

September 5, 1996

**STAFF REPORT**  
**(Preliminary Plat)**

**CASE NUMBER:** S/D 96-60 - NORTHRIDGE ESTATES ADDITION

**OWNER/APPLICANT:** Steve Seiler, P. O. Box 711, Cheney, KS 67205

**SURVEYOR/ENGINEER:** Attn: Mark Savoy, Savoy, Ruggles, & Bohm, P.A., 924 N. Main, Wichita, KS 67203

**CITY OF CHENEY:** Mary Knopick, City Clerk, City of Cheney, 100 W. 1st, Box 1, Cheney, KS 67025

**LOCATION:** East of Cheney Spur (383rd Street West) and south of 23rd Street South

**SITE SIZE:** 32.3 Acres

**NUMBER OF LOTS**

Residential:	8
Office:	
Commercial:	
Industrial:	
Total:	<u>8</u>

**MINIMUM LOT AREA:** 101,010 sq. ft. (2.32 Acres)

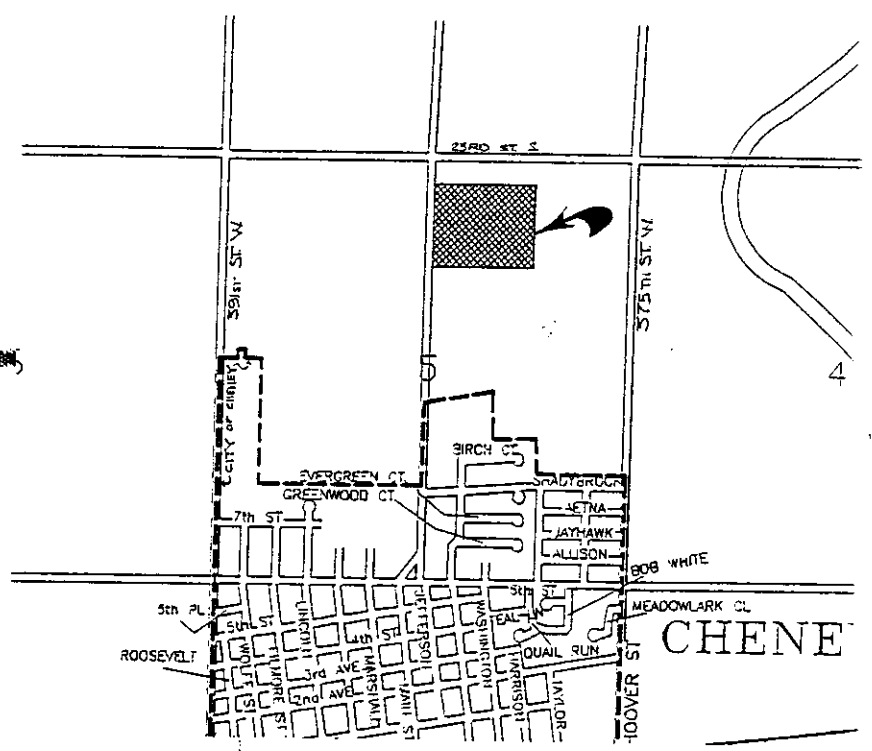
**CURRENT ZONING:** "RR"

**PROPOSED ZONING:**

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**VICINITY MAP:**



NOTE: The site of this proposed Addition is in western Sedgwick County and just north of the City of Cheney. The plat's application indicates that municipal facilities (water, sanitary sewer) are not available at this time and apparently on-site facilities will be involved. Although the lots are relatively large, most are significantly restricted in usable area due to floodway.

STAFF COMMENTS:

- A. The applicant shall submit a letter from the City of Cheney indicating whether this site needs to participate in the extensions of facilities from that City. If facilities (water, sanitary sewer) can be made available from Cheney, this letter shall also note that the applicant has made satisfactory arrangements for such improvements.
- B. If neither municipal water nor sanitary sewer is available to serve this property, the applicant shall contact the Environmental Health Division of the Health Department to find out what tests may be necessary and what standards are to be met for approval of on-site sewerage facilities and water wells. A memorandum shall be obtained specifying approval. Based on the lot sizes being platted, this approval must be for the use of septic sanitary sewer systems.

However, the Health Department needs to comment if certain of the lots have sufficient area, free of floodway, to provide for a home and septic system. Specifically, Lots 2, 3, 4 and 5 have usable areas of only from 24,000 sq. ft. to approximately 30,000 sq. ft. While lots of 40,000 sq. ft. are required for the use of septic and well systems; and these "lots" exceed that size limit, as noted "usable" areas are well under that size limit for several of the lots. If necessary, several lots may need to be combined so as to provide sufficient usable areas.

- C. The applicant shall guarantee with the County, the installation of the interior street to the suburban, gravel standard.
- D. Since Cheney Spur is a major north-south street connecting U.S. 54 and Cheney, all lots adjacent to that street shall be platted with complete access control.
- A guarantee shall, therefore, be provided to close the opening shown at the southwest corner of Lot 7.
- E. The applicant shall guarantee any drainage improvements required by the platting of this property.
- F. Since this plat involves the platting of a floodway, the platting's text on the final plat shall reference the standard floodway language.
- G. As required by the County Engineer, the final plat shall note the platting of minimum building pad elevations.
- H. The final plat tracing shall reference the required minimum building pad elevation in Mean Sea Level as well as City Datum.
- I. As this property is establishing minimum building pad elevations, the face of the plat shall

reference the location and elevation of permanent on-site and off-site benchmarks. Section 5-402(N).

- J. On the final plat, the street Northridge shall be renamed as a "Circle" and not a Court.
- K. The 40-foot ingress and egress easement along the west line of Lot 6, if created by separate instrument, needs to have indicated the recording information for the easement on the plat. Unless this easement is for a public purpose, its creation (as a private type easement) through platting is not appropriate.
- L. Approval of this plat by the MAPC will indicate waiver of the lot depth to width standard (not more than 2½ times width).
- M. Requirements for a final plat (see pages 5-5 through 5-10, Part 4, Article 5 of the MAPC Subdivision Regulations).
- N. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- O. To receive mail delivery without delay, and to avoid unnecessary expense, the applicant is advised of the necessity to meet with the U.S. Postal Service Growth Management Coordinator (phone 316-729-0102) prior to development of the plat so that the type of delivery, and the tentative mailbox locations can be determined.
- P. The applicant's engineer is advised that the Register of Deeds is requiring the name(s) of the notary public, who acknowledges the signatures on this plat, to be printed beneath the notary's signature.
- Q. Prior to or at the time of submitting the final plat, the applicant shall submit a drainage plan to County Engineering for review and approval.
- R. The representatives from the utility companies should be prepared to comment on the need for utility easements to be platted on this property.
- S. The applicant is advised that various State and Federal requirements [specifically but not limited to the Army Corps of Engineers, Kanopolis Project Office, Rt. 1, Box 30, Marquette, KS 67464 (913-546-2294) or Kansas Department of Wildlife and Parks, P. O. Box 317, Valley Center, KS 67147] for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements.
- T. The representatives from County Engineering should be prepared to comment on the status of the applicant's drainage concept. Engineering also needs to comment on the adequacy of the floodway being platted and requirements for minimum building pad elevations.

November 7, 1996

**STAFF REPORT**  
(Final Plat, Preliminary Plat Approved 9/5/96)

**CASE NUMBER:** S/D 96-60 - NORTHRIDGE ESTATES ADDITION

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**SURVEYOR/ENGINEER:** Attn: Mark Savoy, Savoy, Ruggles, & Bohm, P.A., 924 N. Main, Wichita, KS 67203

**CITY OF CHENEY:** Carol A. Bloodworth, City Administrator, ~~Mary Knopick, City Clerk~~, 100 W. 1st, Box 1, Cheney, KS 67205

**LOCATION:** East of Cheney Spur (383rd Street West) and south of 23rd Street South

**SITE SIZE:** 32.3 Acres

**NUMBER OF LOTS**

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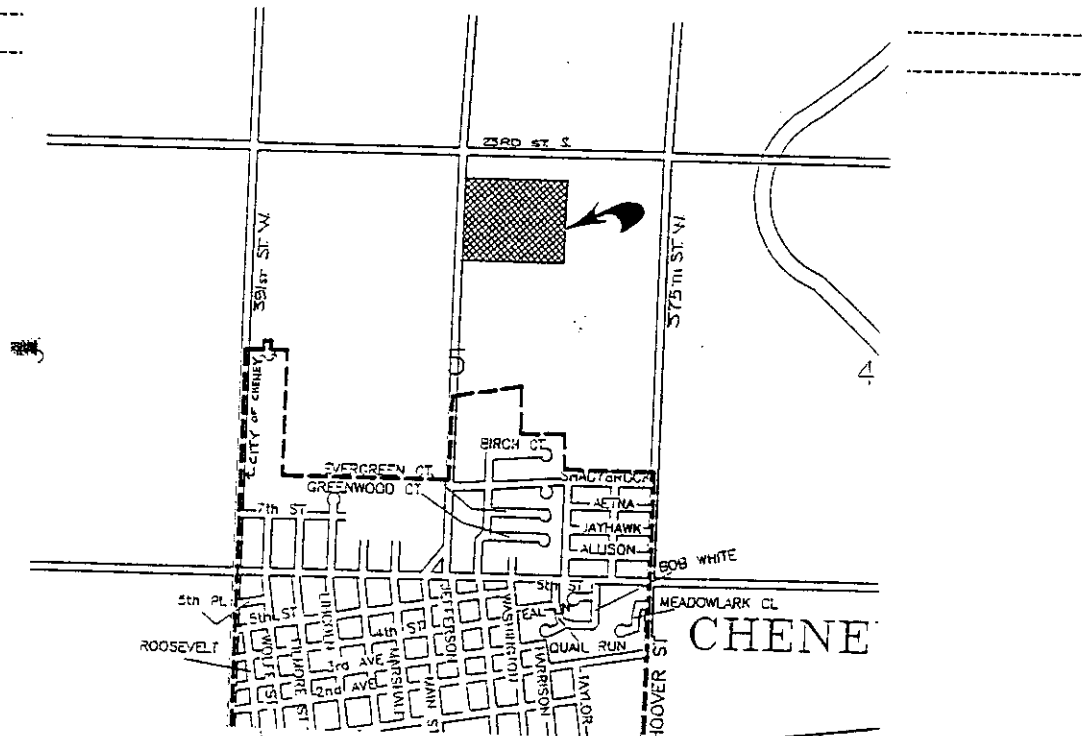
**CURRENT ZONING:** "RR"

**PROPOSED ZONING:**

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**VICINITY MAP:**



NOTE: The site of this proposed Addition is in western Sedgwick County and just north of the City of Cheney. The plat's application indicates that municipal facilities (water, sanitary sewer) are not available at this time and apparently on-site facilities will be involved. Although the lots are relatively large, most are significantly restricted in usable area due to floodway.

STAFF COMMENTS:

A. The applicant shall submit a letter from the City of Cheney indicating whether this site needs to participate in the extensions of facilities from that City. If facilities (water, sanitary sewer, natural gas) can be made available from Cheney, this letter shall also note that the applicant has made satisfactory arrangements for such improvements. Note, the final plat will not be scheduled for Subdivision Committee review until such time as the City of Cheney has had an opportunity to comment on this plat. Prior to submitting the final plat, the applicant is encouraged to meet with Cheney officials to discuss and resolve any possible concerns.

B. If neither municipal water nor sanitary sewer is available to serve this property, the applicant shall contact the Environmental Health Division of the Health Department to find out what tests may be necessary and what standards are to be met for approval of on-site sewerage facilities and water wells. A memorandum shall be obtained specifying approval. Based on the lot sizes being platted, this approval must be for the use of septic sanitary sewer systems.

As determined necessary by the Health Department, lots may need to be combined to allow the use of lagoons or to provide sufficient space for septic systems. Alternatively, some lots as now platted may be allowed to use septic fields, provided that a covenant is submitted which identifies a sufficient area (10,000 sq. ft.) for the use of a septic system and unencumbered by other uses. Prior to submitting the final plat, the applicant was to meet with the Health Department to determine any needed actions, including revising the plat. Health needs to indicate if such a meeting was held and if any requirements are to be established for this site.

C. The applicant shall guarantee with the County, the installation of the interior street to the suburban, gravel standard.

D. During review of the preliminary plat, it was stated and approved that since Cheney Spur is a major north-south street connecting U.S. 54 and Cheney, all lots adjacent to that street shall be platted with complete access control. Also that a guarantee shall, therefore, be provided to close the opening shown at the southwest corner of Lot 7.

However, this final plat is continuing to show an access opening to 383rd Street West from Lot 7. At this time, apparently, an existing use on what is being platted as Lot 6, has driveway access out to 383rd Street West. Also, a use to the south appears to be using this opening for access. The plat is indicating a 40-foot easement to the interior cul-de-sac, which would apparently be to the benefit of the use south of the site. Also, the uses on Lot 6 would be expected to use the interior street when it is constructed. Consequently, the opening to 383rd Street West, appears to be a temporary need until such time as the interior street is constructed.

It is recommended, therefore, that the opening from Lot 7 only be allowed as temporary access. That a contingent dedication of complete access control by separate instrument be

provided and that words to that effect be placed in the plat's text. The contingency itself stating that complete access control to 383rd Street West from Lot 7 will occur when 383rd Street West Ct. is constructed.

- E. The applicant shall guarantee any drainage improvements required by the platting of this property.
- F. The 40-foot ingress and egress easement along the west line of Lot 6, if created by separate instrument, needs to have indicated the recording information for the easement on the plat. Unless this easement is for a public purpose, its creation (as a private type easement) through platting is not appropriate.
- G. Approval of this plat by the MAPC will indicate waiver of the lot depth to width standard (not more than 2½ times width).
- H. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
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- L. The applicant's agent shall submit a properly prepared plat binder/title report. The copy provided with the final plat for example does not even indicate who prepared the policy and is unsigned or not documented.
- M. Perimeter closure computations shall be submitted with the final plat tracing. Section 5-101(c).
- N. Recording of the plat within 30 days after approval by the City Council and/or County Commission.
- O. The representatives from **County Engineering** should be prepared to comment on the status of the applicant's drainage plan. **Engineering** also needs to indicate the acceptability of the indicated floodway and minimum building pad elevations.

November 21, 1996

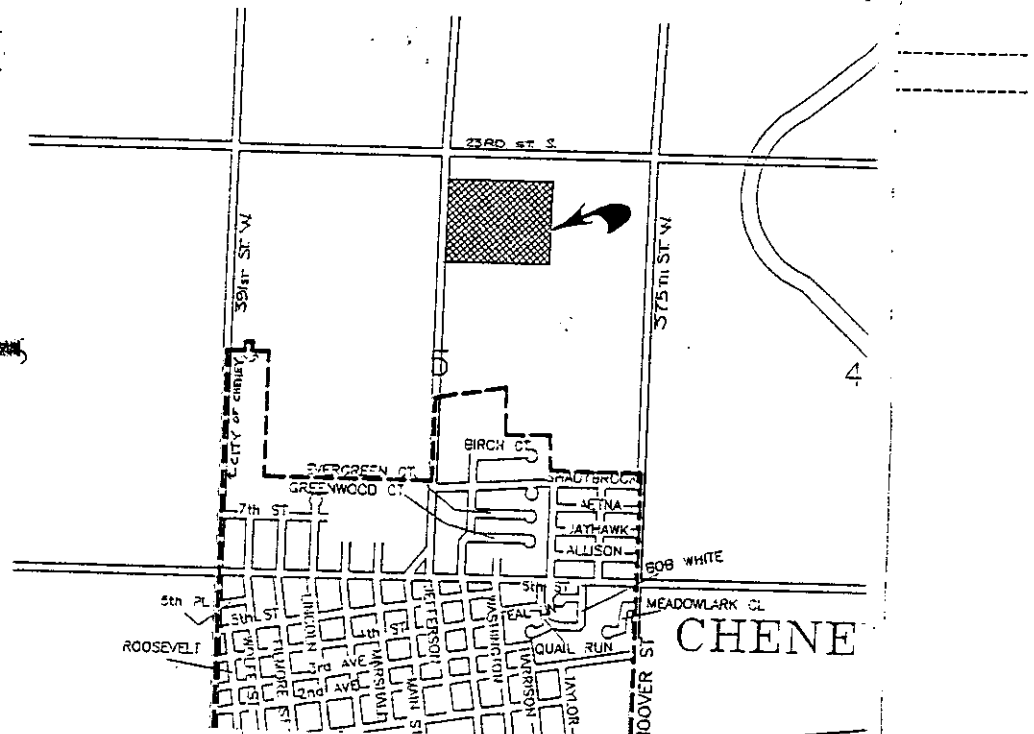
**STAFF REPORT**

(Final Plat Deferred 11/7/96, Preliminary Plat Approved 9/5/96)  
(Plat provided to the Subdivision Committee on 11/7/96)

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- CURRENT ZONING:** "RR"

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**VICINITY MAP:**



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- A. The applicant shall submit a letter from the City of Cheney indicating whether this site needs to participate in the extensions of facilities from that City. If facilities (water, sanitary sewer, natural gas) can be made available from Cheney, this letter shall also note that the applicant has made satisfactory arrangements for such improvements. Note, the final plat will not be scheduled for Subdivision Committee review until such time as the City of Cheney has had an opportunity to comment on this plat. Prior to submitting the final plat, the applicant is encouraged to meet with Cheney officials to discuss and resolve any possible concerns.

The applicant is advised that based on conversations with Officials from Cheney, this site may be required to agree to participate in any future extensions of Municipal water in this area, by Cheney.

- B. If neither municipal water nor sanitary sewer is available to serve this property, the applicant shall contact the Environmental Health Division of the Health Department to find out what tests may be necessary and what standards are to be met for approval of on-site sewerage facilities and water wells. A memorandum shall be obtained specifying approval. Based on the lot sizes being platted, this approval must be for the use of septic sanitary sewer systems.

As determined necessary by the Health Department, lots may need to be combined to allow the use of lagoons or to provide sufficient space for septic systems. Alternatively, some lots as now platted may be allowed to use septic fields, provided that a covenant is submitted which identifies a sufficient area (10,000 sq. ft.) for the use of a septic system and unencumbered by other uses. Prior to submitting the final plat, the applicant was to meet with the Health Department to determine any needed actions, including revising the plat. Health needs to indicate if such a meeting was held and if any requirements are to be established for this site.

As was noted by the Subdivision Committee, this plat needs to address concerns with the limited space actually available for the location of a home, associated facilities and on-site sanitary sewer and wells on a number of the lots. Further, Lot 7 does not appear buildable by itself at this time and should be combined with Lot 8 as one (1) building site for the time being.

- C. The applicant shall guarantee with the County, the installation of the interior street to the suburban, gravel standard.
- D. During review of the preliminary plat, it was stated and approved that since Cheney Spur is a major north-south street connecting U.S. 54 and Cheney, all lots adjacent to that street shall be platted with complete access control. Also that a guarantee shall, therefore, be provided to close the opening shown at the southwest corner of Lot 7.

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- M. Perimeter closure computations shall be submitted with the final plat tracing. Section 5-101(c).
- N. Recording of the plat within 30 days after approval by the City Council and/or County Commission.
- O. The representatives from County Engineering should be prepared to comment on the status of the applicant's drainage plan. Engineering also needs to indicate the acceptability of the indicated floodway and minimum building pad elevations.

As noted by County Engineering during the Subdivision Meeting of November 7, 1996, the term "Easement" needs to be deleted from the area shown as a "Floodway Reserve" on the face of the plat. Also, the plattor's text shall be amended to delete reference to an easement when associated with the Floodway Reserve. Further, Lots 3, 4, 5 and 6 shall indicate a minimum building pad elevation of 1364'.