

As-Built Elevations:
 Hand written elevations are "As Built" elevations as surveyed for the sanitary sewer construction. Builders should check "As Built" elevations used and always provide for a minimum of 2% slope away from the rear of a home to the lowest rear lot corner. Additionally, 1% slope should be provided along the rear easement from lot line to lot line. Any fills or cuts in the rear easements by Builders shall be done in a way that will not interfere with the overall drainage scheme.

SCALE 1"=100'

LEGEND

- NW
F324
G34 INDICATES NO PERMIT BASEMENT
(F=Indicates Top of Foundation, As-Built Elevation)
(G=Indicates Garage Floor Elevation)
- WB
F324
G34 INDICATES PROPOSED NEW PERMIT BASEMENT
(F=Indicates Proposed Elevation, As-Built Elevation)
(G=Indicates Garage Floor Elevation)
- WB
F324
G34 INDICATES PROPOSED NEW PERMIT BASEMENT
(F=Indicates Proposed Elevation, As-Built Elevation)
(G=Indicates Garage Floor Elevation)

BENCHMARKS

1. "T" Set on South Side of R.D. 66, 26' South & 94' West of NW Cor. Sec. 36, Elev. 1511.30
2. Roll Road Spike in Power Pole, Approximately 26' South & 33' East of W 1/4 Cor. Sec. 35, Elev. 1543.02

NOTES

1. All 1500 h.c. Elevations to get M.S.L. Datum
2. Right of Way Corner Elevations are shown in solid. Front Lot Corner Elevations are 3/4" red showing R.O.W. Elevations are not shown.
3. Garage Floor Elevations are set 3' above highest finished Floor Elevation.
4. This plan was prepared for drainage purposes on the existing ground. The final lot lines, changes in some areas. When this plan is used, the engineer has no responsibility for any foundation damage from a design or drainage error to construction.



LOT GRADING PLAN
EQUESTRIAN ESTATES

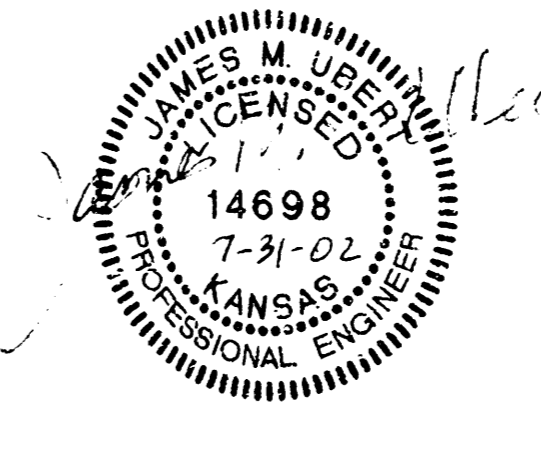
Developer: John Greenstreet
 J.D.G., LLC
 12221 E. Central
 Wichita, KS 67206

Engineer: Poe and Associates of Kansas, Inc.
 5940 E. Central
 Wichita, KS 67208

An Addition to Wichita - Sedgwick County, Kansas
 (Associated Zone Case PUD 2000-0001)

DATE: JULY 13, 2001
 Revised: JULY 31, 2002
 Revised: April 14, 2003
 Revised: January 5, 2004

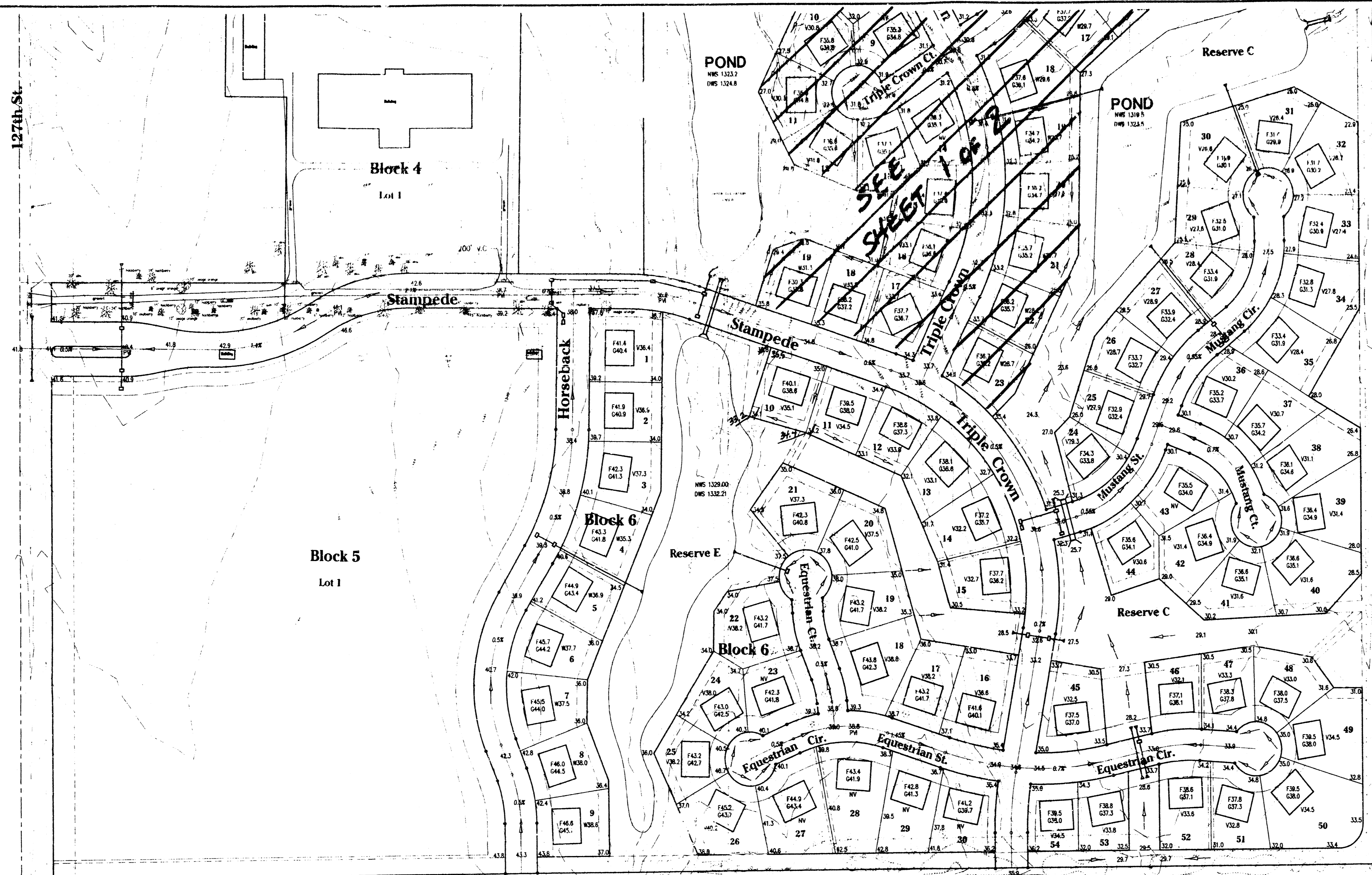
Revised: November 11, 2004 ←



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EQUESTRIAN ESTATES
 Revised 11/11/2004 Sheet 1 of 2

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SCALE 1"=100'

LEGEND

- INDICATES NO VIEW OUT BASEMENT
 (W-Indicates Top of Foundation Wall Elevation)
 (G-Indicates Garage Floor Elevation)
- INDICATES PROPOSED VIEW OUT BASEMENT
 (W-Indicates Ground Elevation @ Rear Wall)
 (V-Indicates Top of Foundation Wall Elevation)
 (G-Indicates Garage Floor Elevation)
- INDICATES PROPOSED WALK OUT BASEMENT
 (W-Indicates Basement Floor Elevation)
 (G-Indicates Top of Foundation Wall Elevation)
 (G-Indicates Garage Floor Elevation)

BENCHMARKS

1. "C" Cut on South Side Guard of R.O.D.B. 26' South & 94' West of NW Cor. Sec. 22. Elev. 1311.90
2. Rail Road Spike in Power Pole. Approximately 25' South & 30' East of N. 1/4 Cor. Sec. 25. Elev. 1349.65

NOTES

1. Add 1.500 to Finish Elevations to get M.S.L. Datum.
2. Front Lot Corner Elevations are shown in street. Front Lot Corner Elevations are 0.5 feet above Top of Curb Elevation. (Top of Curb Elevations are not shown).
3. Garage Floor Elevations are set 3' above highest Front Lot Corner Elevation (Typical).
4. This plan was prepared for drainage purposes only. The existing ground line may have been changed in some areas with this addition. Grade changes in these areas may not have been made with engineered fill. Builders may need to obtain foundation advice from a Geotechnical Engineer prior to construction.

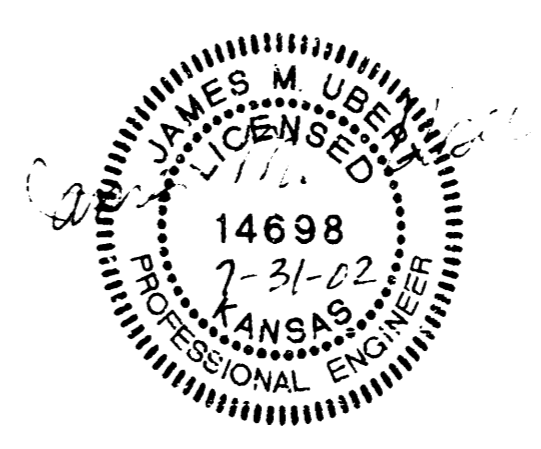
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