

# OLIVER RETAIL CENTER COMMUNITY UNIT PLAN

DP-261

## GENERAL PROVISIONS:

- Total Land Area: 223,714 ± sq.ft. or 5.14 ± acres  
Net Land Area: 222,713 ± sq.ft. or 5.11 ± acres  
Total Gross Floor Area: 77,950 sq.ft.  
Total Floor Area Ratio: 35 percent
- Parking shall be provided in accordance with Section 28.04.140, et seq. of the Code of the City of Wichita, unless otherwise specified in the parcel description.
- Setbacks are as indicated on the C.U.P. drawing. If contiguous parcels are to be developed under the same ownership, setbacks between those parcels will not be required.
- A Drainage Plan shall be submitted to City Engineering for approval. Required guarantees for drainage shall be provided at the time of platting improvements.
- Guarantees for street improvements for Oliver Street and Deltrose Ave. shall be determined at the time of platting.
- Signs shall be in accordance with the Sign Code of the City of Wichita.
  - As the frontage develops along the arterial roadways, signs shall be spaced a minimum of 150' apart, irrespective of how land is leased or sold.
  - Portable and off-site signs are not permitted.
  - Window display signs are limited to 25% of the window area.
- Access Controls shall be as shown on the final plat.
- All parcels shall share similar or consistent parking lot lighting elements (i.e., fixtures, poles, and lamps, and etc.).
  - Limited height of light poles to 24 feet.
  - Extensive use of back lit canopies and neon or fluorescent tube lighting on buildings is not permitted.
  - All exterior lighting shall be shielded to direct light disbursement in a downward direction.
- Utilities shall be installed underground on all parcels, except the existing buildings west of Deltrose Avenue.
- Landscaping for this site shall be required as follows:
  - Development of all parcels within the C.U.P. shall comply with the Landscape Ordinance of the City of Wichita.
  - A landscape plan shall be prepared by a Kansas Landscape Architect for the above referenced landscaping, indicating the type, location, and specifications of all plant material. This plan shall be submitted to the Planning Department for their review and approval prior to issuance of a building permit.
  - A financial guarantee for the plant material approved on the landscape plan for that portion of the C.U.P. being developed shall be required prior to issuance of any occupancy permit, if the required landscape has not been planted.
- Screening Walls:
  - A six (6) foot high concrete/masonry wall shall be constructed along the south property lines of the C.U.P. where adjacent to residential zoning (See Drawing).
  - This solid wall shall be constructed of a pattern and color that is consistent with the building walls.
- Roof-top mechanical equipment shall be screened from ground level view per Unified Zoning Code.
- Trash receptacles shall be appropriately screened to reasonably hide them from ground view.
- All new buildings in the C.U.P. shall share uniform architectural character, color, texture, and the same predominate exterior building material. Building walls and roofs must have predominantly earth-tone colors, with vivid colors limited to incidental accents, and must employ materials similar to surrounding residential areas.
- Fire lanes shall be in accordance with the Fire Code of the City of Wichita. No parking shall be allowed in said fire lanes, although they may be used for passenger loading and unloading. The Fire Chief or his designated representative shall review and approve the location and design of all fire lanes. Fire hydrant installation and paved access to all building sites shall be provided for each phase of construction prior to the issuance of building permits.
- All parcels shall be zoned Limited Commercial. No Parcel within this C.U.P. shall allow the use of adult entertainment establishments, group homes, group residential, halfway houses, correctional placement residences, private clubs, taverns, and drinking establishments. Restaurants that serve liquor can be developed and may serve liquor, as long as food is the primary service of the establishment.
- Cross-lot circulation agreements shall be required at the time of platting to assure internal vehicular movement within the C.U.P.
- Amendments, adjustments or interpretations to this C.U.P. shall be done in accordance with the Unified Zoning Code.
- The Transfer of title of all or any portion of land included within the Community Unit Plan (or any amendments thereto) does not constitute a termination of the plan or any portion thereof, but said plan shall run with the land and be binding upon present owners, their successors and assigns.
- The development of this property shall proceed in accordance with the development plan as recommended for approval by the Planning Commission and approved by the Governing Body, and any substantial deviation of the plan, as determined by the Zoning Administrator or the Director of Planning, shall constitute a violation of the building permit authorizing construction of the proposed development.
- Any major changes in this development plan shall be submitted to the Planning Commission and to the Governing Body for their consideration.

## PARCEL 1

- Net Area: 163,385 sq.ft. or 3.75 acres
- Maximum Building Coverage: 49,016 sq.ft. or 30 percent
- Maximum Gross Floor Area: 57,185 sq.ft.
- Floor Area Ratio: 35 percent
- Maximum Number of Buildings: Four (4)
- Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall be not greater than 45 feet.
- Setbacks: See Drawing
- Access Points: See Drawing

## PARCEL 2

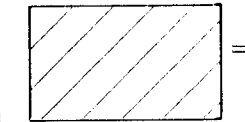
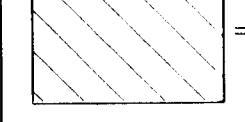
- Net Area: 60,329 sq.ft. or 1.38 acres
- Maximum Building Coverage: 18,099 sq.ft. or 30 percent
- Maximum Gross Floor Area: 21,115 sq.ft.
- Floor Area Ratio: 35 percent
- Maximum Number of Buildings: Two (2)
- Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall be not greater than 45 feet.
- Setbacks: See Drawing
- Access Points: See Drawing

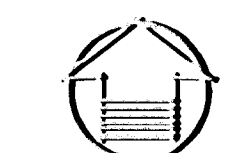
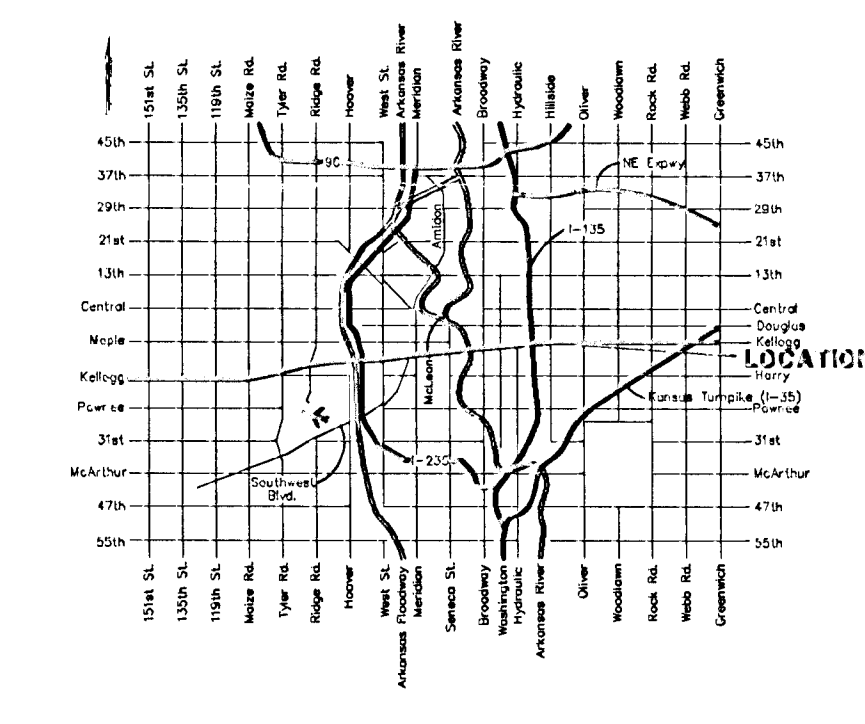
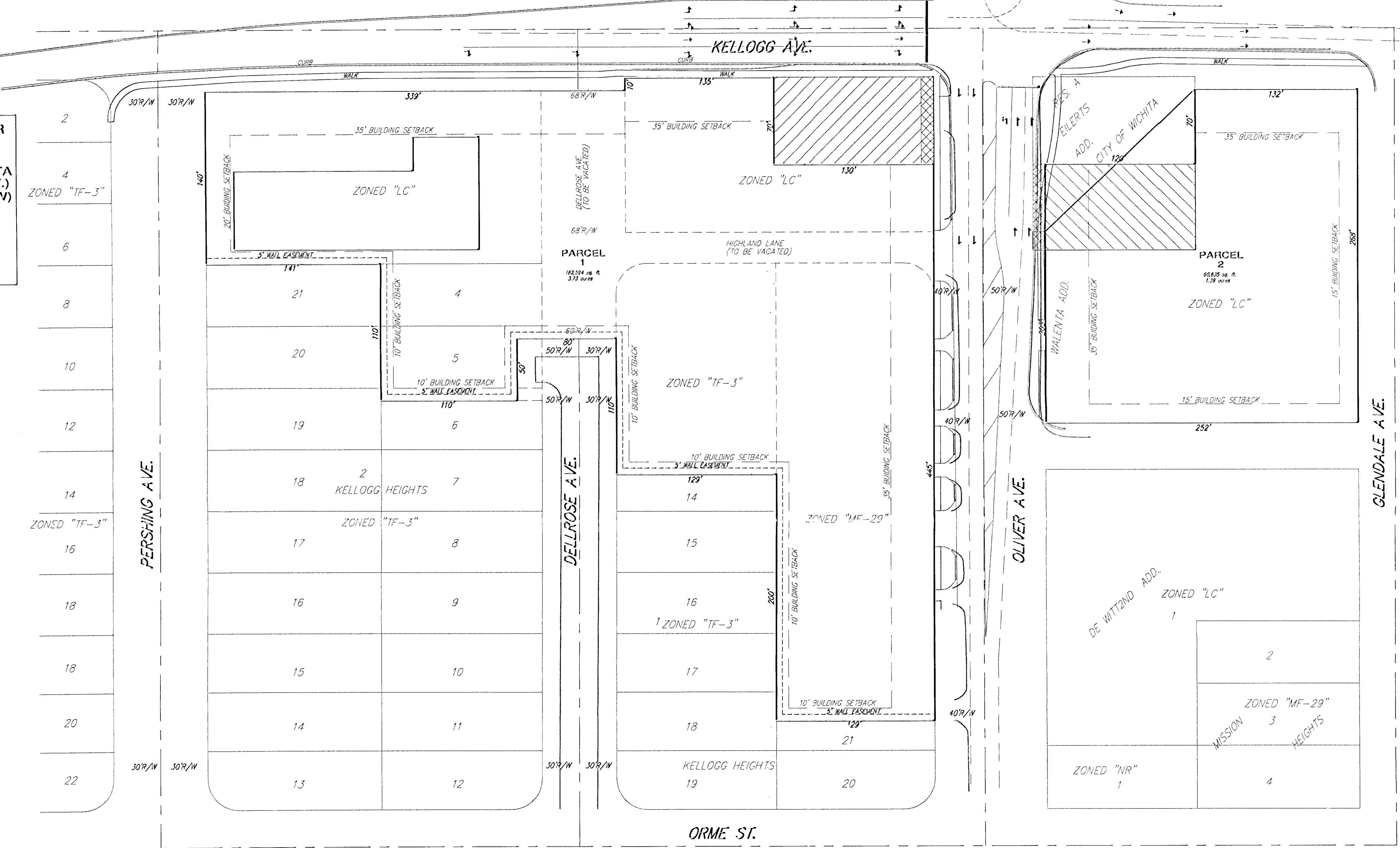
## LEGAL DESCRIPTION:

All of Lots 1 and 2, Parcel Addition, Wichita, Kansas, TOGETHER with Lots 1, 2, 3, 4, and 5, Block 1, Kellogg Heights Addition to Wichita, Kansas, except the north 70.00 feet thereof, TOGETHER with Lot 6 in said Block 1, except the east 5.10 feet of the north 10.00 feet thereof, TOGETHER with all of Lots 7, 8, 9, 10, 11, 12, 13, and the north 20.00 feet of Lot 14, together with the north 23.00 feet of Lot 21, and all of Lots 22, 23, 24, 25, 26, 27, and 28, all in Block 1, Kellogg Heights Addition to Wichita, Kansas, TOGETHER with all of Lot 4, Lot 5, except the east 20.00 feet of the south 50.00 feet thereof, and the north 10.00 feet of Lot 6, except the east 20.00 feet thereof, all in Block 2, in said Kellogg Heights Addition, TOGETHER with that part of Highland Lane as dedicated in said Kellogg Heights Addition lying west of the west right-of-way line of Oliver Ave. as dedicated in said Kellogg Heights Addition and lying east of the east right-of-way line of Deltrose Ave. as dedicated in said Kellogg Heights Addition, TOGETHER with that part of Deltrose Ave. as dedicated in said Kellogg Heights Addition lying north of the following described line: Commencing at the NE corner of Lot 5, Block 2, in said Kellogg Heights Addition; thence southerly along the east line of said Lot 5, 10.00 feet for a point of beginning; thence easterly parallel with the extended north line of said Lot 5, 60.00 feet, to a point on the east right-of-way line of said Deltrose Ave., and there ending, TOGETHER with all of Lot 1, Jim Burns Addition to Wichita, Kansas, TOGETHER with all of Lot 1, Valenta Addition, Wichita, Sedgwick County, Kansas, TOGETHER with the south half of Reserve "A", Elerts Addition to Wichita, Sedgwick County, Kansas, EXCEPT the west 10.00 feet thereof.

Note:  
Location of Kellogg improvements per HNTB Kellogg  
Plan(1926) sheet 18.

## PROPOSED LAND TRANSFER

-  = TRANSFERRED TO THE CITY OF WICHITA (9107 GROSS SQ. FT.) (700 SQ. FT. FOR R/W) (8407 NET SQ. FT.)
-  = TRANSFERRED TO PROPERTY OWNER (8407 SQ. FT.)



SCALE: 1" = 50'

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OLIVER RETAIL CENTER  
COMMUNITY UNIT PLAN

BAUGHMAN COMPANY P.A.  
ENGINEERING, SURVEYING, & PLANNING

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