

STAFF REPORT
(Preliminary Plat)

CASE NUMBER: SUB 2005-12 -- FALCON FALLS SECOND ADDITION

OWNER/APPLICANT: Heights, LLC, Jay Russell, P.O. Box 75337, Wichita, KS 67275-5337

SURVEYOR/ENGINEER: Baughman Company, P.A., 315 Ellis, Wichita, KS 67211

LOCATION: Northwest corner of Hillside and 45th St. North

SITE SIZE: 190.9 acres

NUMBER OF LOTS

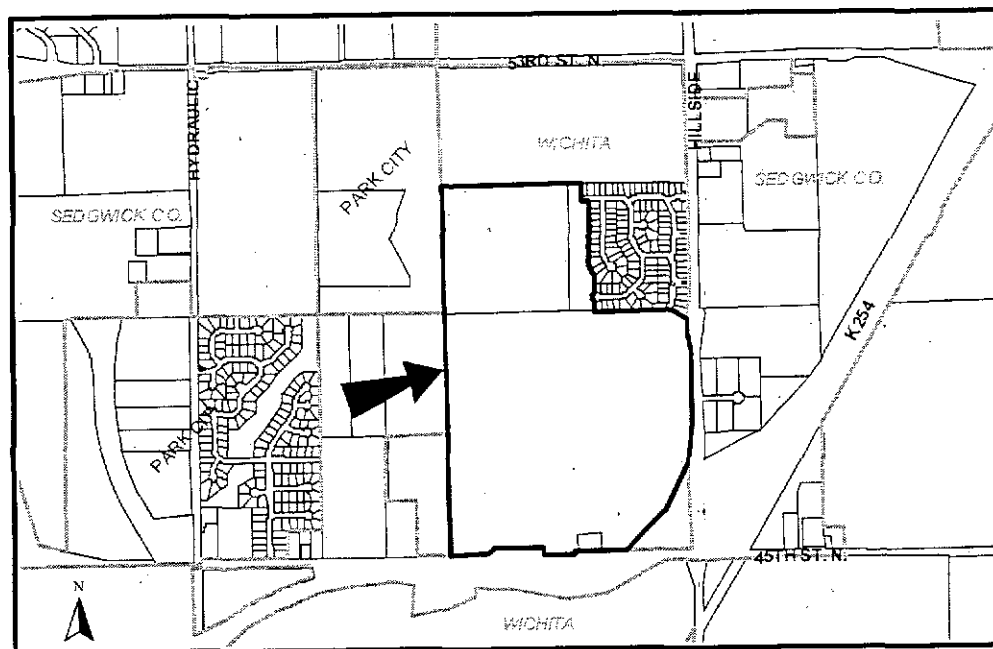
Residential:	315
Office:	
Commercial:	2
Industrial:	
Total:	<u>317</u>

MINIMUM LOT AREA: 9,600 sq. ft.

CURRENT ZONING: SF-5, Single-Family Residential; LC, Limited Commercial

PROPOSED ZONING: Same

VICINITY MAP



SUB 2005-12 -- Preliminary Plat of FALCON FALLS SECOND ADDITION
February 17, 2005 - Page 2

NOTE: This is an unplatted site located within the City. The applicant proposes a zone change from SF-5, Single-Family Residential to LC, Limited Commercial for Lots 1 and 2, Block G. A CUP will also be needed. The site is located within the 100-year floodplain.

STAFF COMMENTS:

- A. This plat will be subject to approval of the associated zone change and CUP and any related conditions. Prior to this plat being considered by MAPC, the zone change will need to be approved.
- B. The applicant shall guarantee the extension of sanitary sewer and City water to serve the lots being platted. City Engineering needs to comment on the need for other guarantees or easements.
- C. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning Department for recording.
- D. City Engineering needs to comment on the status of the applicant's drainage plan.
- E. County Engineering requests the Applicant submit a guarantee for paving on 45th St. from the interchange to west line of plat.
- F. County Engineering requests the Applicant submit a guarantee for left and right lanes for the entrance for Lots 1 & 2, Block G on Hillside.
- G. At the point where the existing Peregrine and proposed Peregrine meet, the road width may be too narrow because of the proposed curve on Lot 52, Block E.
- H. The plat's text shall include the standard floodway language.
- I. Traffic Engineering requests a revised street layout to incorporate Steppe as a 66-ft collector with minimal access from abutting lots, in addition to the use of roundabout(s) for local street intersections. The extension northward of Saker Ct in Block A is recommended to create a loop street.
- J. Traffic/County Engineering needs to comment on the access controls. The plat proposes one street opening to 45th St. North and one opening to the commercial lot. Two openings are proposed along Hillside to the commercial lots. County Engineering requests that the entrance to Lot 2, Block G on Hillside be located south of drainage structure. County Engineering requests the applicant consider relocating the north drive on Hillside to line up with 48th Street.
- K. The Applicant shall guarantee the paving of the proposed streets. The guarantee shall also provide for sidewalks on at least one side of all through, non cul-de-sac streets.
- L. If this site develops prior to Falcon Falls, the paving guarantee shall include the installation of a temporary turnaround at the terminus of Kite and Peregrine. The plat's text should indicate that the vacation of the temporary turnaround area will be effective upon the extension of the street.
- M. The paving guarantee shall include the installation of a temporary turnaround at the terminus of Kite at the plat's west line. The plat's text should indicate that the vacation of the temporary turnaround area will be effective upon the extension of the street westward.

SUB 2005-12 -- Preliminary Plat of FALCON FALLS SECOND ADDITION
February 17, 2005 - Page 3

- N. In accordance with the KS Wetland Mapping Conventions under the Memorandum of Understanding between the USDA-NRCS; USEPA; USACE; and USF&WS, this site has been identified as one with potential wetland hydrology. The US Army Corps of Engineers (USACE) should be contacted (316-322-8247) to have a wetland determination completed."
- O. Pedestrian access shall be included within Reserve F to provide access to the school to the north.
- P. Since one of the intended uses of Reserve E includes a swimming pool, a site plan shall be submitted with the final plat, for review and approval by the Planning Director. The site plan shall include the information indicated in the Subdivision Regulations. Otherwise a conditional use and public hearing will be needed in the future.
- Q. Provisions shall be made for ownership and maintenance of the proposed reserves. The applicant shall either form a lot owners' association prior to recording the plat or shall submit a covenant stating when the association will be formed, when the reserves will be deeded to the association and who is to own and maintain the reserves prior to the association taking over those responsibilities.
- R. For those reserves being platted for drainage purposes, the required covenant that provides for ownership and maintenance of the reserves shall grant, to the City, the authority to maintain the drainage reserves in the event the owner(s) fail to do so. The covenant shall provide for the cost of such maintenance to be charged back to the owner(s) by the governing body.
- S. A note shall be placed on the final plat, indicating that this Addition is subject to the conditions of associated Community Unit Plan.
- T. The applicant shall submit a covenant that provides for four (4) off-street parking spaces per dwelling unit on each lot that abuts a 58-foot street. The covenant shall inventory the affected lots by lot and block number and shall state that the covenant runs with the land and is binding on future owners and assigns.
- U. The blocks need to be relabeled to include a Block H.
- V. A CUP Certificate shall be submitted to MAPD prior to City Council consideration, identifying the approved CUP and its special conditions for development on this property.
- W. Approval of this plat will require a waiver of the lot depth to width ratio of the Subdivision Regulations for Lots 5-12, Block B. The Subdivision Regulations state that the maximum depth of all residential lots shall not exceed 2.5 times the width.
- X. GIS needs to comment on the plat's street names. *Lanner and Steppe should be replaced with new names. Replacement name for Lanner should extend south to serve Lot 57, Block A. 48th St N should replace N 48th St. The cul-de-sac between Saker and 48th needs to be labeled as Cir and have same name as Lanner's replacement.*
- Y. The applicant shall submit a copy of the instrument, which establishes the pipeline easements on the property, which verifies that the easements shown are sufficient and that utilities may be located adjacent to and within the easements. Any relocation, lowering or encasement of the pipeline, required by this development, will not be at the expense of the City.
- Z. The applicant's agent shall determine any setback requirements for the pipelines by researching the text of the pipeline agreements. If a setback from the pipeline easements is provided for in the pipeline easement agreements, it shall be indicated on the face of the plat.

- AA. The Applicant is reminded that a platting binder is required with the final plat. Approval of this plat will be subject to submittal of this binder and any relevant conditions found by such a review.
- BB. The platlor's text shall include language that a drainage plan has been developed for the plat and that all drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of stormwater.
- CC. The applicant shall install or guarantee the installation of all utilities and facilities that are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- DD. The applicant's engineer is advised that the Register of Deeds is requiring the name(s) of the notary public, who acknowledges the signatures on this plat, to be printed beneath the notary's signature.
- EE. To receive mail delivery without delay, and to avoid unnecessary expense, the applicant is advised of the necessity to meet with the U.S. Postal Service Growth Management Coordinator (Phone: 316-946-4556) prior to development of the plat so that the type of delivery, and the tentative mailbox locations can be determined.
- FF. The applicant is advised that various State and Federal requirements (specifically but not limited to the Army Corps of Engineers, Kanopolis Project Office, Rt. 1, Box 317, Valley Center, KS 67147) for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements.
- GG. The owner of the subdivision should note that any construction that results in earthwork activities that will disturb one (1) acre or more of ground cover requires a Federal/State NPDES Storm Water Discharge Permit from the Kansas Department of Health and Environment in Topeka. Also, for projects located within the City of Wichita, erosion and sediment control devices must be used on ALL projects. For projects outside of the City of Wichita, but within the Wichita Metropolitan area, the owner should contact the appropriate governmental jurisdiction concerning erosion and sediment control device requirements.
- HH. Perimeter closure computations shall be submitted with the final plat tracing.
- II. Recording of the plat within 30 days after approval by the City Council and/or County Commission.
- JJ. The representatives from the utility companies should be prepared to comment on the need for any additional utility easements to be platted on this property.
- KK. The applicant is reminded that a compact disc (CD) shall be submitted with the final plat tracing to the Planning Department detailing this plat in digital format in AutoCAD, or sent via e-mail to MAPD (cholloway@wichita.gov). This will be used by the City and County GIS Department.

STAFF REPORT
(Final Plat, Overall Preliminary Plat Approved 2/17/05)

CASE NUMBER: SUB 2005-12 -- FALCON FALLS 2nd ADDITION

OWNER/APPLICANT: Heights, LLC, Jay Russell, P.O. Box 75337, Wichita, KS 67275-5337

SURVEYOR/ENGINEER: Baughman Company, P.A., 315 Ellis, Wichita, KS 67211

LOCATION: Northwest corner of Hillside and 45th Street North

SITE SIZE: 77.35 acres

NUMBER OF LOTS

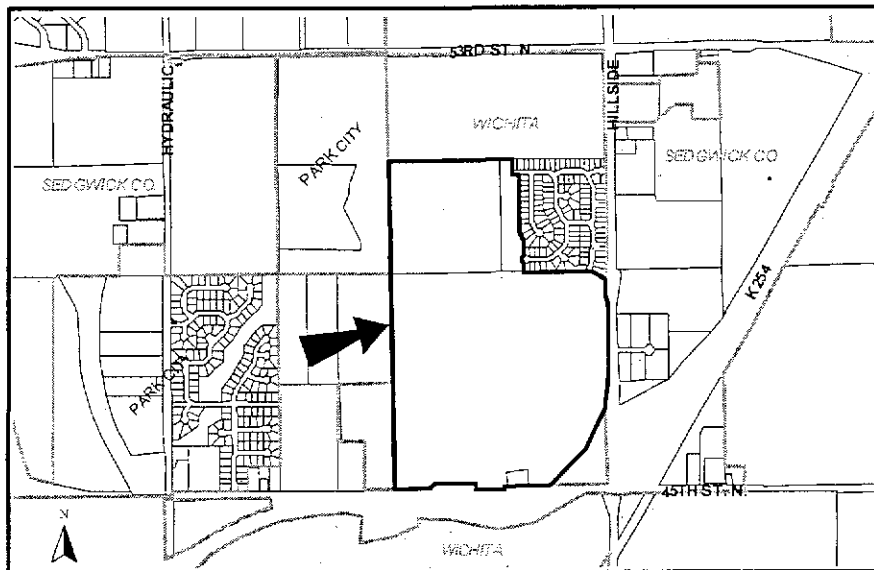
Residential:	168
Office:	
Commercial:	
Industrial:	
Total:	168

MINIMUM LOT AREA: 10,800 sq. ft.

CURRENT ZONING: SF-5, Single-Family Residential; LC, Limited Commercial

PROPOSED ZONING: Same

VICINITY MAP



NOTE: This is an unplatted site located within the City. This final plat consists of the northwest portion of the overall preliminary plat and represents the first phase of development.

STAFF COMMENTS:

- A. The applicant shall guarantee the extension of sanitary sewer and City water to serve the lots being platted.
- B. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning Department for recording.
- C. **City Engineering** needs to comment on the status of the applicant's drainage plan.
- D. The Applicant shall guarantee the paving of the proposed streets. The guarantee shall also provide for sidewalks on at least one side of all through, non cul-de-sac streets.
- E. The paving guarantee shall include the installation of a temporary turnaround at the terminus of Kite at the plat's west line.
- F. In accordance with the KS Wetland Mapping Conventions under the Memorandum of Understanding between the USDA-NRCS; USEPA; USACE; and USF&WS, this site has been identified as one with potential wetland hydrology. The US Army Corps of Engineers (USACE) should be contacted (316-322-8247) to have a wetland determination completed."
- G. Since one of the intended uses of Reserve E includes a swimming pool, a site plan shall be submitted with the final plat, for review and approval by the Planning Director. The site plan shall include the information indicated in the Subdivision Regulations. Otherwise a conditional use and public hearing will be needed in the future.
- H. Provisions shall be made for ownership and maintenance of the proposed reserves. The applicant shall either form a lot owners' association prior to recording the plat or shall submit a covenant stating when the association will be formed, when the reserves will be deeded to the association and who is to own and maintain the reserves prior to the association taking over those responsibilities.
- I. For those reserves being platted for drainage purposes, the required covenant that provides for ownership and maintenance of the reserves shall grant, to the City, the authority to maintain the drainage reserves in the event the owner(s) fail to do so. The covenant shall provide for the cost of such maintenance to be charged back to the owner(s) by the governing body.
- J. The applicant shall submit a covenant that provides for four (4) off-street parking spaces per dwelling unit on each lot that abuts a 58-foot street. The covenant shall inventory the affected lots by lot and block number and shall state that the covenant runs with the land and is binding on future owners and assigns.
- K. Approval of this plat will require a waiver of the lot depth to width ratio of the Subdivision Regulations for Lots 1-12, Block C. The Subdivision Regulations state that the maximum depth of all residential lots shall not exceed 2.5 times the width.
- L. **GIS** needs to comment on the plat's street names. *The spelling of Marblefalls needs to be corrected in two places at the south portion of the plat. Saker Ct should be Saker Cir. Thunder Cir should be labeled within the cul-de-sac.*

- M. The applicant shall submit a copy of the instrument, which establishes the pipeline easements on the property, which verifies that the easements shown are sufficient and that utilities may be located adjacent to and within the easements. Any relocation, lowering or encasement of the pipeline, required by this development, will not be at the expense of the City.
- N. The applicant's agent shall determine any setback requirements for the pipelines by researching the text of the pipeline agreements. If a setback from the pipeline easements is provided for in the pipeline easement agreements, it shall be indicated on the face of the plat.
- O. An onsite benchmark is needed.
- P. The Applicant is reminded that a platting binder is required with the final plat. Approval of this plat will be subject to submittal of this binder and any relevant conditions found by such a review.
- Q. The platting text shall include language that a drainage plan has been developed for the plat and that all drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of stormwater.
- R. The applicant shall install or guarantee the installation of all utilities and facilities that are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- S. The applicant's engineer is advised that the Register of Deeds is requiring the name(s) of the notary public, who acknowledges the signatures on this plat, to be printed beneath the notary's signature.
- T. To receive mail delivery without delay, and to avoid unnecessary expense, the applicant is advised of the necessity to meet with the U.S. Postal Service Growth Management Coordinator (Phone: 316-946-4556) prior to development of the plat so that the type of delivery, and the tentative mailbox locations can be determined.
- U. The applicant is advised that various State and Federal requirements (specifically but not limited to the Army Corps of Engineers, Kanopolis Project Office, Rt. 1, Box 317, Valley Center, KS 67147) for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements.
- V. The owner of the subdivision should note that any construction that results in earthwork activities that will disturb one (1) acre or more of ground cover requires a Federal/State NPDES Storm Water Discharge Permit from the Kansas Department of Health and Environment in Topeka. Also, for projects located within the City of Wichita, erosion and sediment control devices must be used on ALL projects. For projects outside of the City of Wichita, but within the Wichita Metropolitan area, the owner should contact the appropriate governmental jurisdiction concerning erosion and sediment control device requirements.
- W. Perimeter closure computations shall be submitted with the final plat tracing.
- X. Recording of the plat within 30 days after approval by the City Council and/or County Commission.

- Y. The representatives from the utility companies should be prepared to comment on the need for any additional utility easements to be platted on this property.
- Z. The applicant is reminded that a compact disc (CD) shall be submitted with the final plat tracing to the Planning Department detailing this plat in digital format in AutoCAD, or sent via e-mail to MAPD (cholloway@wichita.gov). This will be used by the City and County GIS Department.

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(Final Plat, Overall Preliminary Plat Approved 2/17/05)

CASE NUMBER: SUB 2005-12 -- FALCON FALLS 2nd ADDITION

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LOCATION: Northwest corner of Hillside and 45th St. North

SITE SIZE: 77.35 acres

NUMBER OF LOTS

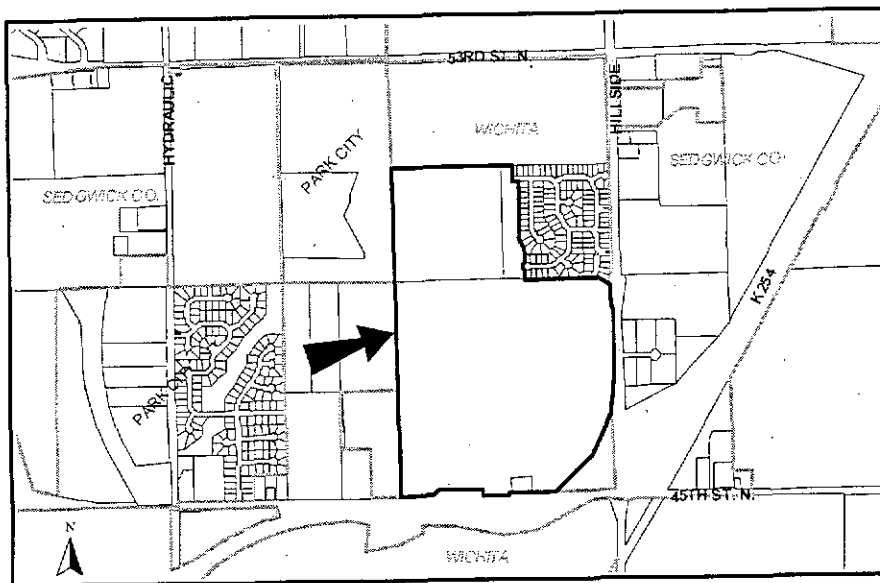
Residential:	188
Office:	
Commercial:	
Industrial:	
Total:	188

MINIMUM LOT AREA: 8778 sq. ft.

CURRENT ZONING: SF-5, Single-Family Residential; LC, Limited Commercial

PROPOSED ZONING: Same

VICINITY MAP



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STAFF COMMENTS:

- A. The applicant shall guarantee the extension of sanitary sewer and City water to serve the lots being platted.
- B. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning Department for recording.
- C. City Engineering needs to comment on the status of the applicant's drainage plan.
- D. The Applicant shall guarantee the paving of the proposed streets. The guarantee shall also provide for sidewalks on at least one side of all through, non cul-de-sac streets.
- E. The paving guarantee shall include the installation of a temporary turnaround at the terminus of Thunder at the plat's west line.
- F. In accordance with the KS Wetland Mapping Conventions under the Memorandum of Understanding between the USDA-NRCS; USEPA; USACE; and USF&WS, this site has been identified as one with potential wetland hydrology. The US Army Corps of Engineers (USACE) should be contacted (316-322-8247) to have a wetland determination completed."
- G. Since one of the intended uses of Reserve B includes a swimming pool, a site plan shall be submitted with the final plat, for review and approval by the Planning Director. The site plan shall include the information indicated in the Subdivision Regulations. Otherwise a conditional use and public hearing will be needed in the future.
- H. Provisions shall be made for ownership and maintenance of the proposed reserves. The applicant shall either form a lot owners' association prior to recording the plat or shall submit a covenant stating when the association will be formed, when the reserves will be deeded to the association and who is to own and maintain the reserves prior to the association taking over those responsibilities.
- I. For those reserves being platted for drainage purposes, the required covenant which provides for ownership and maintenance of the reserves shall grant, to the City, the authority to maintain the drainage reserves in the event the owner(s) fail to do so. The covenant shall provide for the cost of such maintenance to be charged back to the owner(s) by the governing body.
- J. The applicant shall submit a covenant which provides for four (4) off-street parking spaces per dwelling unit on each lot which abuts a 58-foot street. The covenant shall inventory the affected lots by lot and block number and shall state that the covenant runs with the land and is binding on future owners and assigns.
- K. Approval of this plat will require a waiver of the lot depth to width ratio of the Subdivision Regulations for Lots 1-12, Block C. The Subdivision Regulations state that the maximum depth of all residential lots shall not exceed 2.5 times the width.
- L. GIS needs to comment on the plat's street names. The spelling of Marblefalls needs to be corrected in two places at the south portion of the plat. Thunder Cir should be labeled within the cul-de-sac.

- M. The applicant shall submit a copy of the instrument, which establishes the *pipeline easements* on the property, which verifies that the easements shown are sufficient and that utilities may be located adjacent to and within the easements. Any relocation, lowering or encasement of the pipeline, required by this development, will not be at the expense of the City.
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- O. An onsite benchmark is needed.
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- V. The owner of the subdivision should note that any construction that results in earthwork activities that will disturb one (1) acre or more of ground cover requires a Federal/State NPDES Storm Water Discharge Permit from the Kansas Department of Health and Environment in Topeka. Also, for projects located within the City of Wichita, erosion and sediment control devices must be used on ALL projects. For projects outside of the City of Wichita, but within the Wichita Metropolitan area, the owner should contact the appropriate governmental jurisdiction concerning erosion and sediment control device requirements.
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- Y. The representatives from the utility companies should be prepared to comment on the need for any additional utility easements to be platted on this property.
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***REVISED STAFF REPORT**
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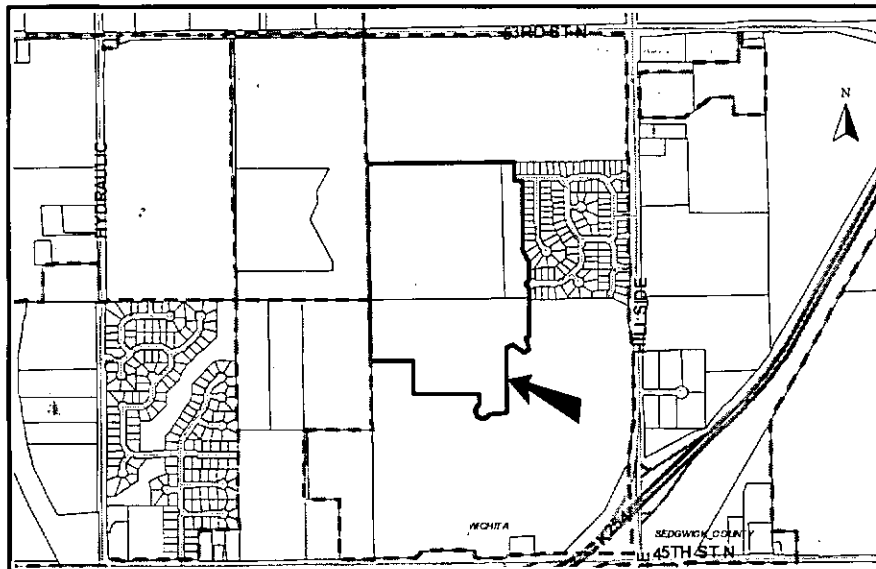
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closure

CLOSURE - FALCON FALLS 2ND ADDITION

PT 01 North: 16080.3543 East : 8469.9432
 Line Course: S 89-57-14 E Length: 1449.8000
 PT 02 North: 16079.1875 East : 9919.7427
 Line Course: S 00-17-24 E Length: 194.0200
 PT 03 North: 15885.1700 East : 9920.7247
 Line Course: S 89-57-09 E Length: 66.0000
 PT 04 North: 15885.1153 East : 9986.7247
 Line Course: S 00-17-24 E Length: 683.9800
 PT 05 North: 15201.1440 East : 9990.1866
 Line Course: S 24-45-09 E Length: 131.8200
 PT 06 North: 15081.4350 East : 10045.3796
 Line Course: S 00-00-00 W Length: 172.9200
 PT 07 North: 14908.5150 East : 10045.3796
 Curve Length: 93.9714 Radius: 50.0000
 Delta: 107-41-00 Tangent: 68.4208
 Chord: 80.7390 Course: S 00-00-00 W
 Course In: S 36-09-30 E Course Out: S 36-09-30 W
 RP North: 14868.1455 East : 10074.8805
 PT 08 End North: 14827.7760 East : 10045.3796
 Line Course: S 00-00-00 W Length: 480.0700
 PT 09 North: 14347.7060 East : 10045.3796
 Line Course: S 65-49-40 W Length: 42.4500
 PT 10 North: 14330.3236 East : 10006.6517
 Line Course: S 21-46-19 E Length: 120.7600
 PT 11 North: 14218.1777 East : 10051.4431
 Curve Length: 62.1383 Radius: 132.0000
 Delta: 26-58-18 Tangent: 31.6559
 Chord: 61.5661 Course: S 54-44-32 W
 Course In: S 21-46-19 E Course Out: N 48-44-37 W
 RP North: 14095.5936 East : 10100.4037
 PT 12 End North: 14182.6383 East : 10001.1705
 Line Course: N 48-44-37 W Length: 133.1500
 PT 13 North: 14270.4413 East : 9901.0728
 Line Course: S 62-27-52 W Length: 83.1100
 PT 14 North: 14232.0197 East : 9827.3772
 Line Course: S 00-25-46 E Length: 664.3800
 PT 15 North: 13567.6583 East : 9832.3568
 Line Course: S 89-34-14 W Length: 174.1700
 PT 16 North: 13566.3529 East : 9658.1917
 Curve Length: 287.3081 Radius: 75.0000
 Delta: 219-29-14 Tangent: 208.9640
 Chord: 141.1819 Course: N 45-25-46 W
 Course In: N 65-10-23 W Course Out: N 25-41-09 W
 RP North: 13597.8438 East : 9590.1232
 PT 17 End North: 13665.4326 East : 9557.6155
 Line Course: N 00-25-46 W Length: 104.1700
 PT 18 North: 13769.5997 East : 9556.8347
 Line Course: S 89-34-14 W Length: 648.0900
 PT 19 North: 13764.7422 East : 8908.7629
 Line Course: N 00-25-46 W Length: 344.0000
 PT 20 North: 14108.7325 East : 8906.1846
 Line Course: S 89-34-14 W Length: 419.0000
 PT 21 North: 14105.5921 East : 8487.1964
 Line Course: N 00-25-46 W Length: 628.4000
 PT 22 North: 14733.9744 East : 8482.4864
 Line Course: N 00-32-01 W Length: 1346.4400
 PT 01 North: 16080.3560 East : 8469.9468

