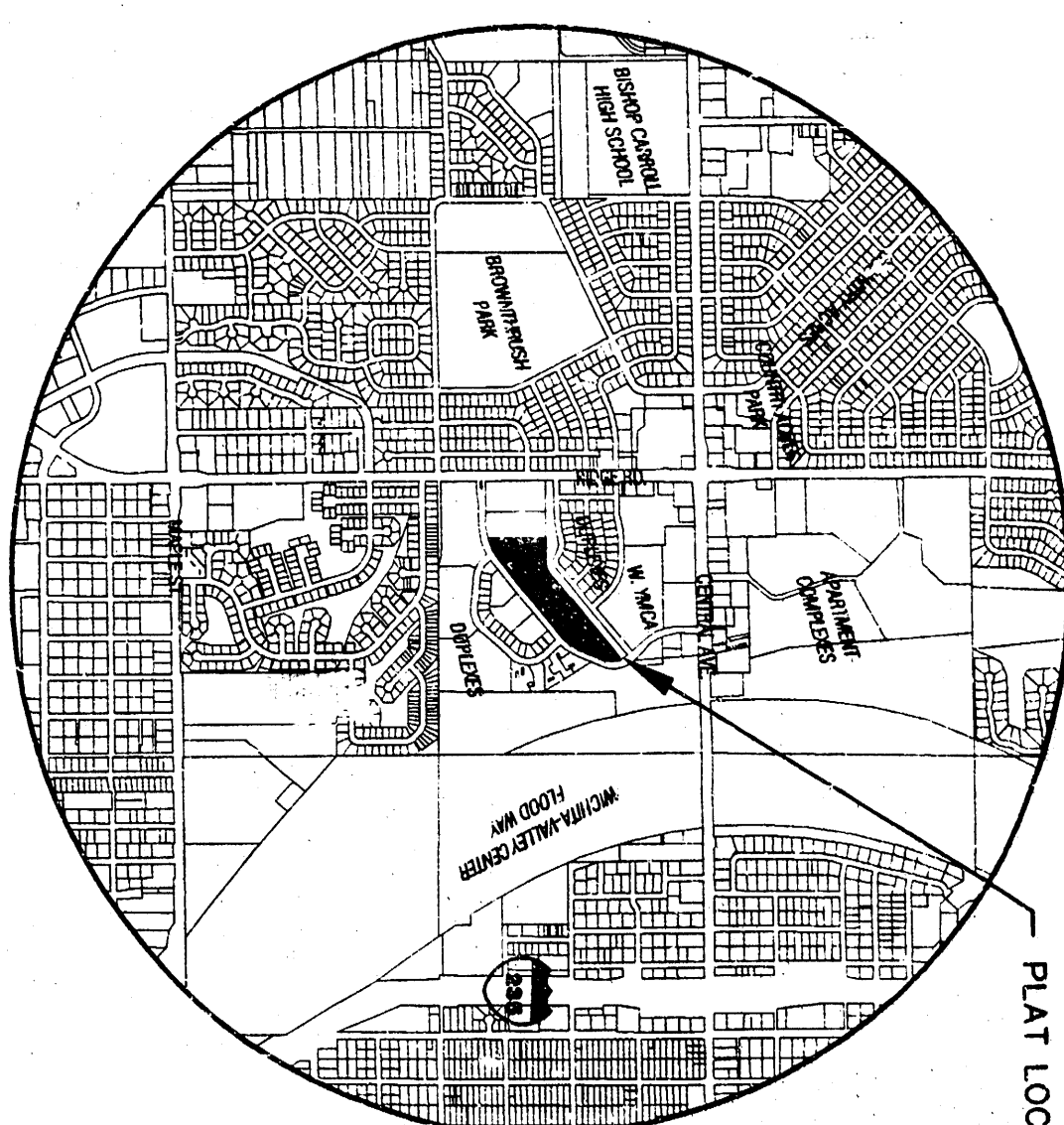




VICINITY MAP

BENCH MARKS

BM #1 City Disc NW corner Rebo West side of Shode and Whitsett at SW corner of inlet.
 Elev. = 127.21' City Datum
 1314.61' NGVD

BM #2 Square cut NW corner S. side Shode at P.C. of Lot 1, Bk. 1, Farmington Square 2nd Add.
 Elev. = 146.06' City Datum
 1333.46' NGVD

LEGAL DESCRIPTION

A replat of a portion of land lying in "Woodland Heights 2nd Addition", on addition to Wichita, Kansas:
A replat of all of Lot 2, said addition, EXCEPT: West 280 feet thereof;
TOGETHER WITH:
A replat of Lots 3 and 4, Block 1, of said addition.

NOTES

1. ZONING: Existing/Proposed Multi-Family District: MF-18 Overlay - C.U.P. DP-59
2. Plot Area = 14.58 Ac.
3. Lot total = 36
4. New Street = 1,600 L.F. - 32' R/W
5. Avg. Lot Area = 0.27 Ac. or 11,380 sq. ft.
6. Proposed Housing Units = 69
7. All easements encircling the streets are plotted 15 foot street drainage and utility easements, except where otherwise noted.
8. No lot shall have direct access to Shode Lane.

LEGEND

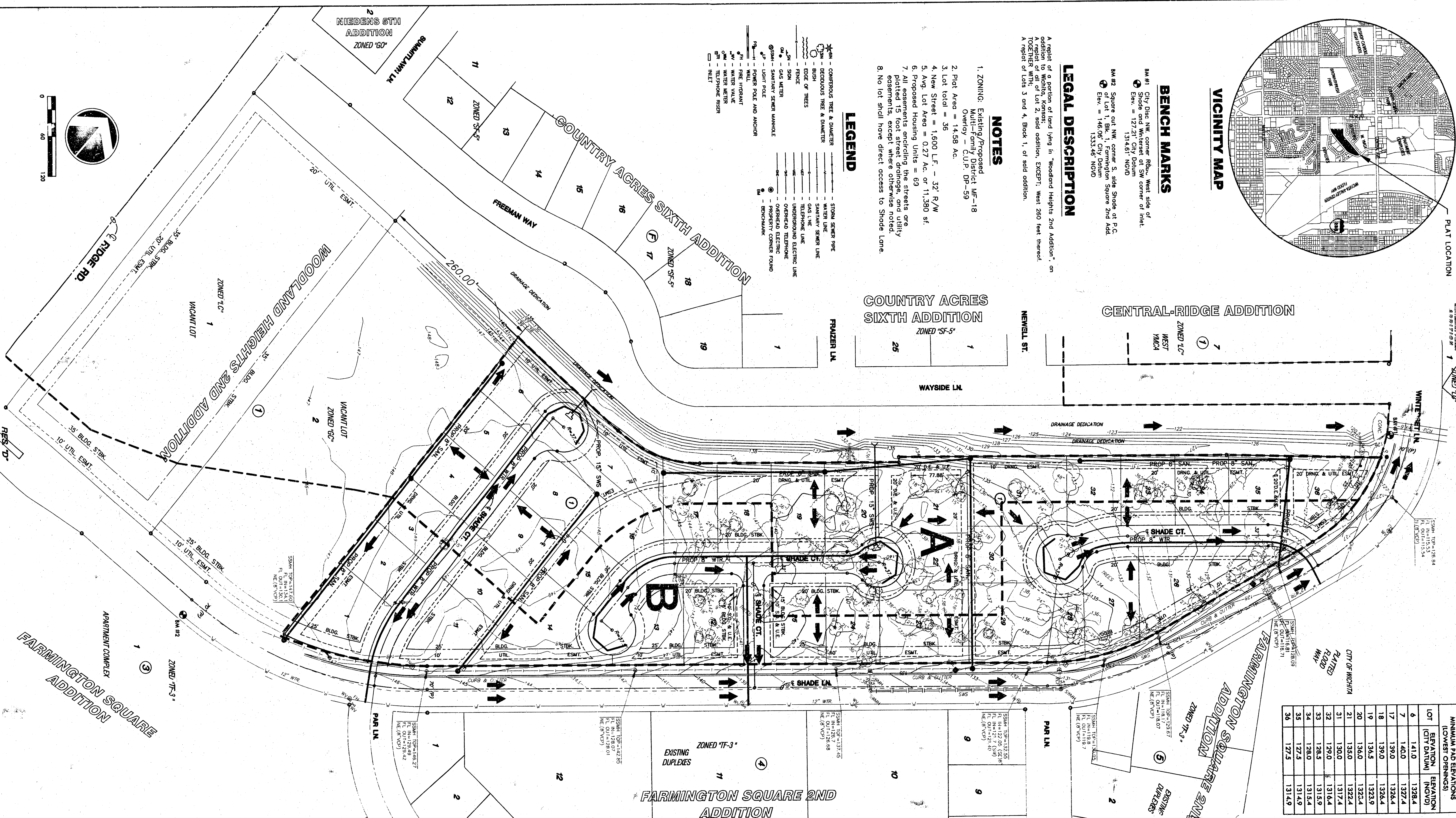
[illegible]

COUNTRY ACRES SIXTH ADDITION

WAYSIDE LN

CENTRAL-RIDGE ADDITION

NEWELL ST.



MINIMUM PAID ELEVATIONS (LOWEST OPENINGS)		
LOT	ELEVATION (CITY DATA)	ELEVATION (MGV)
6	141.0	1358.4
7	140.0	1357.4
17	139.0	1356.4
18	139.0	1356.4
19	136.5	1353.9
20	136.0	1352.4
21	135.0	1352.4
31	130.0	1317.4
32	129.0	1316.4
33	128.5	1315.9
34	128.0	1315.4
35	127.5	1314.9
36	127.5	1314.9

DRAINAGE AND UTILITY PLAN

SHADY RIDGE ADDITION

REVISED 4-28-04

OWNER/DEVELOPER: THE CREW, a Kansas General Partnership, 7328 E. Elm Ct. Wichita, KS 67206 316-688-5560

DATE: MARCH 15th, 2004

