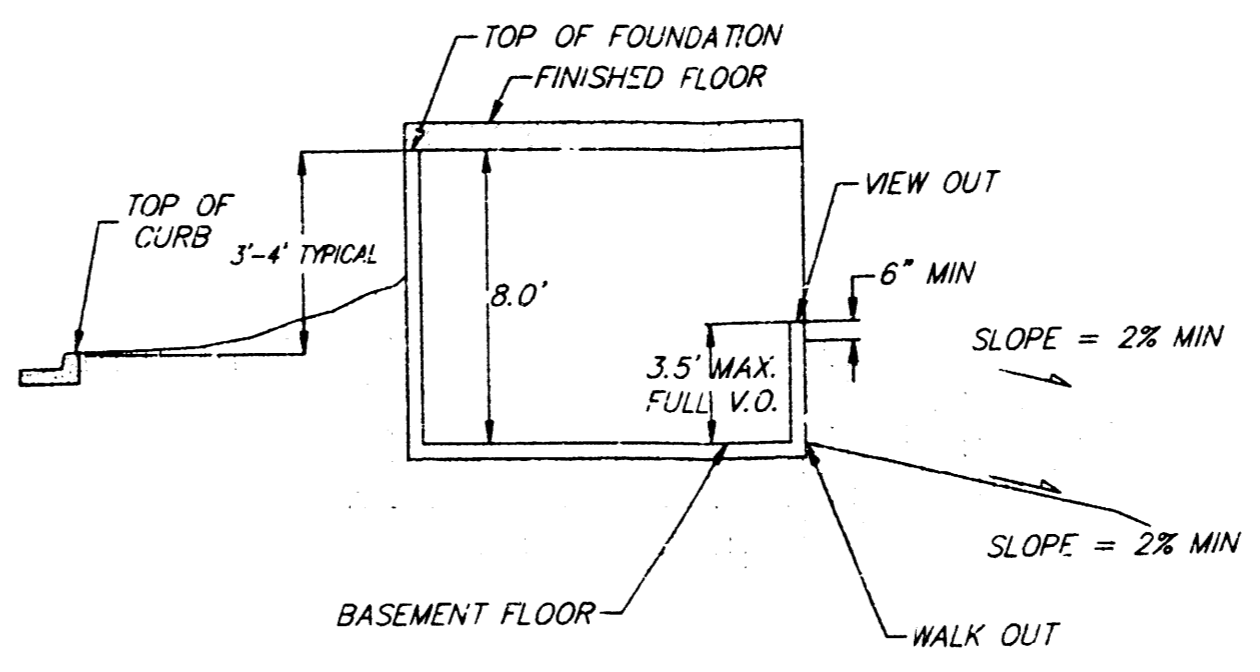


BENCHMARK:
CITY OF WICHITA BENCHMARK DISC - NE CORNER OF
THE INTERSECTION OF 135TH ST. W & CENTRAL
32.6' N. & 24.5' E. OF C. OF BOTH 33.5' NE OF
HIGH AT SEC. CORNER
ELEVATION = 128.50 C1 / DATUM
(1346.80 M.S.L.)

SCALE:
1" = 60'
= IRON

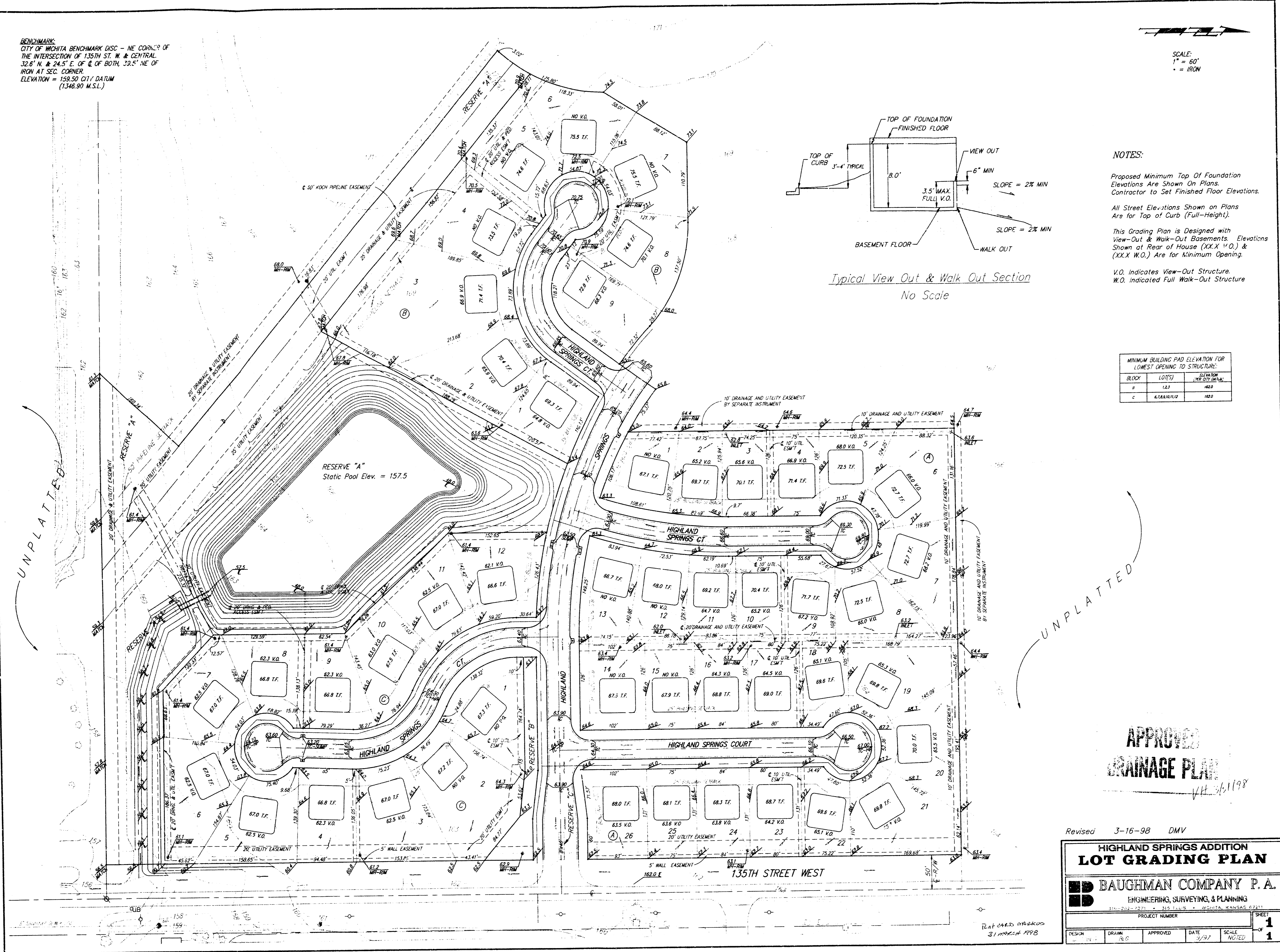


Typical View Out & Walk Out Section
No Scale

NOTES:

Proposed Minimum Top Of Foundation Elevations Are Shown On Plans. Contractor to Set Finished Floor Elevations.
All Street Elevations Shown on Plans Are for Top of Curb (Full-Height).
This Grading Plan is Designed with View-Out & Walk-Out Basements. Elevations Shown at Rear of House (XXX' V.O.) & (XXX' W.O.) Are for Minimum Opening.
V.O. Indicates View-Out Structure.
W.O. Indicates Full Walk-Out Structure.

BLDG	LOTS	MINIMUM BUILDING PAD ELEVATION FOR LOWEST OPENING TO STRUCTURE
A	123	462
C	434&4341/2	460



APPROVED
DRAINAGE PLAN
4/11/98

Revised 3-16-98 DMV

**HIGHLAND SPRINGS ADDITION
LOT GRADING PLAN**

BAUGHMAN COMPANY P. A.
ENGINEERING, SURVEYING, & PLANNING
1100 W. 21ST ST. - 315 S.W. 10TH ST. - OKMUTUAL BANKS BLDG.

DESIGN	DRAWN	APPROVED	DATE	SCALE	SHEET
	TC		3/97	AS SHOWN	1