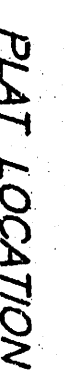


A tract of land, known as Lot 1, Block 2, Legacy Park, Wilson Estates Addition to Wichita, Sedgewick County, Kansas, TOGETHER WITH, a portion of Reserve "B", of said addition, and said tract being more particularly described as follows:

BEGINNING at the Southwest corner of Lot 1, said Legacy Park, Wilson Estates Addition, thence along the Western boundary line of said Legacy Park, Wilson Estates Addition, on a plat bearing of N101°07'47", 889.19 feet to the Northwest corner of said Reserve "B", said corner lying on a curve to the left; thence along said North line and along said curve 121.47 feet; said curve having a central angle of 207.216°, a radius of 344.30 feet, and a long chord distance of 120.85 feet; thence along said Reserve "B", on a plat bearing of S23°20'47", 133.86 feet; thence S01°07'47", 986.69 feet to the South line of said addition; thence along said South line S88°56'13" 455.01 feet to the POINT-OF-BEGINNING.



VICINITY MAP

LEGEND

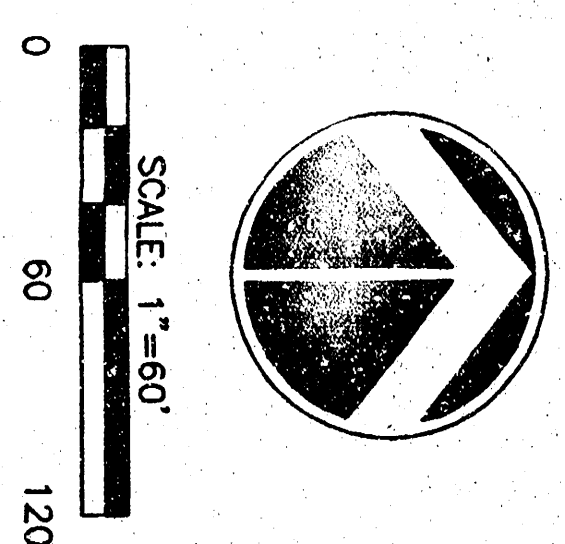
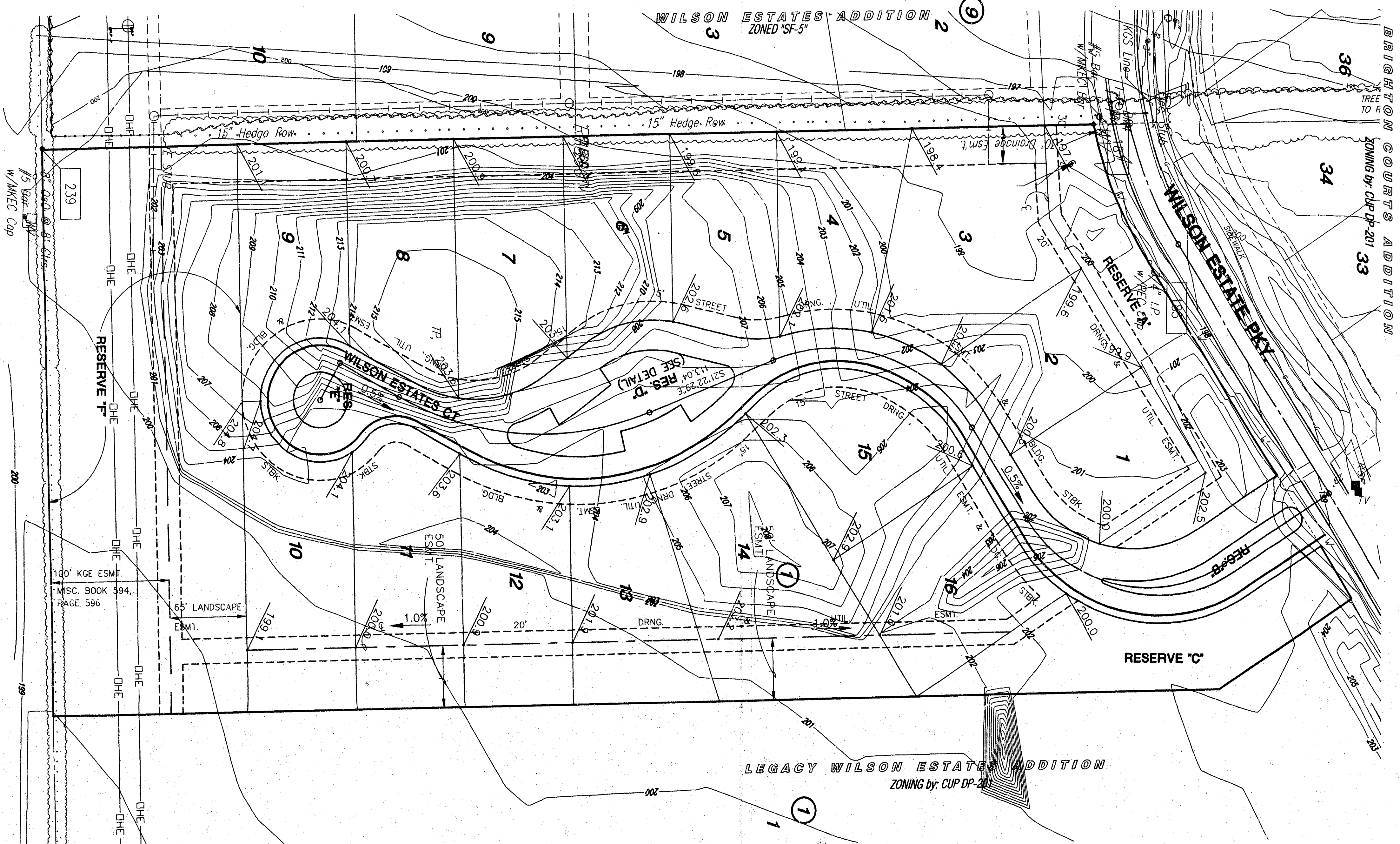
- | | |
|--|---------------------------------------|
| Found Survey Monument | Storm Sewer Pipe |
| Set $\frac{1}{4}$ Resor W/ Cap | Water Line |
| Metric Corner | Sanitary Sewer Line |
| Benchmark | Gas Line |
| B.S. - Building Setback | Telephone Line |
| U.E. - Utility Easement | Underground Electric Line |
| (P) - Pictorial Measurement | Overhead Telephone |
| (M) - Measured | Fence |
| (C.V.) - Collocated From Measured | Edge Of Trees |
| Power Pole and Guy Anchor | ✱ CEN ✱
Coniferous Tree & Diameter |
| Water Electric Box | Bush |
| FW - Fire Hydrant | |
| WW - Water Valve | |
| SWH - Water Meter | |
| Water Inlet | |
| Telephone River | |
| Drain | |
| Inlet | |
| SWH - Storm Water Manhole | |
| SWH - Sanitary Sewer Manhole | |
| 15' Street, Driveway, Utility Easement, and Building Setback | |

NOTES

1. ZONING:
Existing / Proposed: CUP DP-2600
2. PLAT AREA: 10.38 acres
3. SURVEY DATE: March, 2002
4. EXISTING USE: Vacant Lot
5. LOT TOTAL: 16
6. RESERVE DESIGNATION AND USES:
 - 1.) Irregular (ALL)
 - 2.) Landscaping (ALL)
 - 3.) Berming (A, B, C, D, E, F)
 - 4.) Monuments (A, B, C, D)
 - 5.) Open Space (A, B, C, D, E, F)
 - 6.) Drainage (A, C, F)
 - 7.) Utilities (A, B, C, D, F)
7. This plat conforms to CUP DP-2600.

BENCHMARK

BM#1 - Chiseled square on the South end of the East headwall of a RCB, 101' South and 20' East of the Southermost corner of Lot 27, Block 1, Wilson Farms Third Addition.
Elevation = 189.58 City Datum
1376.78 NGVD



PRELIMINARY LOT GRADING PLAN
WILSON FARMS FOURTH ADDITION
Owners/Developer: WILSON RESIDENTIAL COMPANY L.L.C., 8100 E. 22ND ST. NORTH, BLDG. 1000, WICHITA, KS 67226 316-664-2968
DATE: May, 2003

Owners/Developer: WILSON RESIDENTIAL COMPANY L.L.C., 8100 E. 22ND ST. NORTH, BLDG. 1000, WICHITA, KS 67226

316-684-2968

DATE: May, 2003



MIKEC
ENGINEERING
CONSULTANTS

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WICHITA, KS. 67206
316 - 684 - 9600

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