

**SUBDIVISION COMMITTEE
METROPOLITAN AREA PLANNING COMMISSION**

AGENDA ITEM NO. 7

July 24, 1997

**STAFF REPORT
(One-Step Preliminary Final)**

CASE NUMBER: S/D 97-49 BETTY JOAN'S HILL ADDITION

OWNER/APPLICANT: Betty Sanders-Merill, 1030 S. 151st Street West,
Wichita, KS, 67052

SURVEYOR/ENGINEER: Armstrong Land Survey, P.A., 250 Mathewson,
Wichita, KS, 67214 263-0082

LOCATION: East of 151st Street West, 1/2 mile south of Maple

SITE SIZE: 8.90 acres

NUMBER OF LOTS

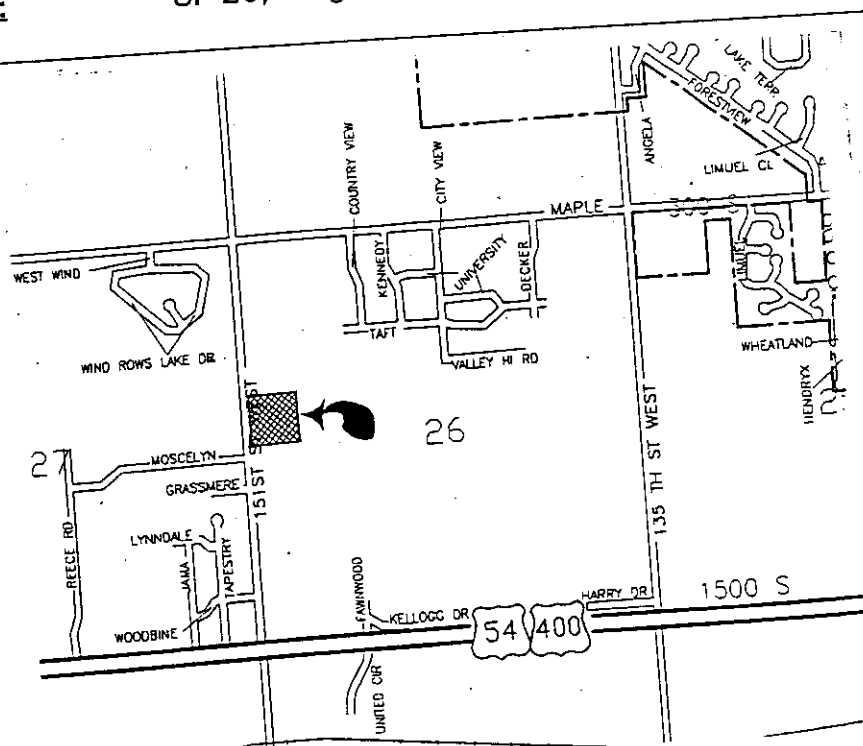
Residential:	2
Office:	
Commercial:	
Industrial:	
Total:	<u>2</u>

MINIMUM LOT AREA: 3.702 sq. ft.

CURRENT ZONING: SF-20, Single-Family

PROPOSED ZONING: SF-20, Single-Family

VICINITY MAP:



Note: This proposed plat is located in the "urban reserve" area established by the Wichita-Sedgwick County Comprehensive Plan map of November 1996. The urban reserve is defined as those areas where urban development is likely to occur by 2010. Until urban densities occur, only typical rural densities should be encouraged in urban reserve areas. This plat proposes two lots. One is 3.7 acres in size, while the other is 5.2 acres. In staff's opinion, this plat is an under utilization of property more appropriately planned for more dense urban scale development. In fact, the area around this proposed plat is already in various stages of urban scale development. A sketch plat of Auburn Hills, located adjacent to the south line of the proposed plat, depicting urban size lots has been previously submitted. The MAPC recently approved Reece Farms, located west of the proposed plat, with urban scale lots. Staff's recommendation is to: a) redesign the plat with urban sized lots (6,000 - 8,000 square feet) and covenant the smaller lots together into larger lots so that the potential exists for developing this site at urban densities; or b) show contingent dedications of right-of-way and building setback lines so that the large lots can be later divided into smaller lots; or c) deny the plat.

STAFF COMMENTS:

- A. The applicant shall guarantee the extension of sanitary sewer to serve the lots being created. If on-site disposal is to be used until sewer is extended, a memorandum of approval from the Health Department shall be obtained prior to governing body consideration.
- B. The applicant shall guarantee the extension of Wichita water service to serve the lots being created. If on-site water is to be utilized until city water is available, then a memorandum of approval from the Health Department shall be obtained prior to governing body consideration.
- C. County Engineering needs to comment on the status of the applicant's drainage plan.
- D. The applicant shall guarantee the construction of any drainage improvements required by the platting of this property, including storm sewers.
- E. The representatives from the utility companies should be prepared to comment on the need for utility easements to be platted on this property.
- F. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning Department for recording.

- G. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- H. The applicant's engineer is advised that the Register of Deeds is requiring the name(s) of the notary public, who acknowledges the signatures on this plat, to be printed beneath the notary's signature.
- I. To receive mail delivery without delay, and to avoid unnecessary expense, the applicant is advised of the necessity to meet with the U.S. Postal Service Growth Management Coordinator (316-729-0102) prior to development of the plat so that the type of delivery, and the tentative mailbox locations can be determined.
- J. The applicant is advised that various State and Federal requirements for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements (Army Corps of Engineers, Kanopolis Project Office, Rt. 1, Box 30, Marquette Kansas, 67464, 913-546-2294 or Kansas Department of Wildlife and Parks)
- K. Engineering needs to comment on the need, if any, for improvements to 151st. Street West.
- L. Perimeter closure computations should be submitted with the final plat tracing.
- M. Recording of the plat within 30 days after approval by the City Council.
- N. The applicant shall request annexation to the City of Wichita. (Auburn Hills Addition is expected to request annexation shortly.)
- O. A road connection between this plat and the Auburn Hills plat should be evaluated.

**SUBDIVISION COMMITTEE
METROPOLITAN AREA PLANNING COMMISSION**

AGENDA ITEM NO. 3

August 7, 1997

STAFF REPORT

(One-Step Preliminary Final-Deferred from 7/24/97)

CASE NUMBER: S/D 97-49 BETTY JOAN'S HILL ADDITION

OWNER/APPLICANT: Betty Sanders-Merill, 1030 S. 151st Street West,
Wichita, KS, 67052

SURVEYOR/ENGINEER: Armstrong Land Survey, P.A., 250 Mathewson,
Wichita, KS, 67214 263-0082

LOCATION: East of 151st Street West, 1/2 mile south of Maple

SITE SIZE: 8.90 acres

NUMBER OF LOTS

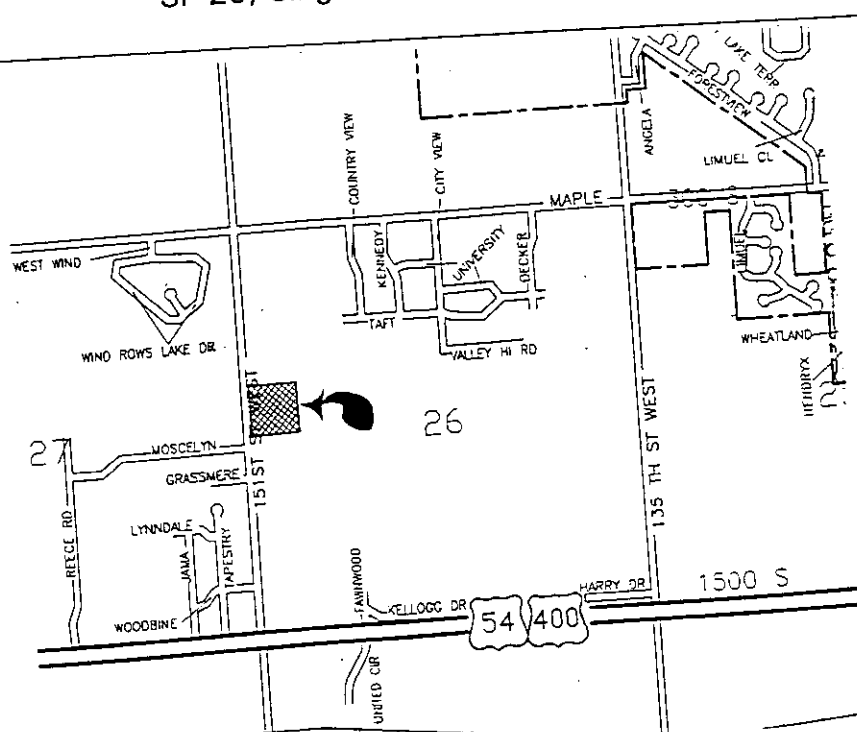
Residential:	2
Office:	
Commercial:	
Industrial:	
Total:	<u>2</u>

MINIMUM LOT AREA: 3.702 sq. ft.

CURRENT ZONING: SF-20, Single-Family

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VICINITY MAP:



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STAFF COMMENTS:

- A. The applicant shall guarantee the extension of sanitary sewer to serve the lots being created. If on-site disposal is to be used until sewer is extended, a memorandum of approval from the Health Department shall be obtained prior to governing body consideration. Applicant will ask County Engineering and City Engineering to sort out sanitary sewer service requests.
- B. The applicant shall guarantee the extension of Wichita water service to serve the lots being created. If on-site water is to be utilized until city water is available, then a memorandum of approval from the Health Department shall be obtained prior to governing body consideration.
- C. County Engineering needs to comment on the status of the applicant's drainage plan.
- D. The applicant shall guarantee the construction of any drainage improvements required by the platting of this property, including storm sewers.
- E. The representatives from the utility companies should be prepared to comment on the need for utility easements to be platted on this property.
- F. If improvements are guaranteed by petition, a notarized certificate listing the

petitions shall be submitted to the Planning Department for recording.

- G. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- H. The applicant's engineer is advised that the Register of Deeds is requiring the name(s) of the notary public, who acknowledges the signatures on this plat, to be printed beneath the notary's signature.
- I. To receive mail delivery without delay, and to avoid unnecessary expense, the applicant is advised of the necessity to meet with the U.S. Postal Service Growth Management Coordinator (316-729-0102) prior to development of the plat so that the type of delivery, and the tentative mailbox locations can be determined.
- J. The applicant is advised that various State and Federal requirements for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements (Army Corps of Engineers, Kanopolis Project Office, Rt. 1, Box 30, Marquette Kansas, 67464, 913-546-2294 or Kansas Department of Wildlife and Parks)
- K. Engineering needs to comment on the need, if any, for improvements to 151st Street West. Applicant needs to proportionally portray improvements to 151st Street West.
- L. Perimeter closure computations should be submitted with the final plat tracing.
- M. Recording of the plat within 30 days after approval by the City Council.
- N. The applicant shall request annexation to the City of Wichita. (Auburn Hills Addition is expected to request annexation shortly.)
- O. A road connection between this plat and the Auburn Hills plat should be evaluated.

**SUBDIVISION COMMITTEE
METROPOLITAN AREA PLANNING COMMISSION**

AGENDA ITEM NO. 5

August 21, 1997

STAFF REPORT

(One-Step Final-Deferred from 7/24/97 and 8/7/97)

CASE NUMBER: S/D 97-49 BETTY JOAN'S HILL ADDITION

OWNER/APPLICANT: Betty Sanders-Merill, 1030 S. 151st Street West,
Wichita, KS, 67052

SURVEYOR/ENGINEER: Armstrong Land Survey, P.A., 250 Mathewson,
Wichita, KS, 67214

LOCATION: East of 151st Street West, one-half mile south of
Maple

SITE SIZE: 8.90 acres

NUMBER OF LOTS

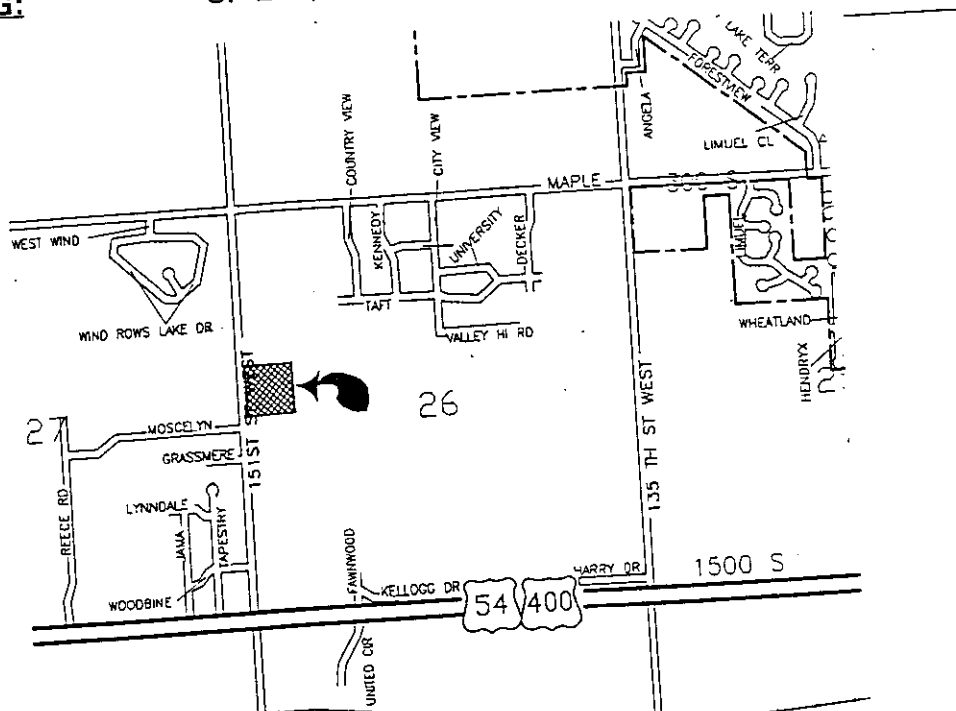
Residential:	2
Office:	
Commercial:	
Industrial:	
Total:	<u>2</u>

MINIMUM LOT AREA: 3.702 sq. ft.

CURRENT ZONING: "SF-20", Single-Family

PROPOSED ZONING: "SF-20", Single-Family

VICINITY MAP:



Note: This proposed plat is located in the "urban reserve" area established by the Wichita-Sedgwick County Comprehensive Plan map of November 1996. The urban reserve is defined as those areas where urban development is likely to occur by 2010. Until urban densities occur, only typical rural densities should be encouraged in urban reserve areas. This plat proposes two lots. One is 3.7 acres in size, while the other is 5.2 acres. In staff's opinion, this plat is an under utilization of property more appropriately planned for more dense urban scale development. In fact, the area around this proposed plat is already in various stages of urban scale development. A sketch plat of Auburn Hills, located adjacent to the south line of the proposed plat, depicting urban size lots has been previously submitted. The MAPC recently approved Reece Farms, located west of the proposed plat, with urban scale lots. Staff's recommendation is to: a) redesign the plat with urban sized lots (6,000 - 8,000 square feet) and covenant the smaller lots together into larger lots so that the potential exists for developing this site at urban densities; or b) show contingent dedications of right-of-way and building setback lines so that the large lots can be later divided into smaller lots; or c) deny the plat. The applicant and staff have met since the last Subdivision Meeting. Agreement has been reached to drop the request for right-of-way along the eastern property line. The applicant will provide 60 feet of right-of-way along the contingent street right-of-way cul-de-sac off 151st Street.

STAFF COMMENTS:

- A. The applicant shall guarantee the extension of sanitary sewer to serve the lots being created. If on-site disposal is to be used until sewer is extended, a memorandum of approval from the Health Department shall be obtained prior to governing body consideration. Applicant will ask County Engineering and City Engineering to sort out sanitary sewer service requests. ***An amendment to the City/County agreement will be needed.***
- B. The applicant shall guarantee the extension of Wichita water service to serve the lots being created. If on-site water is to be utilized until city water is available, then a memorandum of approval from the Health Department shall be obtained prior to governing body consideration. ***An outside-the-city water agreement will be provided by the applicants.***
- C. County Engineering needs to comment on the status of the applicant's drainage plan. ***County Engineering has approved the drainage plan.***
- D. The applicant shall guarantee the construction of any drainage improvements required by the platting of this property, including storm sewers.

- E. The representatives from the utility companies should be prepared to comment on the need for utility easements to be platted on this property. ***No additional easement will be required.***
- F. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning Department for recording.
- G. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- H. The applicant's engineer is advised that the Register of Deeds is requiring the name(s) of the notary public, who acknowledges the signatures on this plat, to be printed beneath the notary's signature.
- I. To receive mail delivery without delay, and to avoid unnecessary expense, the applicant is advised of the necessity to meet with the U.S. Postal Service Growth Management Coordinator (316-729-0102) prior to development of the plat so that the type of delivery, and the tentative mailbox locations can be determined.
- J. The applicant is advised that various State and Federal requirements for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements (Army Corps of Engineers, Kanopolis Project Office, Rt. 1, Box 30, Marquette Kansas, 67464, 913-546-2294 or Kansas Department of Wildlife and Parks)
- K. Engineering needs to comment on the need, if any, for improvements to 151st Street West. Applicant needs to proportionally portray improvements to 151st Street West.

County Engineering is not asking for any improvements to 151st Street West.
- L. Perimeter closure computations should be submitted with the final plat tracing.
- M. Recording of the plat within thirty (30) days after approval by the City Council.

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- N. The applicant shall request annexation to the City of Wichita. (Auburn Hills Addition is expected to request annexation shortly.)
- O. A road connection between this plat and the Auburn Hills plat should be evaluated.