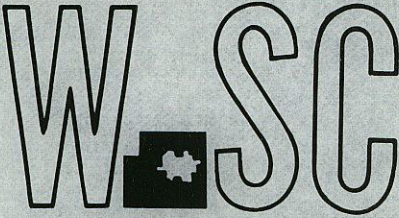
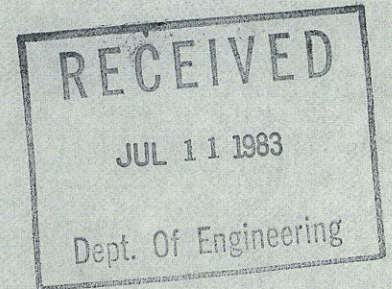


WICHITA - SEDGWICK COUNTY



METROPOLITAN AREA PLANNING
COMMISSION

CITY HALL - TENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202
(316) 268-4561



July 8, 1983

Baughman Company, P.A.
330 Laura
Wichita, Kansas 67211

Re: S/D 83-43 - Final plat of Northridge Industrial Park

Gentlemen:

At the regular meeting of the Subdivision Committee of the Metropolitan Area Planning Commission on Thursday, July 7, 1983, the above-captioned plat was considered. The action of the Committee was to recommend that this plat be approved subject to:

- A. Since required improvements must be extended from the City of Wichita, and since this plat abuts current City limits, the applicant shall request annexation into the City of Wichita. It is recommended that all the property included in the preliminary plat be annexed so that the Poplar Street cul-de-sac and the proposed detention pond, which are both requirements of this plat, will also be within the City.
- B. The applicant shall guarantee the extension of sanitary sewer to serve the lots in this industrial plat. This sewer service will require a temporary lift station.
- C. It is recommended that all the property which was in the preliminary plat be included in the final plat. In lieu of this, at least the drainage pond area should be platted. The applicant's agent shall meet with Planning and Engineering staff to determine what is best in this regard. If all the property is not platted, off-site drainage easements will be required. Provisions will need to be made for ownership and maintenance of the drainage pond, whether platted or unplatted. A guarantee for its construction will be required.
- D. The applicant shall guarantee the paving of the industrial streets including the construction of the temporary turnaround for Poplar Street.
- E. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning Department for recording.

Baughman Company, P.A.

July 8, 1983 - Page 2

- F. The applicant is proposing to relocate the Continental Oil Pipeline easement on this property to the north and east lines of this plat. A letter of approval shall be submitted from the pipeline company consenting to the easement location change. Appropriate recording data for the new easement shall be indicated on the plat.
- G. The final plat tracing shall indicate the south line of the proposed Continental Pipeline easement as also a 50' building setback from 37th Street North unless a greater setback is required by the pipeline company.
- H. If the temporary cul-de-sac for Poplar Street is outside the legal description of the property being platted, it shall be established by separate instrument. This instrument shall state that the cul-de-sac ceases to exist if and when Poplar Street is extended further south. The instrument shall be submitted to the Planning Department for approval and for recording with the plat.
- I. Reference shall be made in the plattor's text to the railroad easement in Block A.
- J. Closure computations shall be submitted with the final plat tracing.
- K. Recording of the plat within 30 days after approval by the Board of City Commissioners.

Enclosed with the applicant's copy of this letter is a list of the five methods which have been adopted as being acceptable for guaranteeing improvements required in the approval of plats. The certificate will be required if petitions are submitted. Forms for the bond and irrevocable letter of credit are available from this office.

The enclosed "marked" copy of the final plat is for your information and files.

This matter will be forwarded to the Planning Commission for its consideration on July 14, 1983, at 1:30 p.m. If you have any questions concerning this matter, please call.

Sincerely,



Louise Olivarez
Senior Planner

LO:bh

cc: Leasing and Rental Service, Inc., Box 968, 67201
Tom Jacob, 2424 N. Woodlawn

PLAT NAME Northridge Industrial Park

GENERAL DESCRIPTION South side of 37th St. North approximately 1/2 mile west of Hillside

LOCATION: Section _____ Township _____ Range _____ Verified by: _____

BENCH MARK or ELEVATION DATUM _____ Verified by: _____

OWNER Leasing & Rental Service, Inc. Atten: Leslie J. Rudd

ENGINEERS Baughman Company, P.A., 330 Laura, Wichita, Ks. 67211, 262-7271

ARCHITECTS _____

SKETCH PLAT SUBMITTED _____

PRELIMINARY PLAT SUBMITTED _____

FLOOD CONTROL RECOMMENDATIONS _____

SUBDIVISION COMMITTEE ACTION _____

FINAL PLAT SUBMITTED _____

FLOOD CONTROL RECOMMENDATIONS _____

SUBDIVISION COMMITTEE ACTION _____

MAPC ACTION _____

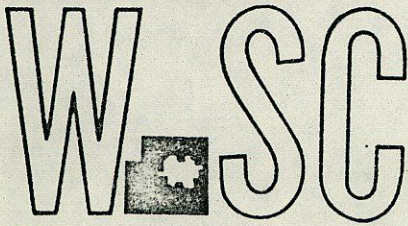
BOARD OF CITY COMMISSIONERS ACTION _____

BOARD OF COUNTY COMMISSIONERS ACTION _____

RECORDED _____

REMARKS _____

WICHITA - SEDGWICK COUNTY



METROPOLITAN AREA PLANNING
DEPARTMENT

CITY HALL - TENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202
(316) 268-4561

June 10, 1983

RECEIVED

JUN 13 1983

Dept. Of Engineering

Baughman Company, P.A.
330 Laura
Wichita, Kansas 67211

Re: S/D 83-43 - Preliminary plat of Northridge Industrial Park

Gentlemen:

At the regular meeting of the Subdivision Committee of the Metropolitan Area Planning Commission, June 9, 1983, the above-captioned plat was considered. The action of the Committee was to approve the preliminary and authorize preparation of the final plat, subject to the following:

- A. Since required improvements must be extended from the City of Wichita, and since this plat abuts current City limits, the applicant shall request annexation into the City of Wichita.
- B. The applicant shall guarantee the extension of sanitary sewer to serve the lots in this industrial plat. This sewer service will require a temporary lift station. A proposed sanitary sewer layout shall be submitted prior to or along with submission of the final plat.
- C. The applicant's drainage concept proposes a detention pond on Lot 6, Block B with outfall into the existing channel. A final drainage plan shall be submitted with the final plat. The applicant shall guarantee all drainage improvements required for development. Provisions must be made for ownership and maintenance of the pond.
- D. The applicant shall guarantee the paving of the industrial streets including the construction of the temporary turn-around for Poplar Street.
- E. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning Department for recording.

Baughman Company, P.A.
June 10, 1983
Page 2

- F. As may be noted from the preliminary plat, the applicant is proposing to relocate the Continental Oil Pipeline easement on this property to the north and east lines of this plat. A letter of approval shall be submitted from the pipeline company consenting to the easement location change. Appropriate recording data shall be indicated on the plat.
- G. The final plat shall indicate the south line of the proposed Continental Pipeline easement as also a 50' building setback from 37th Street North unless a greater setback is required by the pipeline company.
- H. K.G. and E. advises that they have a high voltage transmission line located 31 feet south of the section line in a private easement.
- I. The final plat shall indicate complete access control to 37th Street across the north line of Block B. The Subdivision Committee recommends that one opening to 37th Street from Lot 1, Block A be allowed within the east 100 feet.
- J. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations.
- K. Requirements for a final plat (see pages 20-25, Part 4, Article 5 of the MAPC Subdivision Regulations).

Enclosed herewith is the "marked" copy of the preliminary plat for your information and files.

If you should have any questions concerning this matter, please call.

Sincerely,



Louise Olivarez
Senior Planner

LO:bh

cc: Leasing and Rental Service, Inc., Attention: Leslie J. Rudd,
Box 968, 67201
Tom Jacob, 2424 N. Woodlawn, 67226
x Mike Lindebak, City Engineering