

THIS PLAT APPROVED BY THE SUBDIVISION COMMITTEE ON 8/24/89 SUBJECT TO THE CONDITIONS OF APPROVAL OUTLINED IN OUR LETTER DATED 8/25/89

**NOTES**

1. A DRAINAGE CONCEPT HAS BEEN PREPARED BY BAUGHMAN CO. P.A.
2. TOPOGRAPHIC DATA WAS PREPARED BY BAUGHMAN CO. P.A. FIELD SURVEY AUGUST 9, 1989.
3. BENCH MARK: CHISEL SQUARE ON TOP OF CURB EAST SIDE INLET, NORTH SIDE OF KELLOGG FRONTAGE ROAD ON SOUTH SIDE OF U.S. 54, APPROX. 330' WEST OF THE C.C. OF TYLER. ELEV. = 135.35 CITY DATUM.
4. REQUESTING 10' UTILITY EASEMENT ALONG THE NORTH BOUNDARY OF LOT 1 IN LIEU OF EXTREMELY TIGHT SITE PLAN CONDITIONS, (FOR POSSIBLE SANITARY SEWER).
5. OWNER IS NOT RESPONSIBLE FOR GUARANTEES FOR THE 10' CONTINGENT STREET DEDICATION ON THE EAST SIDE OF DUBON AVE.

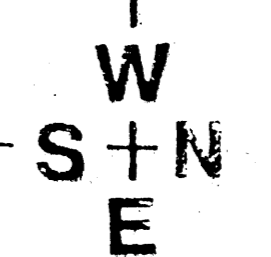
PRELIMINARY PLAT

ENGINEER'S COPY

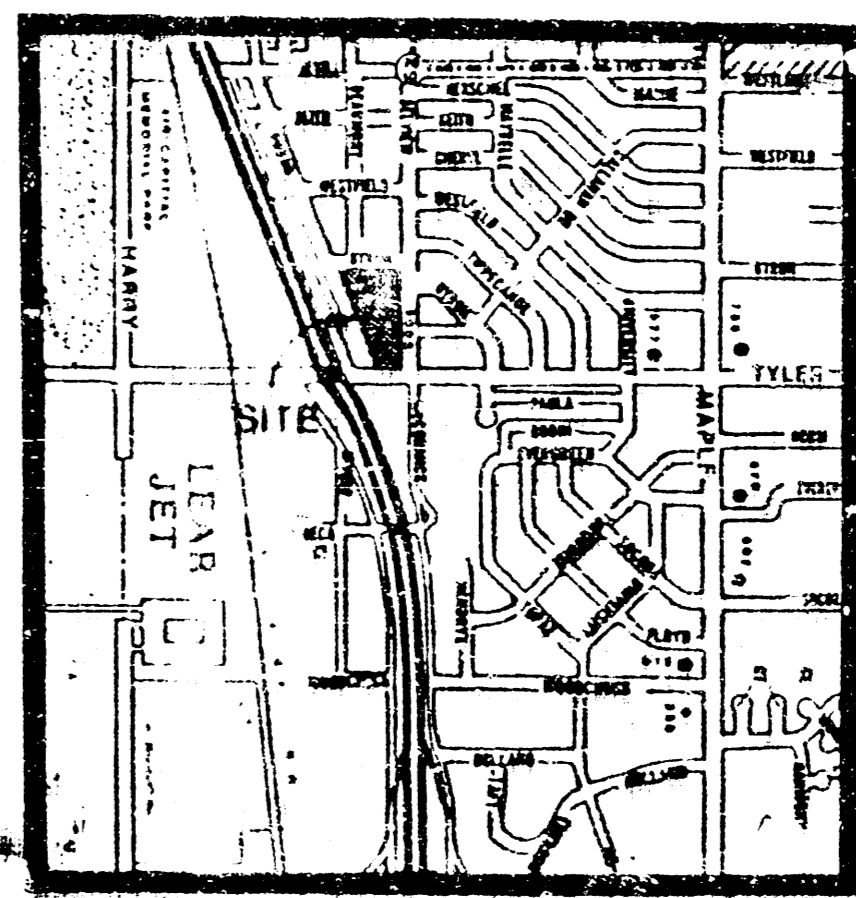
**TOTAL ACRES = 1.61**  
**TOTAL SQ. FT. = 69,934.87**

**DRAINAGE PLAN**

2-13-95  
REVISED 3-2-95



SCALE: 1" = 20'



LOCATION MAP

NO SCALE → N

PRELIMINARY PLAT *Pay day*  
**B.B.B.R. ADDITION**

OWNER: B.B.B.R. CORP., P.O. BOX 9007-67227, WICHITA, KANSAS 67227 (316) 722-2417

**BILL G. YOUNG DESIGN**  
4912 E. 29TH STREET NORTH, WICHITA, KS 67226  
316-682-5687

DATE: AUGUST 11, 1989  
REV.:

SHEET TITLE: PRELIMINARY PLAT

SHEET PROJECT: PHILLIPS 66 (KELLOGG & TYLER)