S. Meridian

E $\frac{1}{2}$ NW $\frac{1}{4}$ Sec 19-28 1E (RI-301)

Lee R. Cox

W 60 A NE $\frac{1}{4}$ Sec 19-28-1E

Norris R. Long

1801 W 47th St So.

(D-367-UP)

943 5510

ENTERPRISE
CHRISTIAN
CHURCH
ADDITION

BENNETT

CLUB

ADDITION

①

③

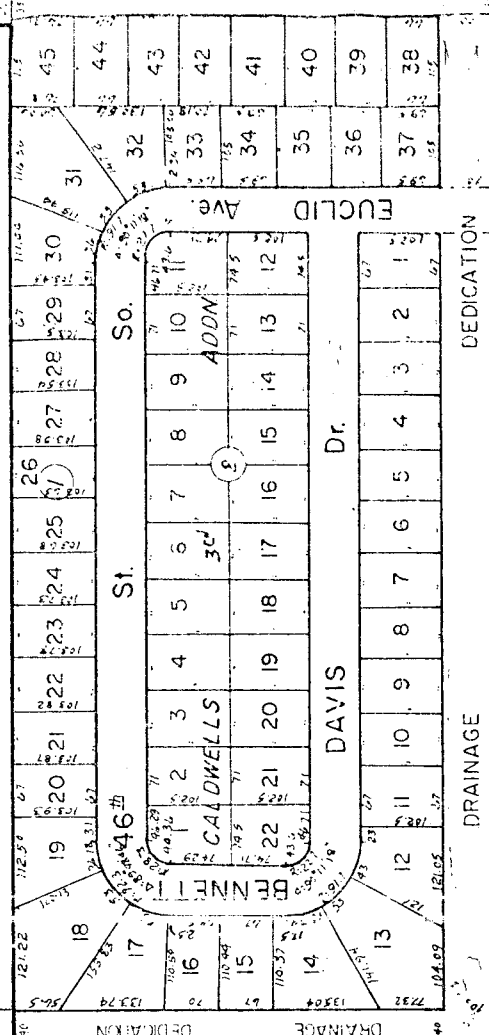
ST. 70' Road Dedication Proposed SO.

45TH

ST.

CLARENCE ST

Enterprise School District
Number 15



(47TH -- ST -- SOUTH)

STUCKEY ROAD

280.0

11.4

755.73

432.67

432.67

60

432.67

1056.4

660

230

125

Letter (6/12/79) & study (6/11/79) of Campus Valley
Drainage Plan by PEC

Summary:

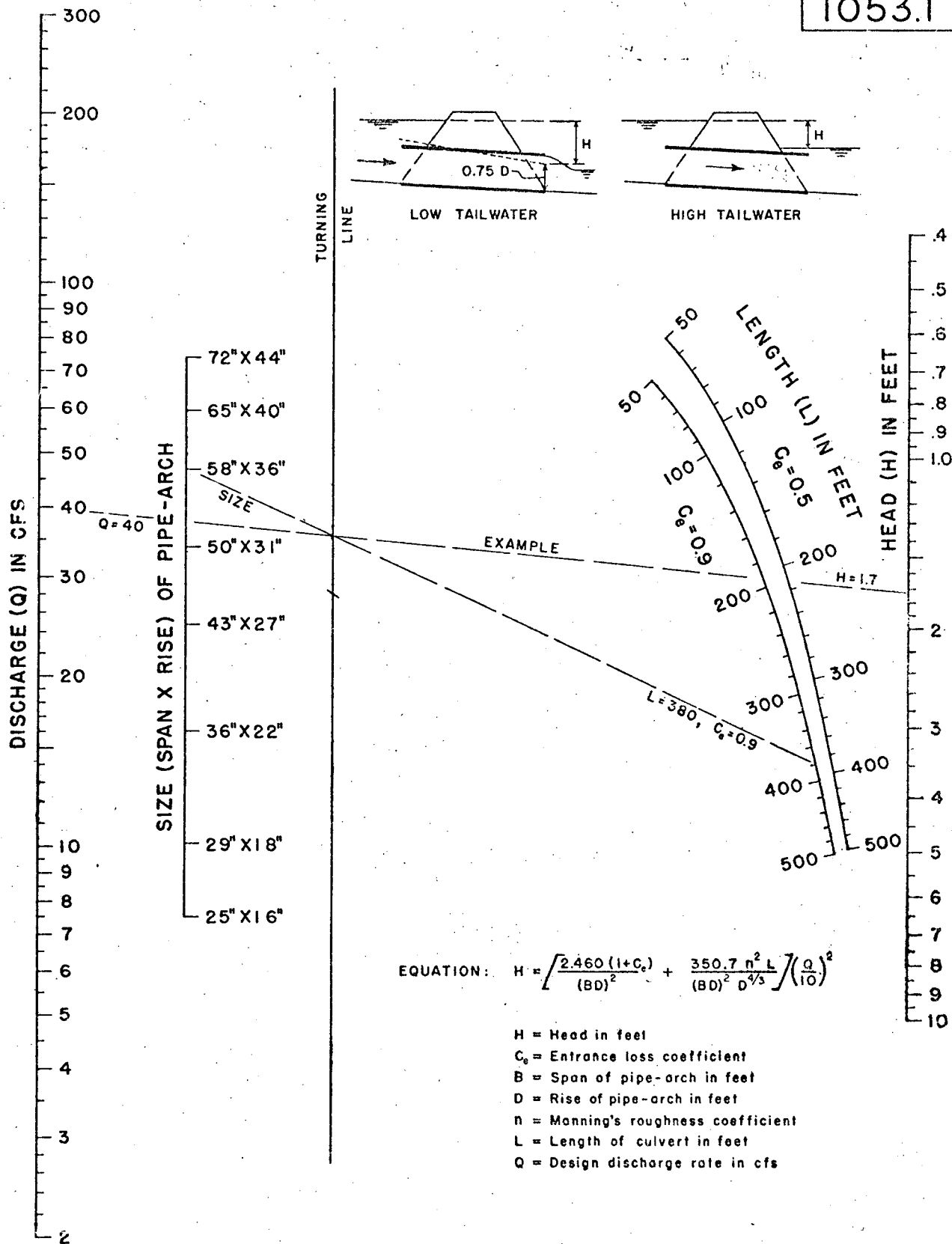
(6/27/79)

	Bridge Existing	Bridge New	2-49"x33"
DSWS	85.48	85.71	85.71
USWS	86.25	85.97	89.11
Q	216 cfs	135 cfs	119 cfs

Note: some as
USWS of Outlet
channel

Flows over 47th St @ 88⁵/₁₆

Determine max. permissible water
surface @ NW of 47th St & Clarence
and then determine conduit required
for 119 cfs & the water surfaces.



**HEAD FOR
 RIVETED C. M. PIPE-ARCH CULVERTS
 FLOWING FULL
 n=0.024**