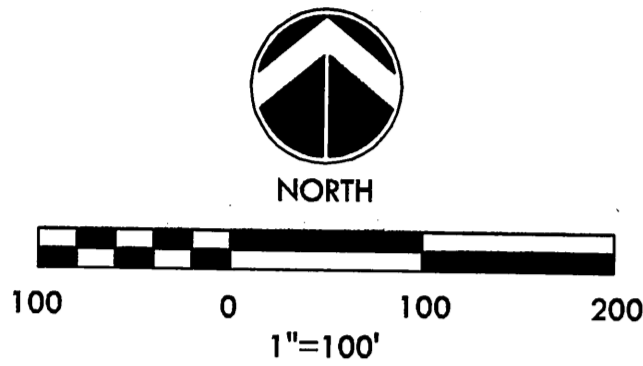
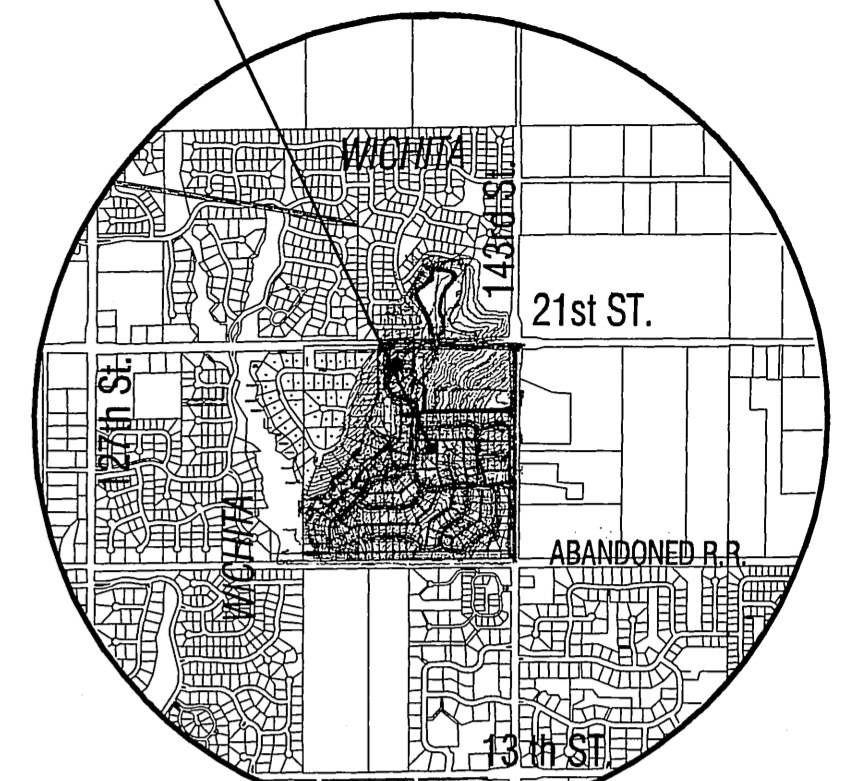


BENCH MARKS

- BM 1 RAILROAD SPIKE IN SOUTH FACE OF POWER POLE 3RD. POWER POLE WEST OF 143RD. STREET SOUTH SIDE OF 21ST. STREET. Elev. = 1362.18 (NGVD 29) 174.78 (City Datum)
- BM 2 RAILROAD SPIKE IN SOUTH FACE OF POWER POLE FIRST POWERPOLE WEST OF 143RD. STREET SOUTH SIDE OF 21ST. STREET. Elev. = 1370.29(NGVD 29) 182.89 (City Datum)



PLAT LOCATION



VICINITY MAP

REVISION HISTORY

DATE	REVISION	REASON
SEPTEMBER 25, 2007	INITIAL WO/VO DESIGNATION	
JANUARY 2008	HOUSE ELEVATIONS	
JUNE 2008	LOMAR LOTS 61-69 BLOCK 2	INCORRECT MIN. PADS



LEGEND

- ☆ C/T - CONIFEROUS TREE & DIAMETER
- D/T - DECIDUOUS TREE & DIAMETER
- SN - SIGN
- BUSH
- EDGE OF TREES
- FENCE
- SSMH - SANITARY SEWER MANHOLE
- GM - GAS METER
- POLE - POLE
- HLP - HIGH LINE POLE
- GATE - GATE
- WALL - WALL
- LP - LIGHT POLE
- PH - FIRE HYDRANT
- WV - WATER VALVE
- WM - WATER METER
- PA - POWER POLE AND GUY ANCHOR
- TR - TELEPHONE RISER
- INLET - INLET
- SSP - STORM SEWER PIPE
- WL - WATER LINE
- SSS - SANITARY SEWER LINE
- GL - GAS LINE
- UT - TELEPHONE LINE
- UE - UNDERGROUND ELECTRIC LINE
- OT - OVERHEAD TELEPHONE
- OE - OVERHEAD ELECTRIC
- FOC - UNDERGROUND FIBER OPTIC CABLE
- △ - SECTION CORNER
- - PROPERTY CORNER FOUND
- - BENCHMARK
- WO - WALKOUT
- VO - VIEWOUT
- TVO - TERRACED VIEWOUT
- TWO - TERRACED WALKOUT
- WO* - WALKOUT WHICH MAY REQUIRE THICKER FOOTING AND/OR ENGINEERED FILL UNDER FOOTINGS
- SPOT ELEV. - SPOT ELEV.
- PAD=1362.8 ADD 2 STEPS TF=1364.8 WO=1357.1 - PROP. HOUSE ELEV.
- PAD=1362.8 ADD 2 STEPS TF=1364.8 WO=1357.1 - EXIST. PLOT PLAN HOUSE ELEV.

KRUG SOUTH ADDITION

MINIMUM PAD ELEVATIONS
LOWEST OPENINGS

LOTS (inclusive)	BLOCK	ELEVATION NGVD
27 - 32	2	1363.9
40 & 41	2	1363.9
33 - 39	2	1364.7
52 - 58	2	1350.7
59	2	1351.0
60	2	1351.4
61	2	1351.9
62	2	1352.9
63	2	1353.7
64	2	1355.5
65 & 66	2	1357.2
68 - 72	2	1358.8

KRUG SOUTH 2ND ADDITION

MINIMUM PAD ELEVATIONS
LOWEST OPENINGS

LOTS (inclusive)	BLOCK	ELEVATION NGVD
1	1	1359.7
2	1	1359.7
3	1	1359.7
4	1	1359.7



KRUG SOUTH ADDITION
PROJECT NAME
PHASE 1
LOT GRADING PLAN
SHEET TITLE

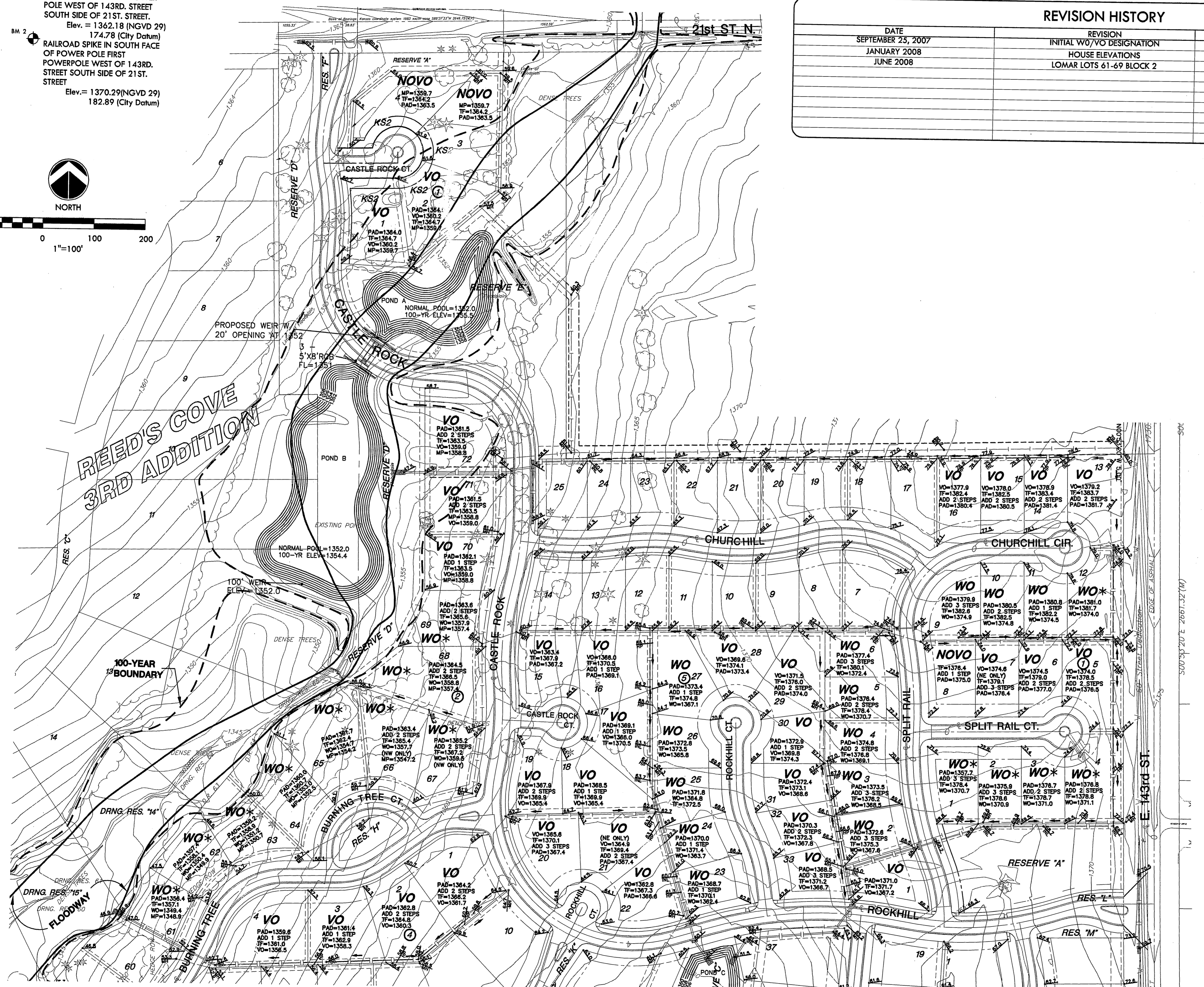
411 N. WEBB ROAD
WICHITA, KS. 67206
316-684-9600

DESIGN BY: **KLA**
DRAWN BY: **CMJ/SMB**
CHECKED BY: **KLA**

JANUARY 2008
DATE

05291
JOB NO.

1 / 1
SHEET/OF



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