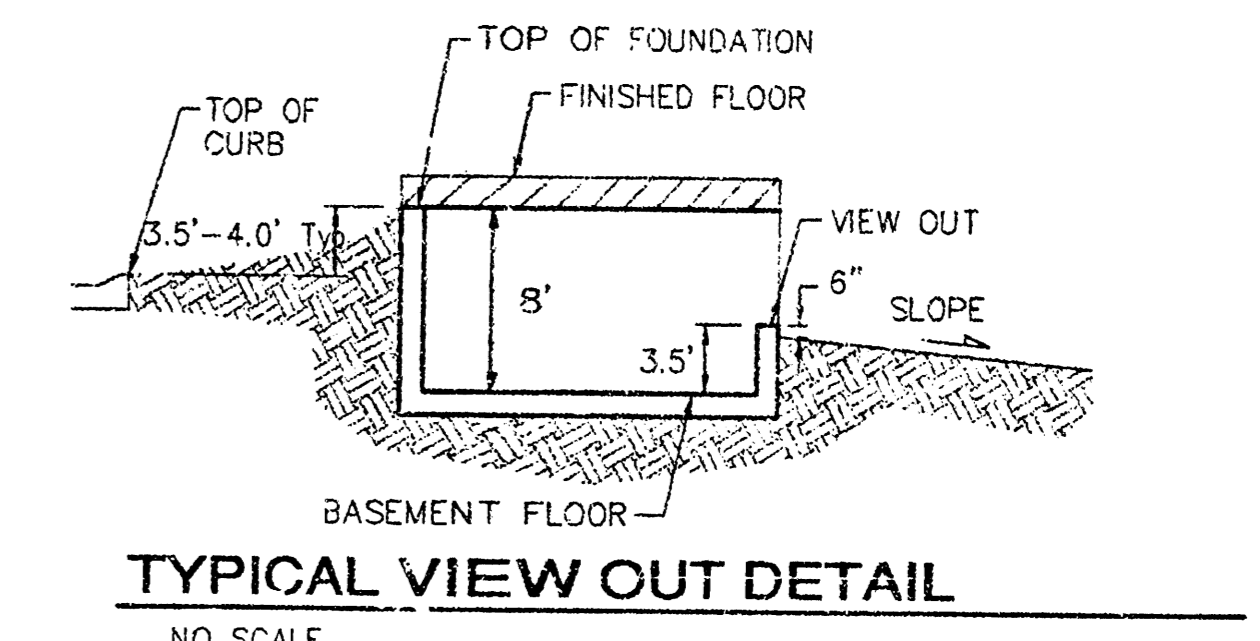
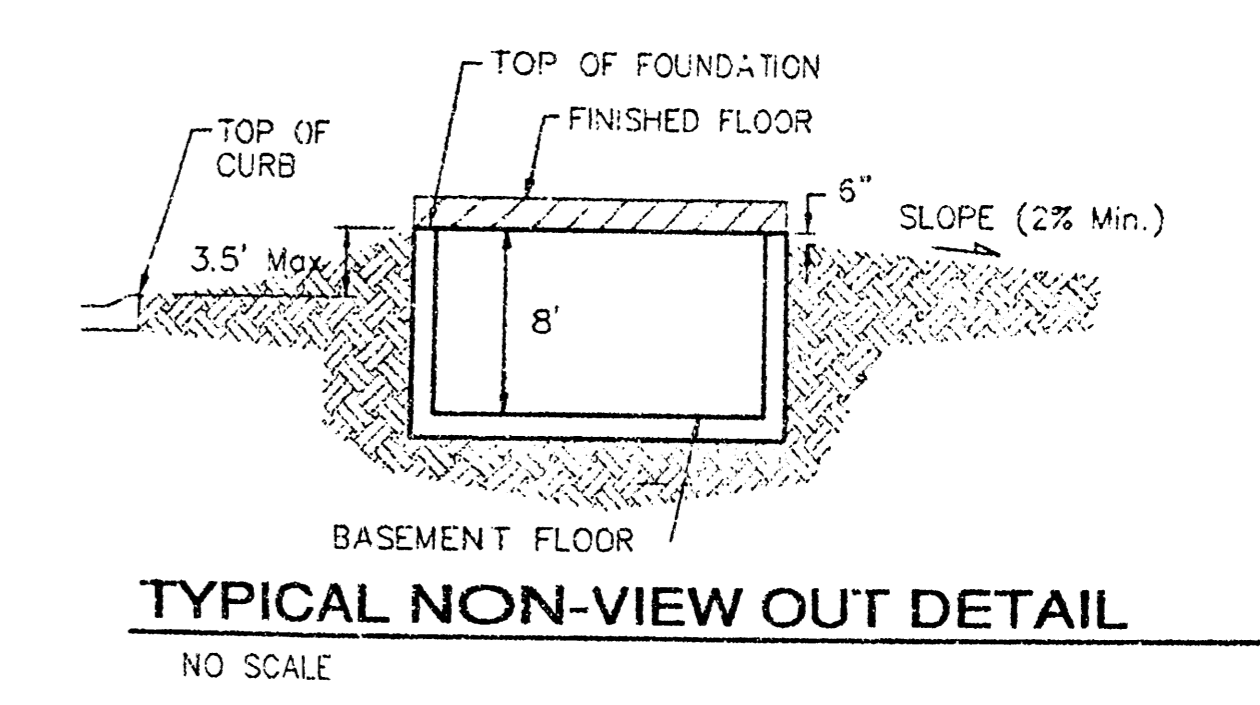


MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES

LOT	BLOCK	ELEVATION CITY DATUM
19,20	A	170.0
21,22	A	169.0
23,24	A	168.0
25	A	167.0
29,37,38	A	158.0
42	A	167.0
43	A	168.0
44	A	169.0
1-18	C	153.0
1	B	163.0

BENCHMARK:
City of Wichita Benchmark Disc - SE
Corner of the intersection of
13th St. W. & 13th St. N., 56 Feet
east & 55 feet south of Centerline of
both.
Elev. = 167.83 City Datum
= (1,555.23 NGVD)



NOTES:
Proposed Top of Foundation Elevations Are Shown on Plans. Contractor to Set Finished Floor Elevations.
All Street Elevations Shown on Plans Are for Top of Curb (Full-Height).
This Grading Plan is Designed with View-Outs. Elevations Shown at Rear of House (i.e., X V.O.)
Lot dimensions have been omitted on this plan, refer to the recorded plat for this information.

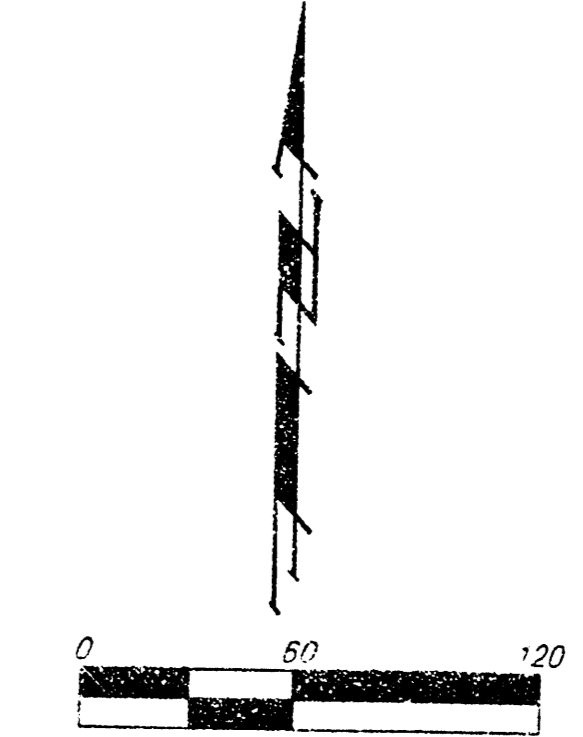
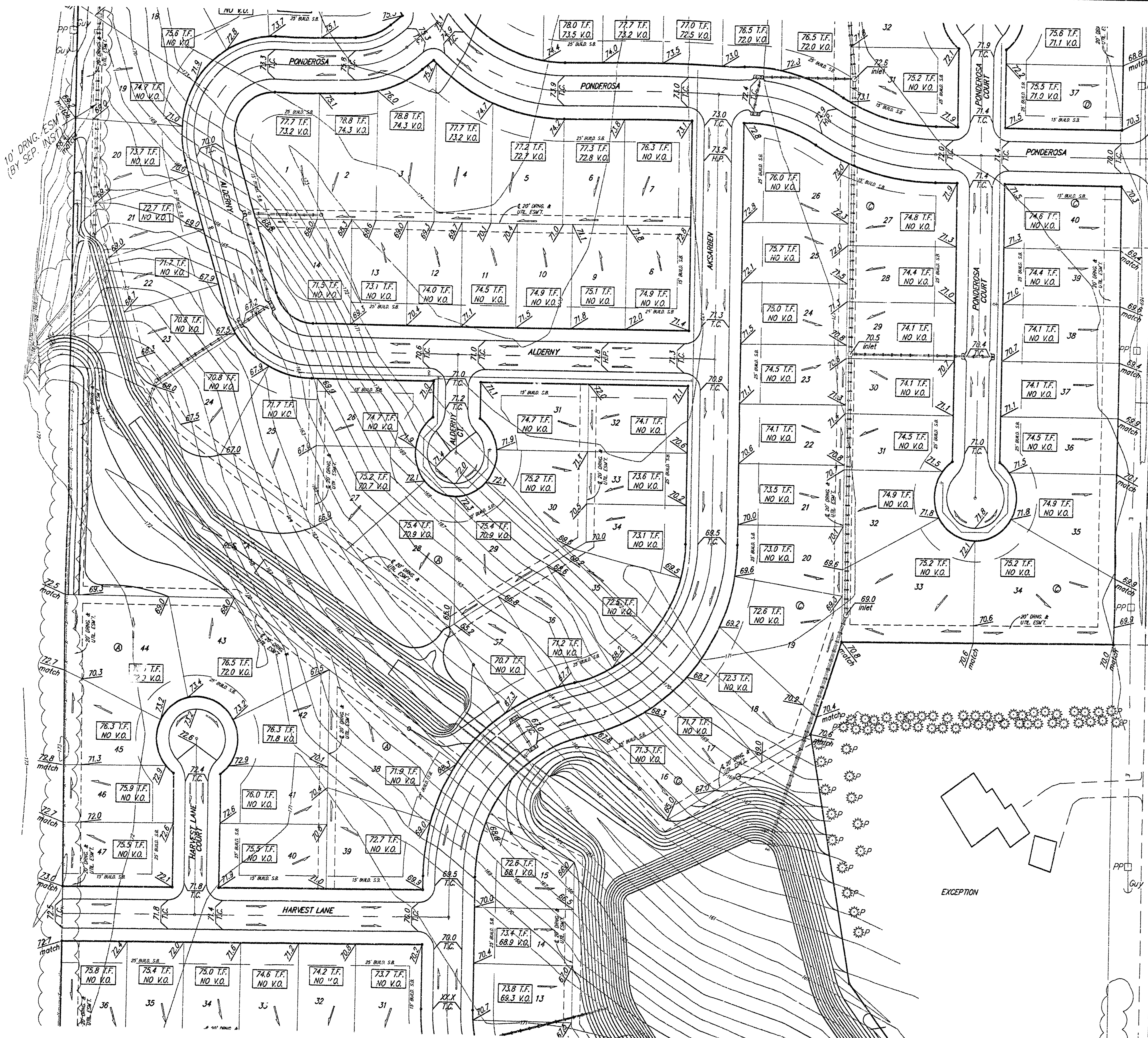
2 July 03 revised house elev by SMD per NWB
Bk A: Lots 3, 4, 6, 7, 9, 10
Bk D: Lots 4, 5, 16-19, 25-33, 34, 37
28 May 03 revised by SMD per NWB

**APPROVED
DRAINAGE PLAN**

COPPERGATE ESTATES
GRADING PLAN
WICHITA, KANSAS

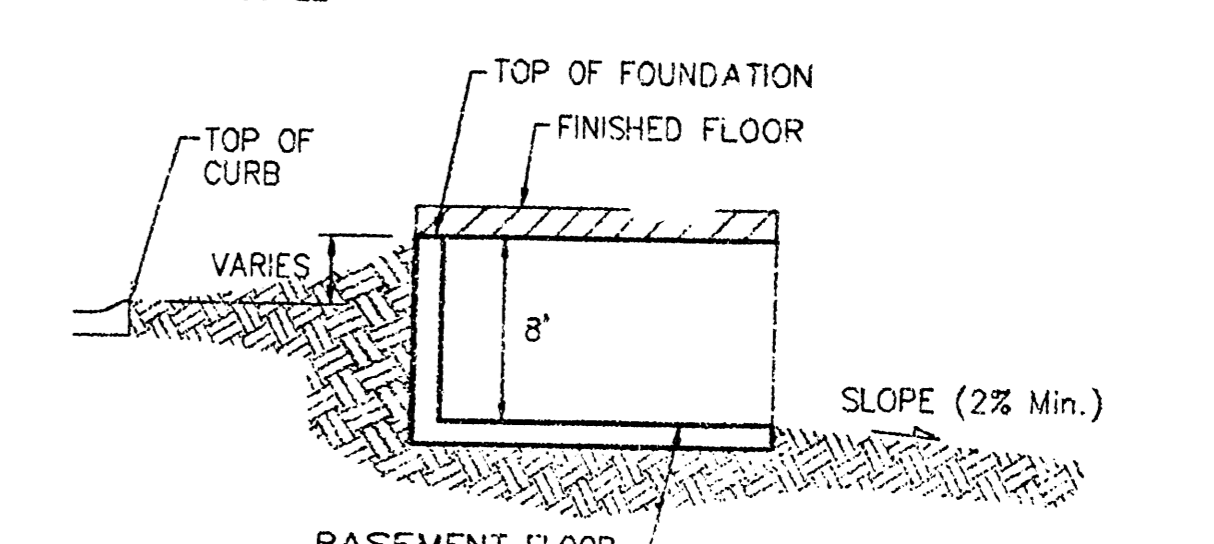
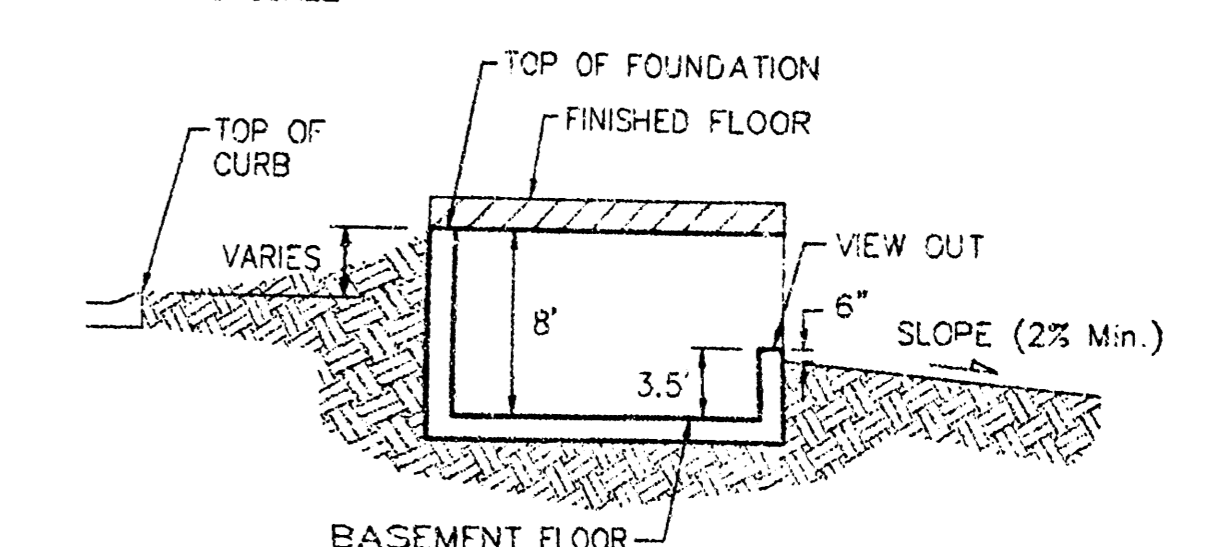
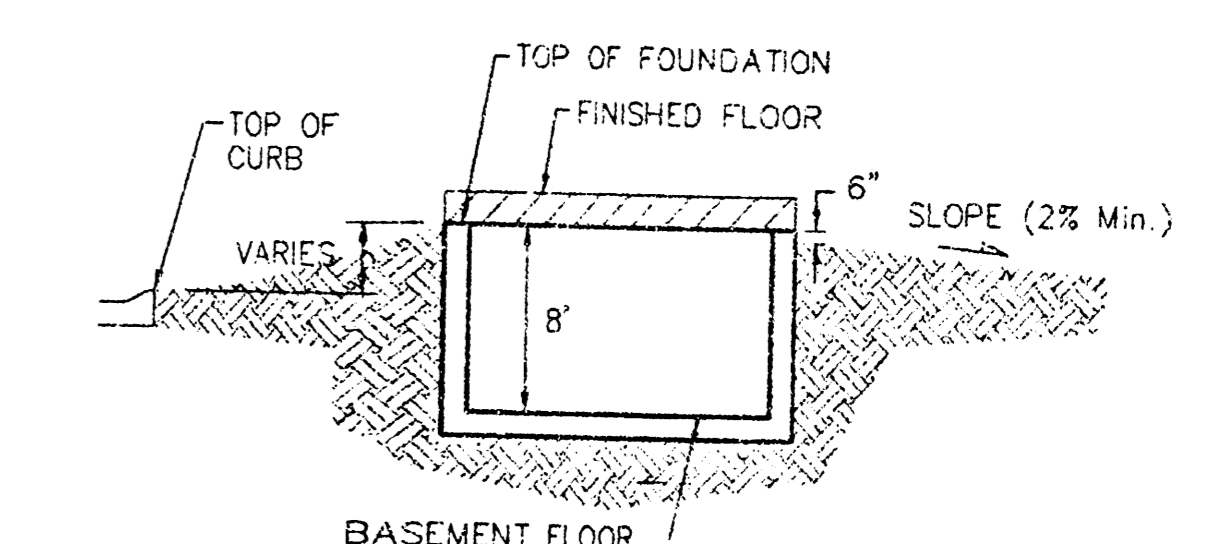
BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING, & PLANNING
118-262-2221 • 315 ELLIS • WICHITA, KANSAS 67211

DESIGN	DRAWN	APPROVED	DATE	SCALE	SHEET
BLG	BLG		07/22/02	NOTED	1 OF 3



BENCHMARK:
City of Wichita Benchmark Disc - SE
Corner of the intersection of
135th St. W. & 10th St. W., 58 Feet
east & 55 feet south of Centerline of
10th St. = 1678.23 City Datum
Elev. = (1,355.23 NGVD)

MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES		
LOT	BLOCK	ELEVATION CITY DATUM
19,20	A	170.0
21,22	A	159.0
23,24	A	168.0
25	A	167.0
28,37,39	A	156.0
42	A	167.0
43	A	166.0
44	A	166.0
1-18	C	165.0
1	B	165.0



NOTES:
Proposed Top of Foundation Elevations Are Shown On Plans. Contractor to Set Finished Floor Elevations.
All Street Elevations Shown on Plans Are for Top of Curb (Full-Height).
This Grading Plan is Designed with View-Outs. Elevations Shown at Rear of House (XX.V.O.).
Lot dimensions have been omitted on this plan, refer to the recorded plat for this information.

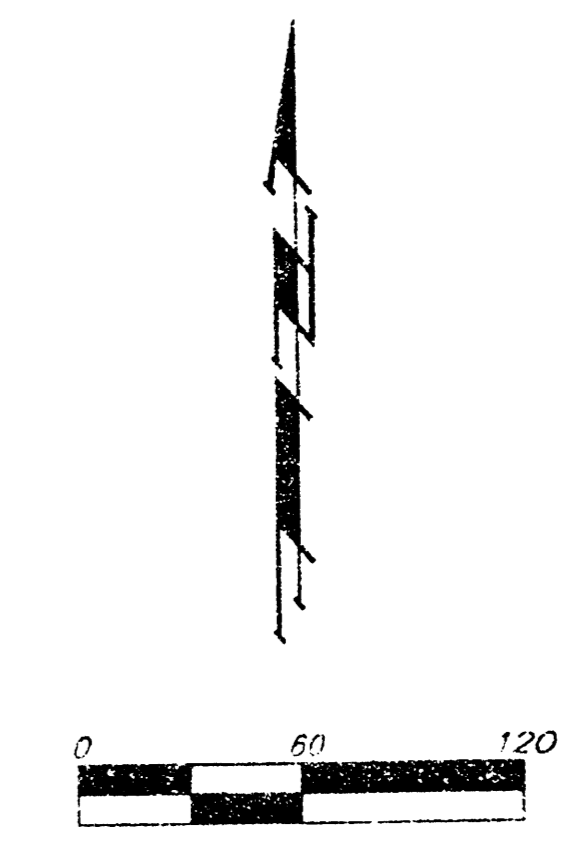
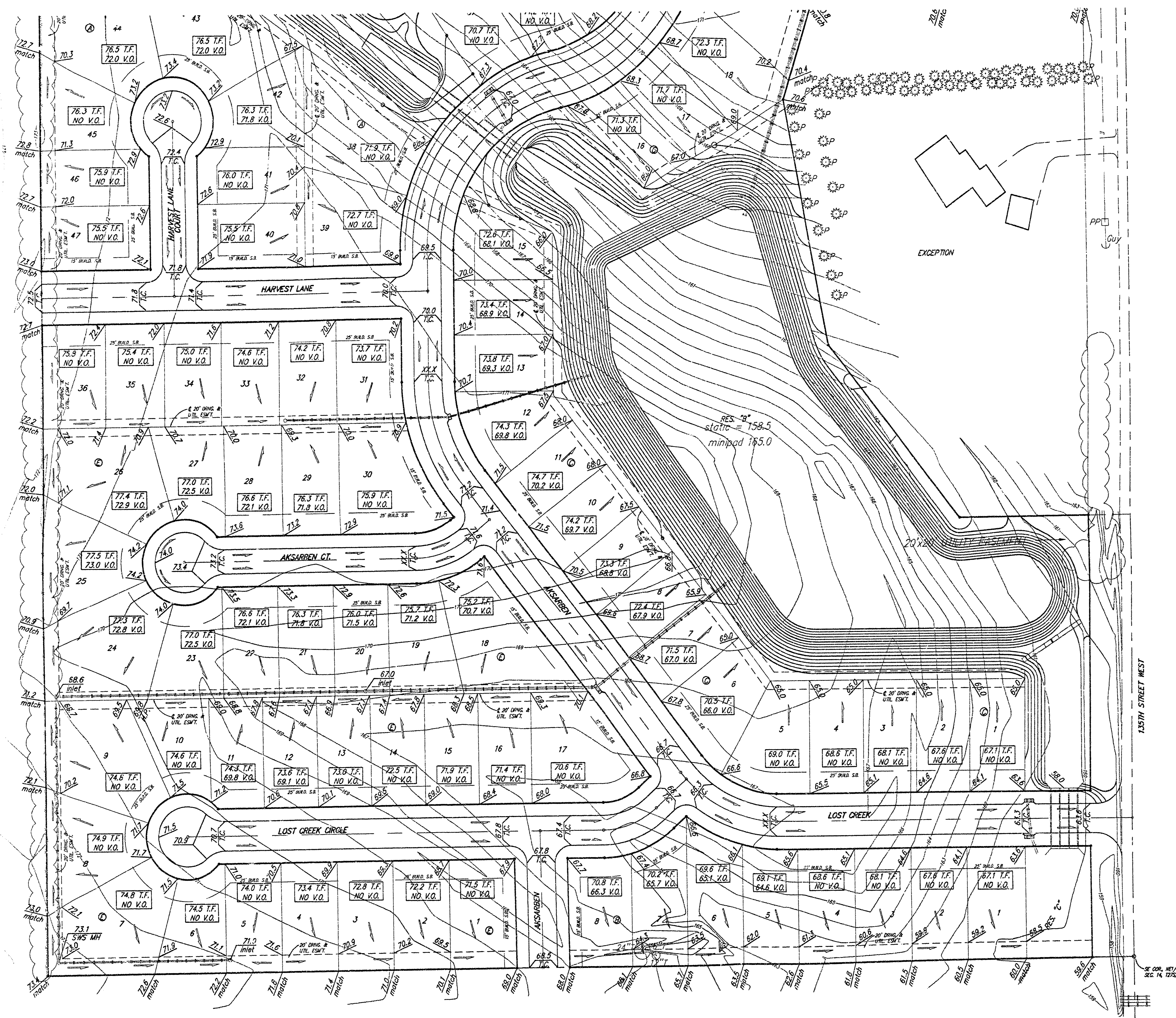
Revised 7/30/03 - JAY
10' Dring. Easement (by Sgn. Inst.); Lots 19-20, Block A
and Dring. Easement (by Sgn. Inst.); Lot 10, Block A
Revised 7/02/03 - SMD per NBW
Blk A: Lots 1, 4, 6, 7, 9, 10
Blk D: Lots 4, 5, 16-19, 29-33, 34, 37

COPPERGATE ESTATES
GRADING PLAN
WICHITA, KANSAS

BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING, & PLANNING
316-242-7271 • 315 LULLIS • WICHITA, KANSAS 67211

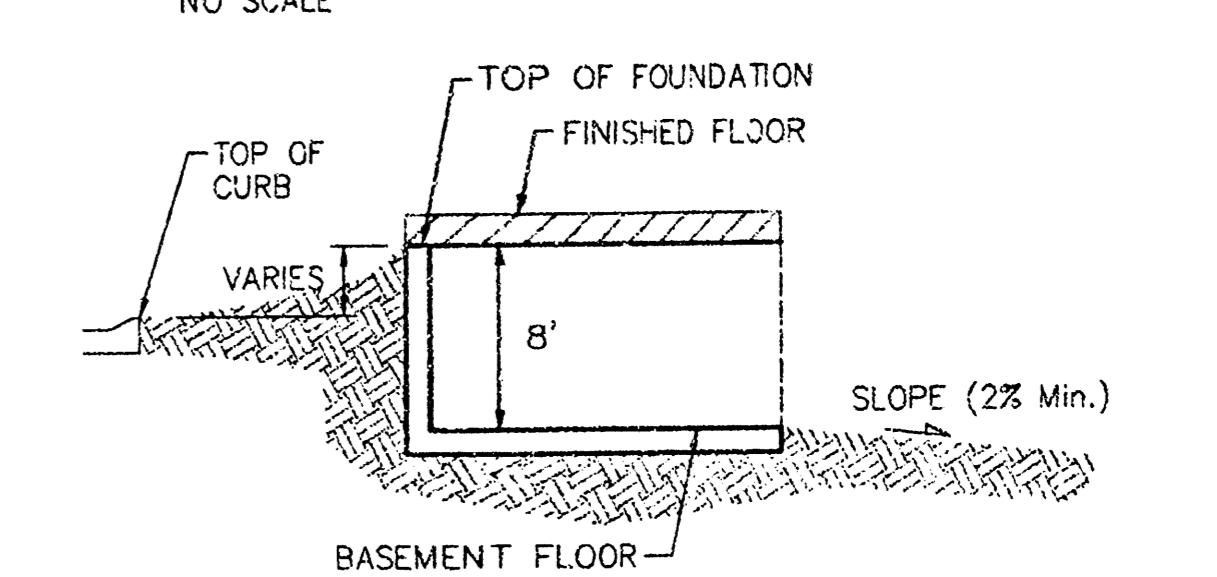
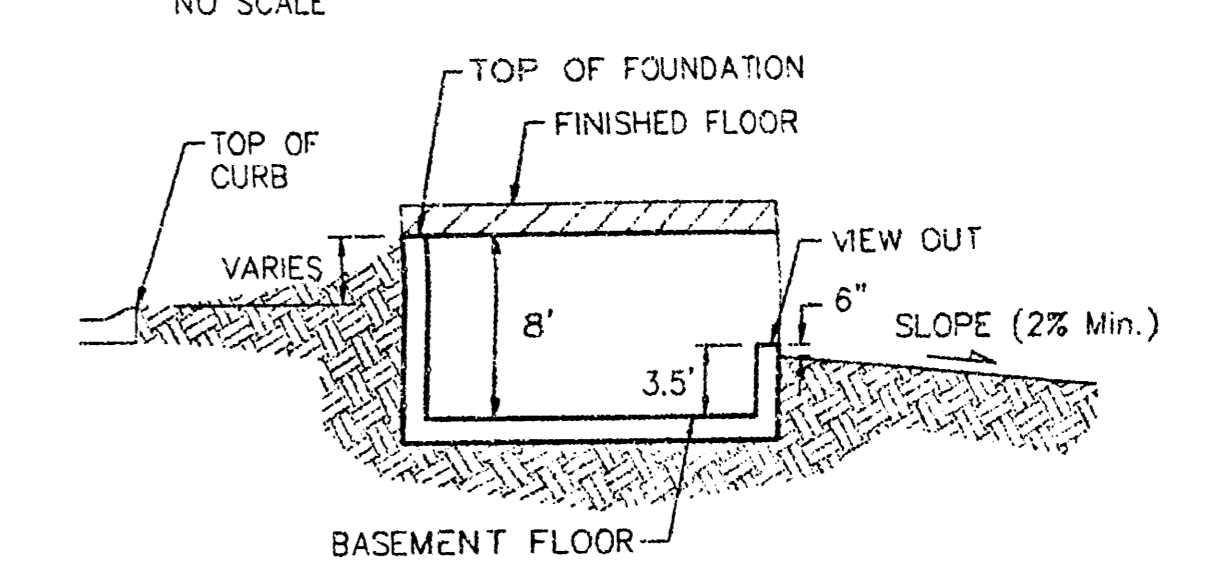
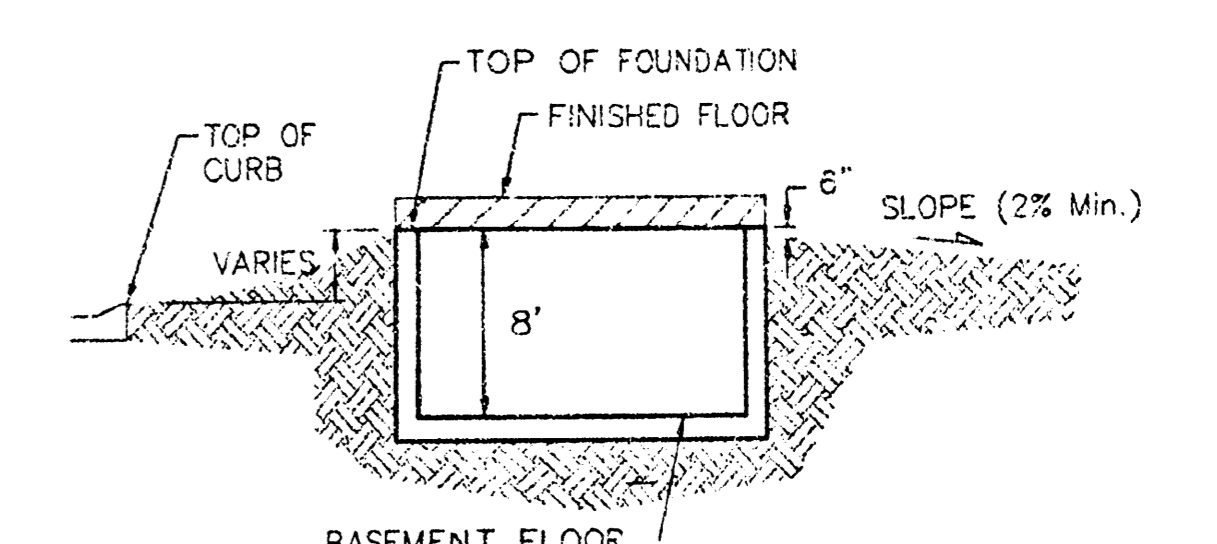
PROJECT NUMBER: _____ SHEET: **2** OF **3**

DESIGN: BLG	DRAWN: BLG	APPROVED:	DATE: 07/22/02	SCALE: NOTED
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MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENINGS TO THE STRUCTURES		
LOT	BLOCK	ELEVATION CITY DATUM
19,20	A	170.0
21,22	A	169.0
23,24	A	168.0
25	A	167.0
28,37,38	A	166.0
42	A	167.0
43	A	168.0
44	A	169.0
1-18	C	165.0
1	B	165.0

BENCHMARK:
City of Wichita Benchmark Disc - SE
Corner of the intersection of
135th St. W. & 15th St. N., 56 Feet
east & 53 feet south of Centerline of
both
Elev. = 167.83 City Datum
= (1,353.23 NGVD)



NOTES:
Proposed Top of Foundation Elevations Are Shown on Plans. Contractor to Set Finished Floor Elevations.
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Lot dimensions have been omitted on this plan, refer to the recorded plat for this information.

COPPERGATE ESTATES
GRADING PLAN
WICHITA, KANSAS

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ENGINEERING, SURVEYING, & PLANNING
318-262-7271 • 318 ELLIS • WICHITA, KANSAS 67211

DESIGN BLG	DRAWN BLG	APPROVED	DATE 07/22/02	SCALE NOTED	SHEET 3 OF 3
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