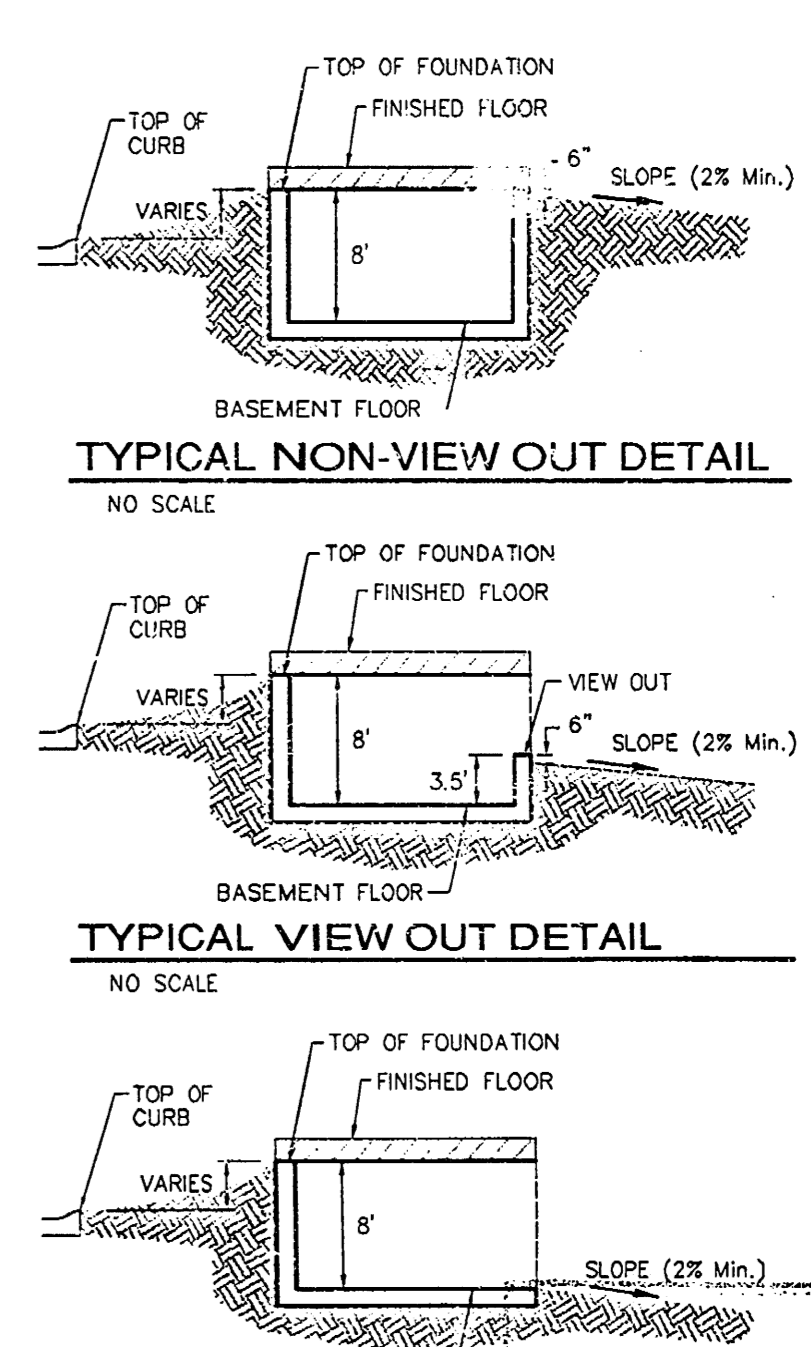


BENCHMARK:
 CITY OF WICHITA BENCHMARK DISC -
 SE COR. OF THE INTERSECTION OF
 TYLER RD. & 29TH STREET NORTH
 32.30' S. OF &
 30.00' E. OF &
 33.50' S. OF P.P.
 32.00' S. OF P.P.
 43.20' SE. OF SEC. COR. IRON
 ELEV. = 178.04 CITY DATUM
 1355.44 NGVD29



APPROVED DRAINAGE PLAN

- NOTES:
1. PROPOSED TOP OF FOUNDATION ELEVATIONS ARE SHOWN ON PLANS. CONTRACTOR TO SET FINISHED FLOOR AND GARAGE FLOOR ELEVATIONS. ALL STREET ELEVATIONS SHOWN ON PLANS ARE FOR TOP OF CURB (FULL-HEIGHT).
 2. THIS GRADING PLAN IS DESIGNED WITH VIEW-OUTS AND WALK-OUTS. ELEVATIONS SHOWN AS XXX V.O. DEPICT VIEW-OUT STRUCTURES. ELEVATIONS SHOWN AS XXX V.O. DEPICT WALK-OUT STRUCTURES.
 3. ALL LOTS SHALL MEET MINIMUM PAD REQUIREMENT AS SHOWN ON THE RECORDED PLAT.

MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES			
LOT	BLOCK	CITY DATUM	ELEVATION
2-27	A	145.5	1332.9
24,25	B	145.5	1332.9
16-23	B	143.5	1330.9
26-38	B	143.5	1330.9

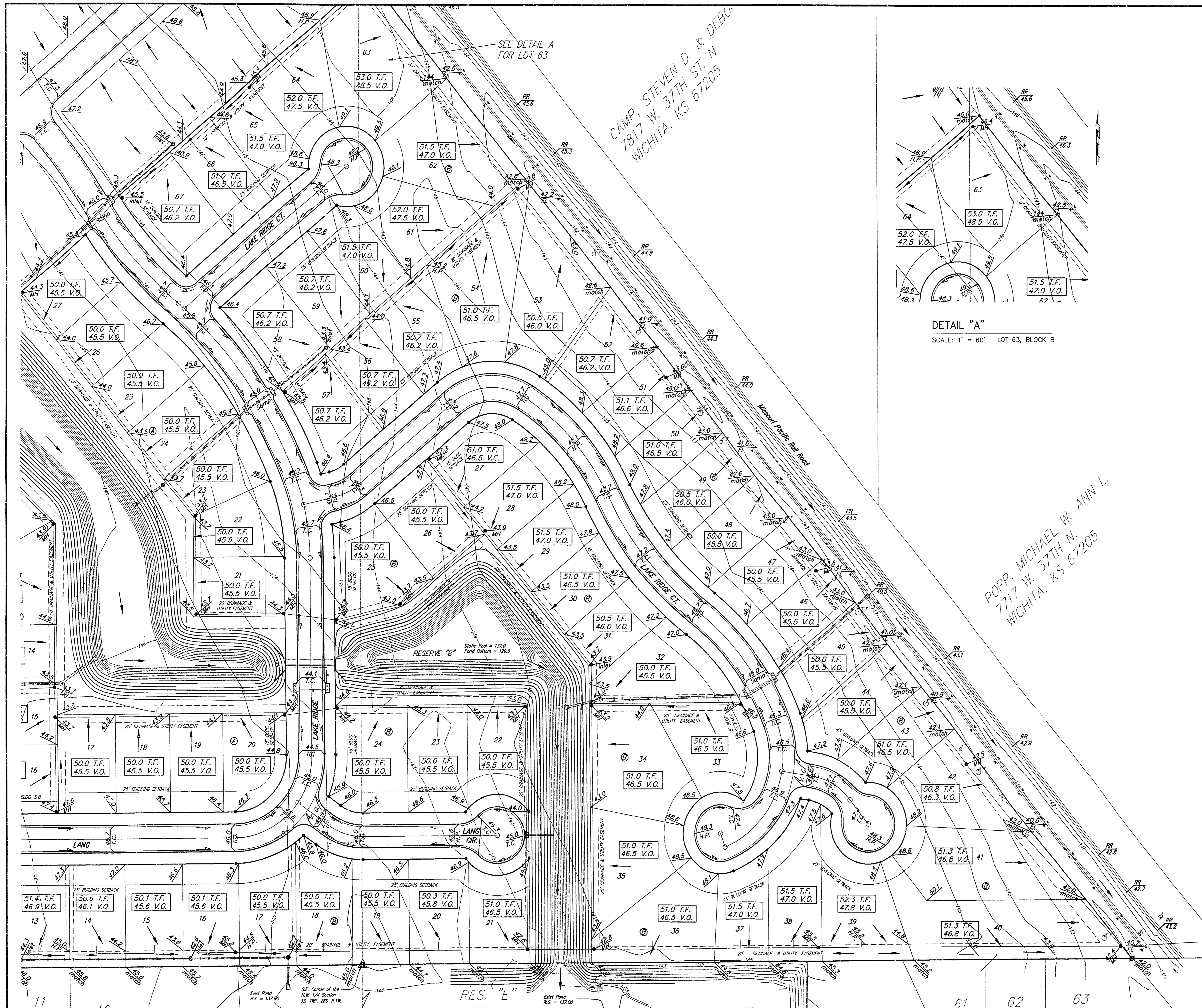
4. LOT DIMENSIONS HAVE BEEN OMITTED ON THIS PLAN. REFER TO THE RECORDED PLAT FOR FINAL DIMENSION, EASEMENT, & BUILDING SETBACK INFORMATION.
5. HOUSE PAD ELEVATIONS DEPICTED WITH BOLD OUTLINES WITH TOP OF FOUNDATIONS SHOWN AS XXX T.F. * INDICATE THAT DEEP FOOTINGS OR DEEP FOUNDATIONS MAY BE REQUIRED.
6. A DRAINAGE PLAN HAS BEEN DEVELOPED FOR THIS SUBDIVISION AND IS ON FILE WITH THE CITY OF WICHITA, KANSAS. DRAINAGE INTENT SHALL REMAIN AS SHOWN OR AS MODIFIED WITH THE APPROVAL OF THE CITY ENGINEER OF THE CITY OF WICHITA, KANSAS. NO OBSTRUCTIONS WHICH IMPED THE FLOW OF THIS DRAINAGE PLAN SHALL BE ALLOWED.
7. ALL ELEVATIONS SHOWN ARE CITY OF WICHITA DATUM.

TYLER'S LANDING 2ND ADDITION
MASTER GRADING PLAN
 CITY OF WICHITA, KANSAS

BAUGHMAN COMPANY P.A.
 ENGINEERING, SURVEYING, & PLANNING
 318-262-7271 • 318 ELLIS • WICHITA, KANSAS 67211

PROJECT NUMBER: _____ SHEET: **1** OF **2**

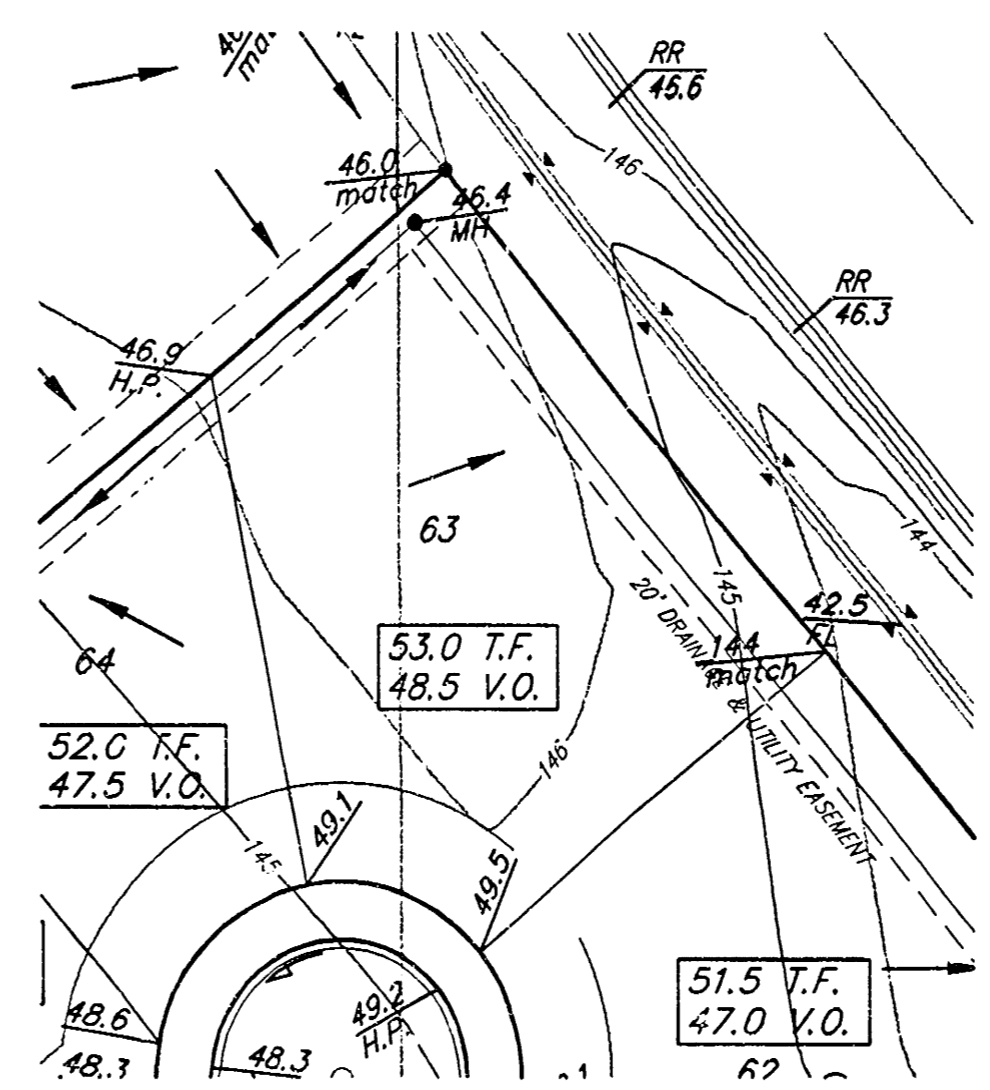
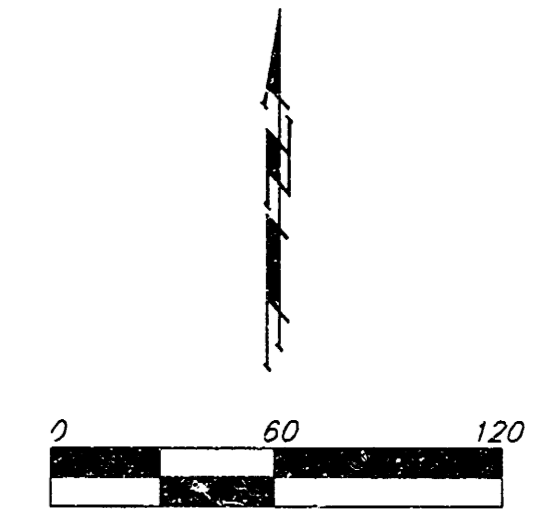
DESIGN: SCL DRAWN: SCL APPROVED: NEW DATE: 12/04 SCALE: 1"=60'



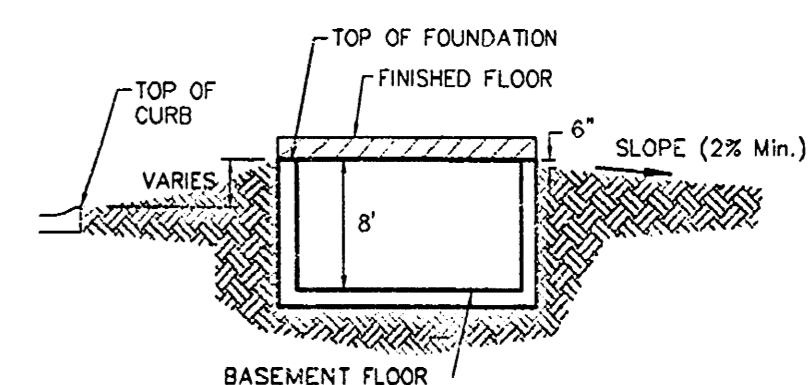
CAMP, STEVEN D & DEBO
7817 W. 37TH ST. N
WICHITA, KS 67205

POPP, MICHAEL W. ANN L.
7717 W. 37TH N.
WICHITA, KS 67205

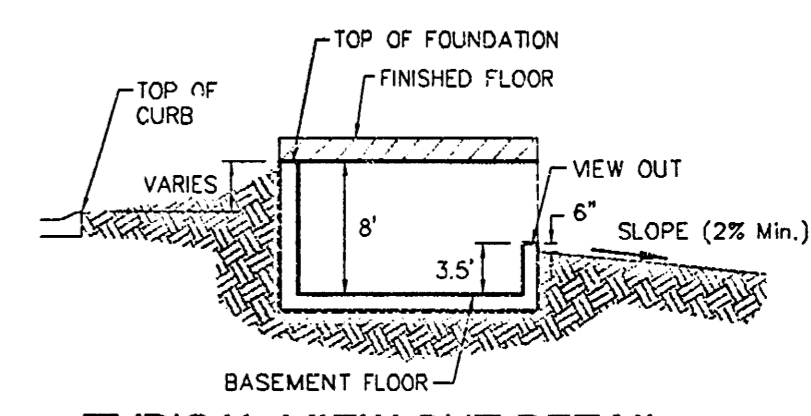
BENCHMARK:
CITY OF WICHITA BENCHMARK DISC -
SE. COR. OF THE INTERSECTION OF
TYLER RD. & 29TH STREET NORTH.
32.30' S. OF C.
30.00' E. OF C.
55.50' E. OF P.P.
8.20' SE. OF P.P.
43.20' SE. OF SEC. COR. IRON
ELEV = 178.04 CITY DATUM
1365.44 NGVD29



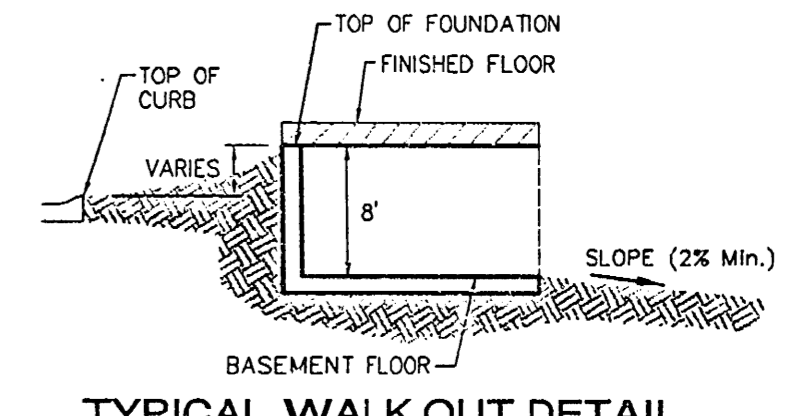
DETAIL "A"
SCALE: 1" = 60' LOT 63, BLOCK B



TYPICAL NON-VIEW OUT DETAIL
NO SCALE



TYPICAL VIEW OUT DETAIL
NO SCALE



TYPICAL WALK OUT DETAIL
NO SCALE

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7. ALL ELEVATIONS SHOWN ARE CITY DATUM.

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PROJECT NUMBER: _____ SHEET: **2** OF **2**

DESIGN: SCL DRAWN: SCL APPROVED: NWH DATE: 12/04 SCALE: 1"=60'