

Approved by Board of Commissioners

OCT 19 1971

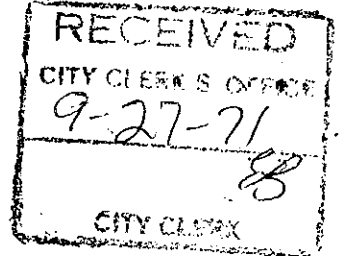
City of _____ 19__

ASPHALTIC CONCRETE

PAVING PETITION

(OUTSIDE CORPORATE LIMITS)

To the Board of Commissioners,
Wichita, Kansas.



Gentlemen:

1. We, the undersigned owners of record as below designated, of lots, parcels, and tracts of real property described as follows:

Lot 1, Block 1, Mid-Kansas Addition;

Bolin Drive.

do hereby petition, pursuant to the provisions of K. S. A. 12-6a01, as follows:

(a) That there be constructed pavement on Bolin Drive
from the West line of Mid-Kansas Addition
to the West line of West Street;

that said pavement between aforesaid limits be constructed for a width of 29 feet from back of curb to back of curb; concrete curb and gutter to be constructed on each side of said street; that said pavement shall consist of a Portland cement concrete base 6 inches in thickness, and an asphaltic concrete wearing surface 2 inches in thickness, composed of stone, sand, mineral filler, and asphalt according to specifications to be furnished by the City Engineer. Drainage to be installed where necessary.

(b) That the estimated and probable cost of the foregoing improvements being \$80,000.00 payable by the improvement district and \$2,000.00 payable by the City of Wichita at large for street intersection.

(c) That the land or area above described be constituted as an improvement district against which shall be assessed 100% of the total cost of the improvements for which the improvement district is liable.

(d) That the method of assessment of all costs for the improvements for which the improvement district shall be liable shall be on a square foot basis,

except when driveways are requested to serve a particular tract, lot, or parcel, the cost of said driveway shall be a direct assessment to said tract, lot, or parcel and shall be in addition to the assessment for other improvements.

2. It is requested that the improvements hereby petitioned be made without notice and hearing, which, but for this request, would be required by K. S. A. 12-6a04.

3. That names may not be withdrawn from this petition by the signers thereof after the Governing Body commences consideration of the petition or later than seven (7) days after filing, whichever occurs first.

4. That when this petition has been filed with the City Clerk and it has been certified that the signatures thereon are according to the records of the Register of Deeds of Sedgwick County, Kansas, the petition may be found sufficient if signed by either (1) a majority of the resident owners of record of property liable for assessment under the proposal, or (2) the resident owners of record of more than one-half of the area liable for assessment under the proposal, or (3) the owners of record (whether resident or not) of more than one-half of the area liable for assessment under the proposal. The Governing Body is requested to proceed in the manner provided by statute. The petitioned improvement will not be constructed prior to June 29, 1976, unless specifically requested by the owners of record of the property described in Section 1.

WITNESS our signatures attached with respect to each of which is indicated the property owned and the date of signing.

LEGAL DESCRIPTION	SIGNATURE	DATE
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LOT 1, BLOCK 1, MID-KANSAS ADDITION

James C. Martin A.P. 9-27-71

AN ABSTRACTOR'S CERTIFICATE OF OWNERSHIP MUST ACCOMPANY THIS PETITION.

AFFIDAVIT

The undersigned, being first duly sworn on his oath, states: That he circulated the attached petition and that the signatures thereon are the genuine signatures of the persons they purport to be to the best of his knowledge and belief, being signed either in the presence of the undersigned or in the presence of one of the resident owners whose signature appears on the petition.

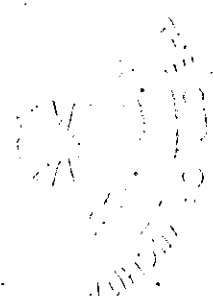
Laurence C. Martin
Name

1245 So Santa Fe
Address

264 2831
Telephone No.

Sworn to and subscribed before me this 27 day of Sept,
19 77

Ralph Eberly
City Clerk.



Preliminary Plat
SUBDIVISION REPORT

SUBDIVISION COMMITTEE
METROPOLITAN AREA
PLANNING COMMISSION

S/D No.: 84-94

Name: Big Lake Addition

Preliminary Approved:
Scheduled S/D Meeting:

DESCRIPTION

General Location: On the south side of 31st Street South in an area east of the Wichita-Valley Center Flood Control

Owner: Foundation, Inc., c/o Donald P. Cain, Sr.

Surveyor/Engineer: Professional Engineering Consultants, P.A.

1. Gross Acreage of Plat: 135.7 Acres
2. Number of Lots:
 - Residential:
 - Office:
 - Commercial:
 - Industrial:
 - Other: 1 - Mobile Home Park
 - Total: 1
3. Minimum Lot Area: 135.7 Acres +
4. Existing Zoning: E
5. Proposed Zoning: G

STAFF COMMENTS:

NOTE: The applicant's associated zone case (Z-2591) requesting "E" light industrial to "G" mobile home zoning has been approved subject to platting.

- A. The applicant shall guarantee the construction of a sanitary sewer lateral to serve this lot.
- B. The applicant shall guarantee the pavement of adjacent 31st Street South and Bolin Drive to the residential collector standard (37 feet of street pavement from back of curb to back of curb).
- C. The final plat shall indicate "access control except for 2 openings" to 31st Street South and Bolin across the north and east lines of this lot.
- D. In order to minimize street pavement costs, it is recommended that the applicant vacate 31st Street South adjacent to the area on the preliminary plat labeled "complete access control." The south half of this right-of-way may be vacated by the plat. The north half of the right-of-way will need to be vacated by separate instrument. If vacated, this plat shall dedicate a full-size cul-de-sac for terminating the remaining segment of 31st Street South and shall guarantee paving of the cul-de-sac. The vacated street right-of-way will need to be retained as a utility easement and as an access easement for access to the flood control right-of-way and as access for KG&E to their 100-foot wide easement along the west line of this plat.
- E. The final plat shall indicate the dedication of enough additional street right-of-way for Bolin Drive and 31st Street South in order to construct the required residential collector street. The adjacent plat of Mid-Kansas Addition indicates 40 feet of right-of-way existing for Bolin Drive in addition to their dedication of an additional 20 feet of right-of-way. The City Engineering representative should be prepared to state how much additional right-of-way should be dedicated by this plat for the improvement of 31st Street and Bolin Drive to the 37-foot back of curb to back of curb pavement standard.
- F. In accordance with the screening requirements of the Mobile Home Code (Title 26), the required setback (10 feet) from the adjacent "E" zoned property to the south and east shall be landscaped with a coniferous and deciduous buffer. This landscape area shall be indicated on a revised site development plan.
- G. All utilities are required to be extended to each mobile home space and paved access must be provided to each space prior to issuance of a license to operate the park. Plans and specifications for the street construction and utility installations must be submitted when application is made for the park license.

*Sewer Layout
w/ Grades*

- H. The 25foot wide interior roadway allows for no parking on the roadway. This limitation shall be stated on the face of the development plan. The park operator is required to post and enforce the no street parking.
- I. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning Department for recording.
- J. It is recommended that each individual space be numbered on the revised site development plan.
- K. The representative from the City Engineer's office should be prepared to comment on the status of the applicant's drainage concept.
- L. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations.
- M. Requirements for a final plat (see pages 20-25, Part 4, Article 5 of the MAPC Subdivision Regulations.)

S/D No.: 84-94 Name: BIG LAKE ADDITION

Preliminary Approved: 9/27/84
Scheduled S/D Meeting: 12/6/84

DESCRIPTION

General Location: On the south side of 31st Street South in an area east of the Wichita-Valley Center Flood Control.

Owner: Foundation, Inc., c/o Donald P. Cain, Sr.

Surveyor/Engineer: Professional Engineering Consultants, P.A.

1. Gross Acreage of Plat: 135.7 Acres
 2. Number of Lots:
 - Residential:
 - Office:
 - Commercial:
 - Industrial:
 - Other 1 - Mobile Home Park
 - Total: 1
 3. Minimum Lot Area: 135.7 Acres
 4. Existing Zoning: E
 5. Proposed Zoning: G
-

STAFF COMMENTS:

NOTE: The applicant's associated zone case (Z-2591) requesting "E" light industrial to "G" mobile home zoning has been approved subject to platting.

- A. The applicant shall guarantee the construction of a sanitary sewer lateral to serve this lot.
- B. When the preliminary plat of this property was approved, the applicant was required to guarantee the pavement of adjacent 31st Street South and Bolin Drive to the residential collector standard (37 feet of pavement width). Upon reconsideration of this requirement, staff now supports a lesser paving width standard for this street. Staff recommends the applicant guarantee the street to the 29-foot back-of-curb to back-of-curb standard, provided the guarantee provides for a sidewalk on the west and south sides of the street and for pavement of the cul-de-sac.
- C. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning Department for recording.
- D. All utilities are required to be extended to each mobile home space and paved access must be provided to each space prior to issuance of a license to operate the park. Plans and specifications for the street construction and utility installations must be submitted when application is made for the park license.
- E. The 25-foot wide interior roadway allows for no parking on the roadway. This limitation shall be stated on the face of the development plan. The park operator is required to post and enforce the no street parking.
- F. In accordance with the screening requirements of the Mobile Home Code (Title 26), the required setback (10 feet) from the adjacent "E" zoned property to the south and east shall be landscaped with a coniferous and deciduous buffer. This landscape area shall be indicated on a revised site development plan.
- G. Prior to the scheduling of this plat before the Board of City Commissioners, five copies of a revised site development plan shall be submitted. This revised plan shall provide for Items "E" and "F" of these comments.

- H. It is recommended that each individual space be numbered on the revised site development plan.
- I. At the time of preliminary plat approval, the applicant was encouraged to explore the possibility of vacating 31st Street South from a point west of the park entrance to the Wichita-Valley Center Floodway. The applicant has expressed an interest in the vacating of the street and has indicated the required cul-de-sac for properly terminating 31st Street on the final plat. In order to accomplish the street vacation, the applicant shall submit a completed vacation application, signed by himself and the property owner to the north. Approval of this plat shall be subject to approval of this associated vacation case.
- J. The representative from the City Engineer's Office should be prepared to comment on the amount of additional right-of-way needed for Bolin Drive and 31st Street South in order to construct the 29-foot street required by Item "B" of these comments.
- K. The final plat tracing shall indicate the amount of right-of-way existing for Bolin Drive and the amount of right-of-way being dedicated for this street by this plat.
- L. Closure computations shall be submitted with the final plat tracing.
- M. Recording of the plat within 30 days after approval by the Board of City Commissioners.

WICHITA - SEDGWICK COUNTY



METROPOLITAN AREA PLANNING
COMMISSION

CITY HALL - TENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202
(316) 268-4561



October 1, 1984

Professional Engineering Consultants, P.A.
1440 E. English
Wichita, KS 67211

Attn: Gary Wiley

Re: S/D 84-94 - Preliminary Plat of Big Lake Addition

Gentlemen:

At the regular meeting of the Subdivision Committee of the Metropolitan Area Planning Commission on Thursday, September 27, 1984, the above-captioned plat was considered. The action of the Committee was to approve the preliminary and authorize preparation of the final plat, subject to the following:

- A. The applicant shall guarantee the construction of a sanitary sewer lateral to serve this lot.
- B. The applicant shall guarantee the pavement of adjacent 31st Street South and Bolin Drive to the residential collector standard (37 feet of street pavement from back of curb to back of curb).
- C. The final plat shall indicate "access control except for 3 openings" to 31st Street South and Bolin across the north and east lines of this lot.
- D. In accordance with the screening requirements of the Mobile Home Code (Title 26), the required setback (10 feet) from the adjacent "E" zoned property to the south and east shall be landscaped with a coniferous and deciduous buffer. This landscape area shall be indicated on a revised site development plan.
- E. All utilities are required to be extended to each mobile home space and paved access must be provided to each space prior to issuance of a license to operate the park. Plans and specifications for the street construction and utility installations must be submitted when application is made for the park license.

WICHITA - SEDGWICK COUNTY

Professional Engineering Consultants, P.A.
S/D 84-94 - Preliminary Plat of Big Lake Addition

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- F. The 25-foot wide interior roadway allows for no parking on the roadway. This limitation shall be stated on the face of the development plan. The park operator is required to post and enforce the no street parking.
- G. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning Department for recording.
- H. It is recommended that each individual space be numbered on the revised site development plan.
- I. Prior to, or at the same time as submitting a final plat, a drainage plan and a sanitary sewer plan shall be submitted to City Engineering for review and approval.
- J. The final plat shall indicate the dedication of enough additional street right-of-way for Bolin Drive and 31st Street South in order to construct the required residential collector street. Prior to filing a final plat, the applicant shall meet with City Engineering to determine the amount of right-of-way required to be dedicated.
- K. In order to minimize street pavement costs, it is recommended that the applicant vacate 31st Street South adjacent to the area on the preliminary plat labeled "complete access control." The south half of this right-of-way may be vacated by the plat. The north half of the right-of-way will need to be vacated by separate instrument. If vacated, this plat shall dedicate a full-size cul-de-sac for terminating the remaining segment of 31st Street South and shall guarantee paving of the cul-de-sac. The vacated street right-of-way will need to be retained as a utility easement and as an access easement for access to the flood control right-of-way and as access for KG&E to their 100-foot wide easement along the west line of this plat. Prior to filing a final plat, the applicant shall contact the property owners north of 31st Street to determine if they will support the vacation of a portion of this street.
- L. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations.
- M. Requirements for a final plat (see pages 20-25, Part 4, Article 5 of the MAPC Subdivision Regulations.)

- WICHITA - SEDGWICK COUNTY


Professional Engineering Consultants, P.A.
S/D 84-94 - Preliminary Plat of Big Lake Addition

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The enclosed "marked" copy of the plat is for your information and files.

If you should have any questions, please call.

Sincerely,


Forrest L. Nagley
Senior Planner

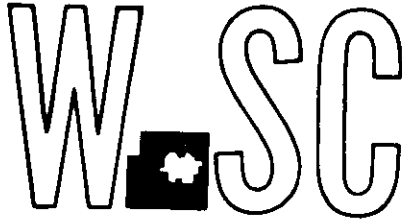
FLN:mih

cc: Foundation, Inc., c/o Donald P. Cain, Sr., P.O. Box 9090,
Wichita, KS. 67277

Tom Weir, 1107 N. Broadway, Wichita, KS 67214

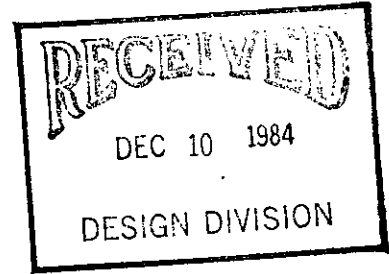
✓ Mike Lindebak, City Engineer

WICHITA—SEDGWICK COUNTY



METROPOLITAN AREA PLANNING
COMMISSION

CITY HALL — TENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202
(316) 268-4561



December 7, 1984

Mr. Gary Wiley
Professional Engineering Consultants, P.A.
1440 East English
Wichita, KS 67211

Re: S/D 84-94 - Final Plat of Big Lake Addition

Dear Gary:

At the regular meeting of the Subdivision Committee of the Metropolitan Area Planning Commission on Thursday, December 6, 1984, the above-captioned plat was considered. The action of the Committee was to recommend that this plat be approved subject to:

- A. The applicant shall guarantee the construction of a sanitary sewer lateral to serve this lot.
- B. The applicant shall guarantee the pavement of Bolin Drive and 31st Street adjacent to this property. The pavement width shall be 29 feet and the guarantee shall provide for a sidewalk on the west and south sides of the street, and for the pavement of the cul-de-sac.
- C. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning Department for recording.
- D. All utilities are required to be extended to each mobile home space and paved access must be provided to each space prior to issuance of a license to operate the park. Plans and specifications for the street construction and utility installations must be submitted when application is made for the park license.
- E. The 25-foot wide interior roadway allows for no parking on the roadway. This limitation shall be stated on the face of the development plan. The park operator is required to post and enforce the no street parking.

C
O
P
Y

Mr. Gary Wiley
Professional Engineering Consultants, P.A.
Re: S/D 84-94 - Final Plat of Big Lake Addition
December 7, 1984
Page 2

- F. In accordance with the screening requirements of the Mobile Home Code (Title 26), the required setback (10 feet) from the adjacent "E" zoned property to the south and east shall be landscaped with a coniferous and deciduous buffer. This landscape area shall be indicated on a revised site development plan.
- G. Prior to the scheduling of this plat before the Board of City Commissioners, five copies of a revised site development plan shall be submitted. This revised plan shall provide for Items "E" and "F" of these comments.
- H. It is recommended that each individual space be numbered on the revised site development plan.
- I. At the time of preliminary plat approval, the applicant was encouraged to explore the possibility of vacating 31st Street South from a point west of the park entrance to the Wichita-Valley Center Floodway. The applicant has expressed an interest in the vacating of the street and has indicated the required cul-de-sac for properly terminating 31st Street on the final plat. In order to accomplish the street vacation, the applicant shall submit a completed vacation application, signed by himself and the property owner to the north. Approval of this plat shall be subject to approval of this associated vacation case.
- J. The final plat tracing shall indicate the amount of right-of-way existing for Bolin Drive and the amount of right-of-way being dedicated for this street by this plat.
- K. On the final plat tracing, appropriate reference shall be made in the plat's text regarding the platting of the access easement within vacated 31st Street South.
- L. Closure computations shall be submitted with the final plat tracing.
- M. Recording of the plat within 30 days after approval by the Board of City Commissioners.

Enclosed with the applicant's copy of this letter is a list of the five methods which have been adopted as being acceptable for guaranteeing improvements required in the approval of plats. The certificate will be required if petitions are submitted. Forms for the bond and irrevocable Letter of Credit are available from this office.

Mr. Gary Wiley
Professional Engineering Consultants, P.A.
Re: S/D 84-94 - Final Plat of Big Lake Addition
December 7, 1984
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The enclosed "marked" copy of the final plat is for your information and files.

This matter will be forwarded to the Planning Commission for its consideration on Thursday, December 13, 1984 at 1:30 p.m. If you have any questions concerning this matter, please call.

Sincerely,

Forrest L. Nagely

Forrest L. Nagely
Senior Planner

FLN:mlh

cc: Foundation, Inc., c/o Donald P. Cain, Sr., P.O. Box 9090,
Wichita, KS 67277
Tom Weir, 1107 North Broadway, Wichita, KS 67214
x Mike Lindebak, City Engineer

WICHITA—SEDGWICK COUNTY



METROPOLITAN AREA PLANNING
COMMISSION

CITY HALL — TENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202
(316) 268-4561

December 13, 1984

Mr. Gary Wiley
Professional Engineering Consultants, P.A.
1440 East English
Wichita, KS 67211

Re.: S/D 84-94 - Final Plat of Big Lake Addition

Gentlemen:

At the regular meeting of the Metropolitan Area Planning Commission on December 13, 1984, the above-captioned plat was considered. The action of the Planning Commission was to recommend that the plat be approved as recommended by the Subdivision Committee subject to the conditions stated in our letter of December 7, 1984.

In addition to complying with those conditions, it is necessary that you meet the following requirements before this plat can be forwarded to the Board of City Commissioners for consideration:

1. Submission of the fully completed and signed tracing of the subdivision to the Metropolitan Area Planning Department.
2. Submission of a title report by an abstract or title insurance company or an attorney's opinion that fee title is vested in the platlor.
3. Certification that all real estate taxes for 1982 (both first and second halves) and prior years have been paid.

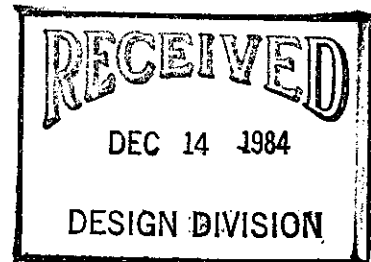
Please call if you have any questions.

Very truly yours,

Barbara R. Bonanni

Barbara R. Bonanni
Planning Analyst

BRB:mlh



cc: Foundation, Inc., c/o Donald P. Cain, Sr., P.O. Box 9090,
Wichita, KS 67277

Tom Weir, 1107 North Broadway, Wichita, KS 67214
✓ Mike Lindebak, City Engineer