



$DA=2.6 \text{ AC}$
 $Q_2=4.9 \text{ cfs}$
 $Q_{100}=9.6 \text{ cfs}$

$DA=2.2 \text{ AC}$
 $Q_2=4.2 \text{ cfs}$
 $Q_{100}=8.1 \text{ cfs}$

$DA=2.5 \text{ AC}$
 $Q_2=4.8 \text{ cfs}$
 $Q_{100}=9.2 \text{ cfs}$

$DA=5.5$ AC -
 $Q_2=10.5$ cfs
 $Q_{100}=20.2$ cfs

$$\begin{aligned} DA &= 3.6 \text{ AC} \\ Q_2 &= 6.8 \text{ cfs} \\ Q_{100} &= 13.2 \text{ cfs} \end{aligned}$$

NOTES

1. ALL ENGINEERING REQUIREMENTS INCLUDING BENCHMARK INFORMATION WILL BE PREPARED BY POE AND ASSOCIATES, CONSULTING ENGINEERS.
2. RESERVES A AND B SHALL PERMIT ENTRY MONUMENTS, LIGHTING, LANDSCAPING, UTILITIES CONFINED TO EASEMENTS AND IRRIGATION SYSTEMS. RESERVES C, D AND E SHALL PERMIT ENTRY MONUMENTS, LIGHTING UTILITIES CONFINED TO EASEMENTS, FENCING AND WALLS, IRRIGATION, SIDEWALKS, LANDSCAPING AND BERMS.
3. BENCHMARK: " " IN S. HOWL OF CULVERT AT 45TH ST. NORTH AND MERIDIAN. ELEV. 141.07 CITY DATUM THE
4. MINIMUM LOW OPENING ELEV.=134.0
5. MAX. LAKE W.L. 133.0 TO BE MAINTAINED BY PUMPING IF NECESSARY.
6. OWNER TO INSTALL A 36" OVERFLOW PIPE WHICH WILL DISCHARGE INTO THE LITTLE ARKANSAS RIVER.

RATIONAL FORMULA DATA:

$T_c=15$ MIN.
 $c=0.5$
 $i_2=3.8$
 $i_{100}=7.36$

$DA = 6.1 AC$
 $Q_2 = 11.6 \text{ cfs}$
 $Q_{100} = 22.4 \text{ cfs}$

THE MOORINGS 5TH ADD.
(BZA-10-90)

KEYWEST COURT

CULVERT AT ENTRANCE

0.3
18" RCP W/ END SEC.

THE MOORING ADD.
ZONED AA
UNDER C.U.P.-D.P. 78

MILRO

LIGHT COMMERCIAL ZONING



SCALE: 1"=100'

PRELIMINARY PLAT HARBOR ISLE

OWNER: BRAD BACHMAN CONSTRUCTION INC. 4833 PORTWEST CIRCLE, WICHITA, KANSAS 67204 PH. (316) 838-7034 FAX (316) 838-6789

DRAINAGE PLAN

BY POE AND ASSOCIATES OF
KANSAS, INC. 12-16-93

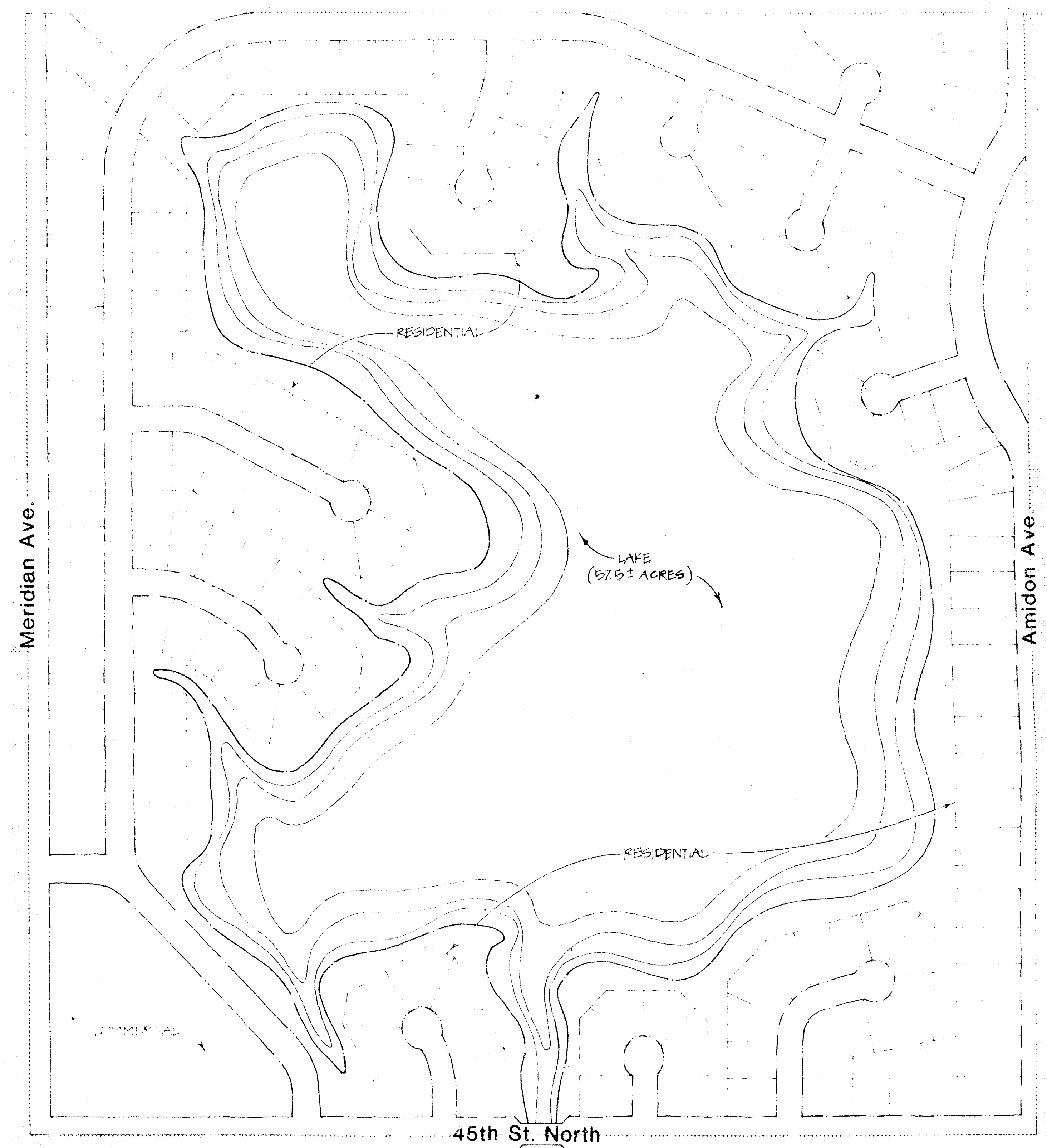
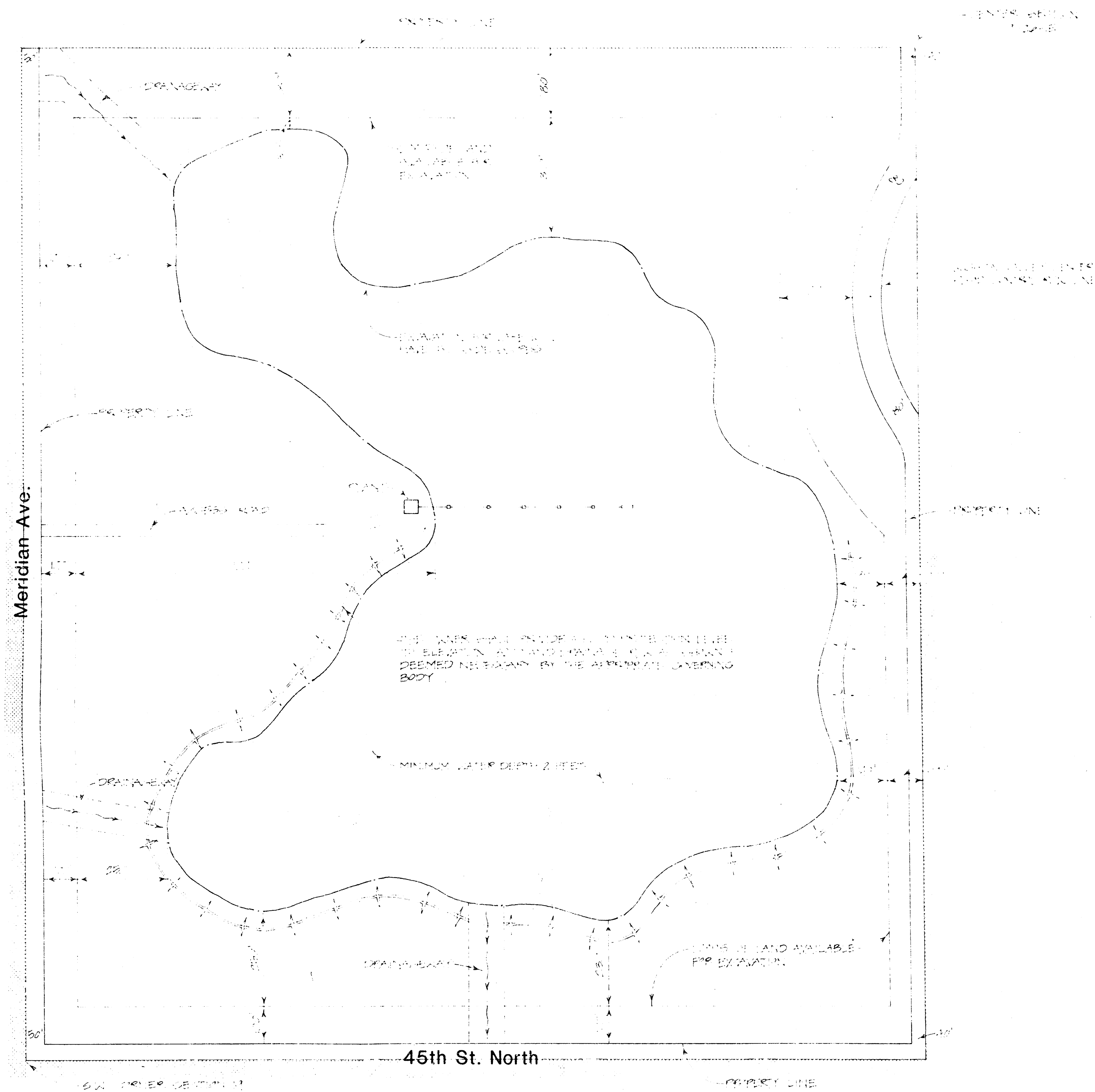
BILL G. YUNG DESIGN
4912 E. 29TH STREET NORTH
316-683-5567
WICHITA, KS 67220
FAX 316-683-9296

DATE 8-13-93
REV.

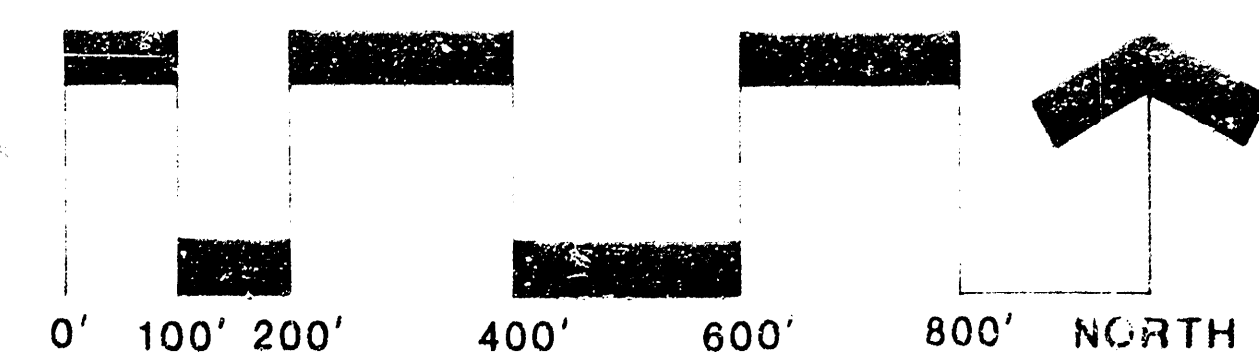
SHEET TITLE PRELIMINARY PLAT

PROJECT CRYSTAL LAKE

OF
SHEETS



MILES SAND, INC.



MILES SAND, INC.

PLANNING DEVELOPMENT SERVICES, INC.
INCORPORATED

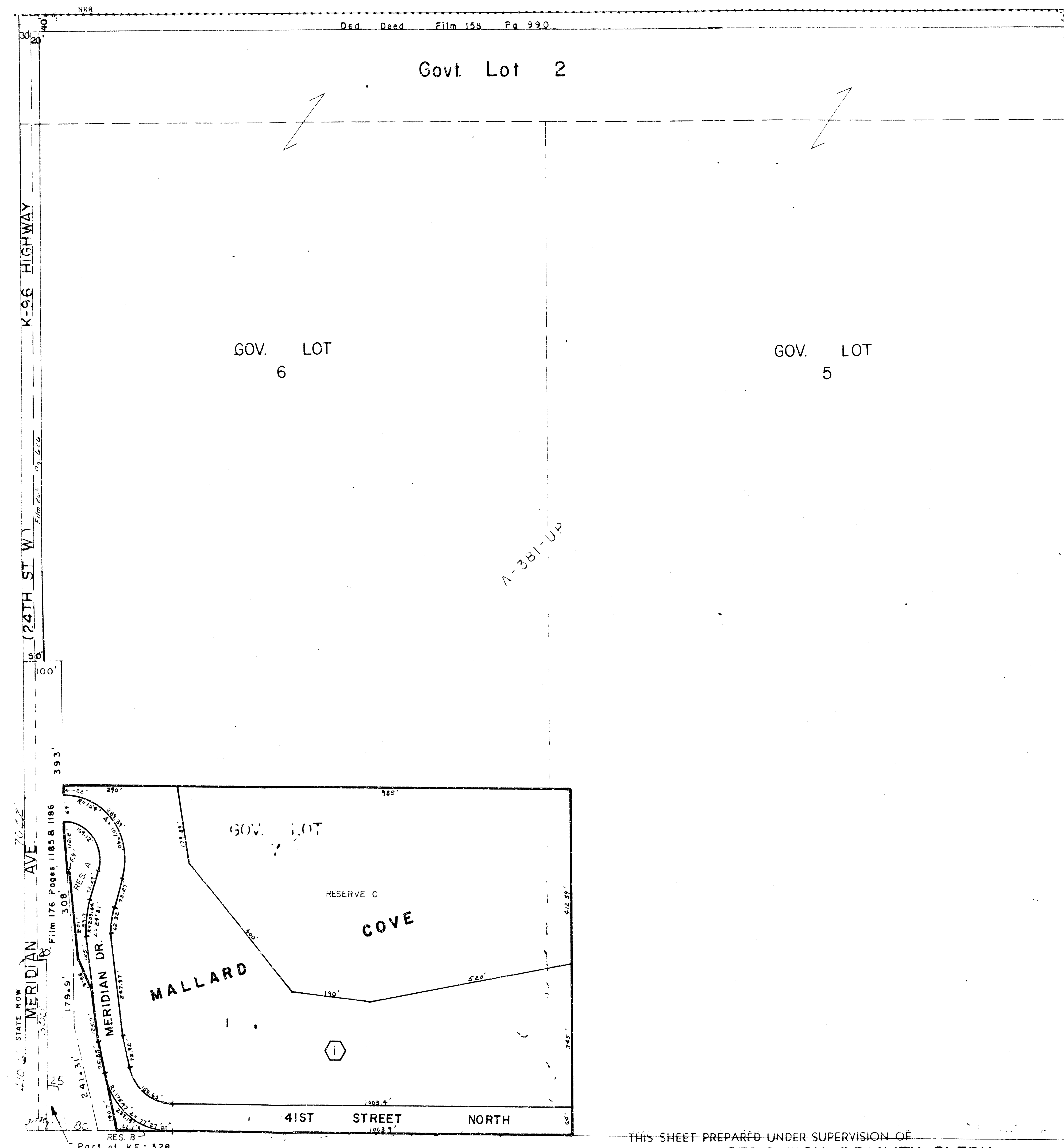
DRAWN
CHECKED
REVISED

SHEET
1
OF

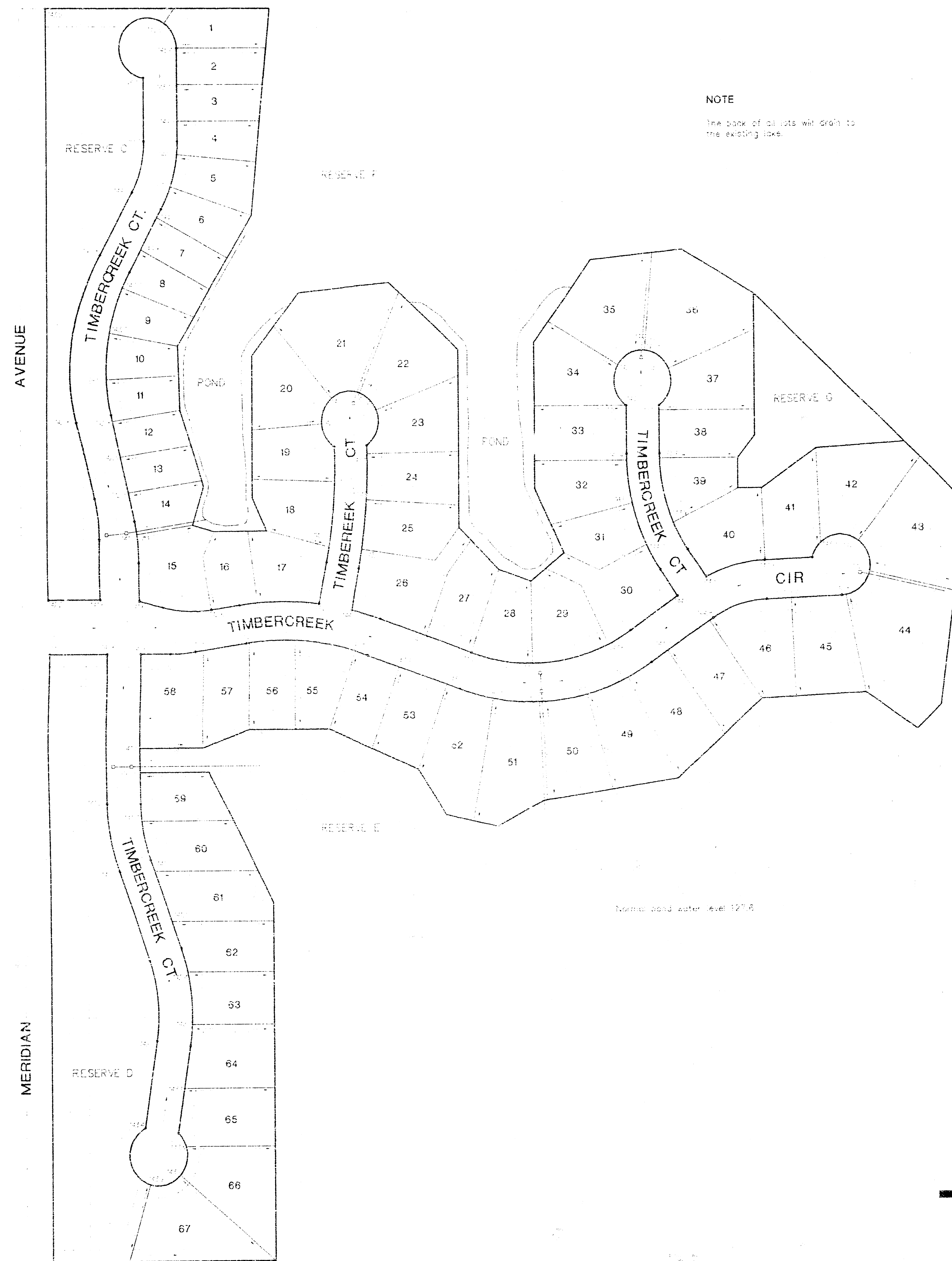
8 - 19

N.W. ¼ SEC. 30 TWP. 26S. R. 1 E.

KE
118



THIS SHEET PREPARED UNDER SUPERVISION OF
DOROTHY K. WHITE, SEDGWICK COUNTY CLERK



NOTE
The back of all lots will drain to
the existing lake.

NOTE
The minimum low opening elevation for
homes built in this addition shall be
134.0 (City of Wichita Datum)
1321.4 (MSL)
The minimum basement floor elevation for
homes built in this addition shall be
131.0 (City of Wichita Datum)
1298.4 (MSL)

BENCHMARKS
1. "BM" on southwest corner of
north meadow at Meridian Avenue
and Mikro.
Elev. 133.85 (City of Wichita Datum)

LOT GRADING PLAN

HARBOR ISLE ADDITION

TO WICHITA - SEDGWICK COUNTY, KANSAS

July 26, 1994

**APPROVED
DRAINAGE PLAN**

