

STAFF REPORT
(Preliminary Plat)

CASE NUMBER: SUB 2000-107 -- BAREFOOT BAY ESTATES

OWNER/APPLICANT: Mike Shell, 2814 N. North Shore Ct., Wichita, KS 67205

SURVEYOR/ENGINEER: Baughman Company, P.A., 315 Ellis, Wichita, KS 67211

LOCATION: North side of 29th St. North, East of Ridge Road

SITE SIZE: 5.53 Acres

NUMBER OF LOTS

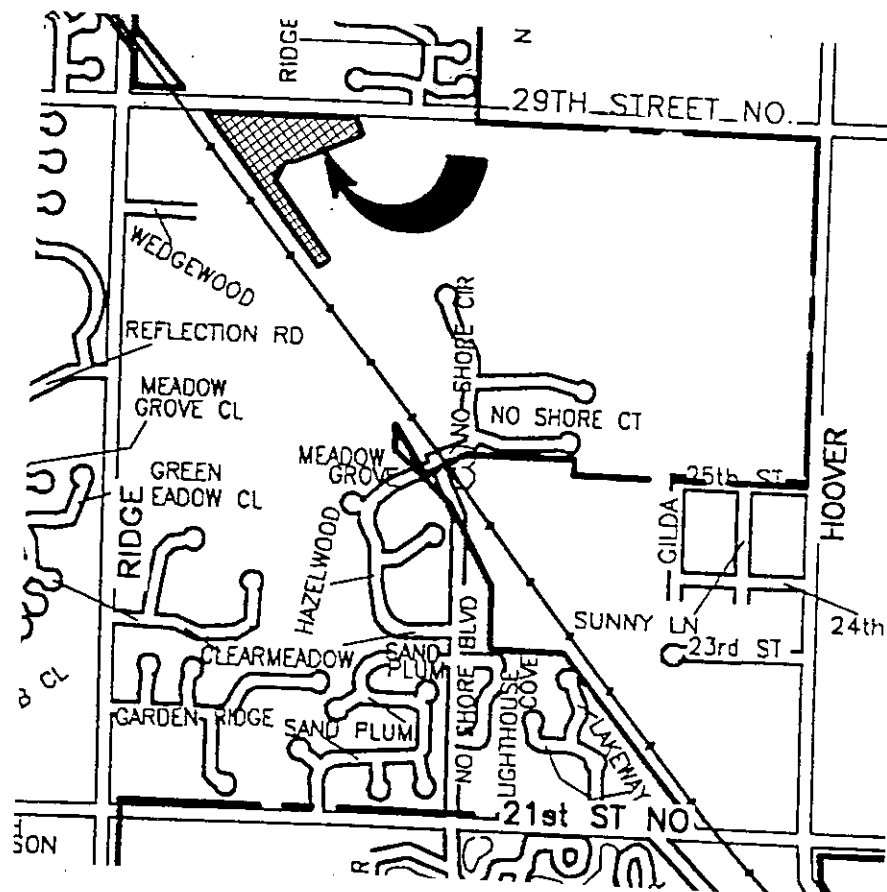
Residential:	8
Office:	
Commercial:	
Industrial:	
Total:	8

MINIMUM LOT AREA: 13,807 Sq. Ft.

CURRENT ZONING: LI, Limited Industrial

PROPOSED ZONING: SF-6, Single-Family Residential

VICINITY MAP



SUB 2000-107 -- Preliminary Plat of BAREFOOT BAY ESTATES
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Note: This is unplatted property located within the City of Wichita. The Applicant will be requesting a zone change to SF-6, Single-Family Residential.

STAFF COMMENTS:

- A. This plat will be subject to approval of an associated zone change and any related conditions of such a zone change. Prior to this plat being heard by the City Council, a zone change shall have been submitted and approved by the MAPC.
- B. The applicant shall guarantee the extension of sanitary sewer and municipal water. City Engineering needs to comment on the need for any other guarantees or easements.
- C. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning department for recording.
- D. City Engineering needs to comment on the status of the applicant's drainage concept. Minimum pad elevations should be established.
- E. Traffic Engineering needs to comment on the access controls, and the need for additional shared access. The plat proposes three access openings along 29th St. North, including two openings for Lot 8. The final plat shall reference the access controls in the plat's text.
- F. The applicant shall guarantee the closure of any driveway openings located in areas of complete access control or that exceed the number of allowed openings.
- G. Provisions shall be made for ownership and maintenance of the proposed reserves. The applicant shall either form a lot owners' association prior to recording the plat or shall submit a covenant stating when the association will be formed, when the reserves will be deeded to the association and who is to own and maintain the reserves prior to the association taking over those responsibilities.
- H. For those reserves being platted for drainage purposes, the required covenant which provides for ownership and maintenance of the reserves shall grant, to the appropriate governing body, the authority to maintain the drainage reserves in the event the owner(s) fail to do so. The covenant shall provide for the cost of such maintenance to be charged back to the owner(s) by the governing body.
- I. The applicant proposes a 24-ft private drive to access five lots. Subdivision regulations limit private drives to a maximum of three lots. A modification will need to be approved by the Subdivision Committee.
- J. A covenant shall be submitted regarding the reserve platted for private drive purposes, which sets forth ownership and maintenance of the private drive, and future reversionary rights of the reserve to the lots benefiting from the reserve. The plat's text shall reference the platting of the reserve for private drive purposes along with ownership and maintenance responsibilities.
- K. The applicant shall guarantee the paving of the proposed private drive. As a private improvement, the guarantee cannot be provided through the use of petitions.
- L. The applicant should meet with City Fire Department to establish a name for the private street.

- M. The parking areas intended for Reserves B and C should be shown on the plat as parking easements, and referenced in the plat's text. The Subdivision Regulations require parking easements to be a minimum of 20 feet deep and have a maximum street frontage of 50 feet.
- N. The applicant is reminded that a platting binder is required with the final plat. Approval of this plat will be subject to submittal of this binder and any relevant conditions found by such a review.
- O. This property is within a zone identified by the City Engineers' office as likely to have groundwater at some or all times within 10 feet of the ground surface elevation. Building with specially engineered foundations or with the lowest floor opening above groundwater is recommended, and owners seeking building permits on this property will be similarly advised. More detailed information on recorded groundwater elevations in the vicinity of this property is available in the City Engineers' office.
- P. The plat's text shall include language that a drainage plan has been developed for the plat and that all drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of stormwater.
- Q. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- R. The applicant's engineer is advised that the Register of Deeds is requiring the name(s) of the notary public, who acknowledges the signatures on this plat, to be printed beneath the notary's signature.
- S. To receive mail delivery without delay, and to avoid unnecessary expense, the applicant is advised of the necessity to meet with the U.S. Postal Service Growth Management Coordinator (Phone 316-729-0102) prior to development of the plat so that the type of delivery, and the tentative mailbox locations can be determined.
- T. The applicant is advised that various State and Federal requirements (specifically but not limited to the Army Corps of Engineers, Kanopolis Project Office, Rt. 1, Box 317, Valley Center, KS 67147) for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements.
- U. The owner of the subdivision should be aware of the fact that the development of any subdivision greater than five (5) acres in size may require an NPDES Storm Water Discharge Permit from the Kansas Department of Health and Environment in Topeka. Further, on all construction sites, the City of Wichita requires that best management practices be used to reduce pollutant loadings in storm water runoffs.
- V. Perimeter closure computations shall be submitted with the final plat tracing.
- W. Recording of the plat within thirty (30) days after approval by the City Council and/or County Commission.
- X. The representatives from the utility companies should be prepared to comment on the need for any additional utility easements to be platted on this property.

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- Y. The applicant is reminded that a disk shall be submitted with the final plat tracing to the Planning Department detailing this plat in digital format in AutoCAD. This will be used by the City and County GIS Department.

STAFF REPORT

(Final Plat, Preliminary Plat Approved 11/30/00)

CASE NUMBER: SUB 2000-107 -- BAREFOOT BAY ESTATES

OWNER/APPLICANT: Mike Shell, 2814 N. North Shore Ct., Wichita, KS 67205

SURVEYOR/ENGINEER: Baughman Company, P.A., 315 Ellis, Wichita, KS 67211

LOCATION: North side of 29th St. North, East of Ridge Road

SITE SIZE: 5.53 Acres

NUMBER OF LOTS

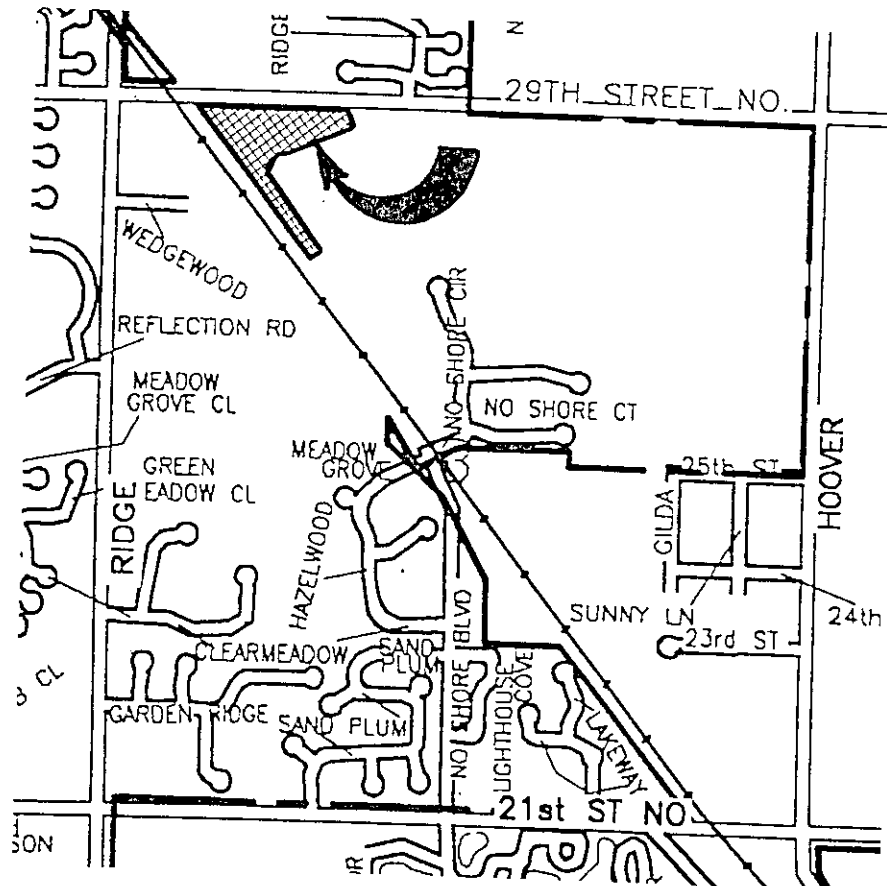
Residential:	8
Office:	
Commercial:	
Industrial:	
Total:	8

MINIMUM LOT AREA: 13,807 Sq. Ft.

CURRENT ZONING: LI, Limited Industrial

PROPOSED ZONING: SF-6, Single-Family Residential; NO, Neighborhood Office

VICINITY MAP



NOTE: This is unplatted property located within the City of Wichita. The Applicant will be requesting a zone change to SF-6, Single-Family Residential and NO, Neighborhood Office (Lot 8).

STAFF COMMENTS:

- A. This plat will be subject to approval of an associated zone change and any related conditions of such a zone change. Prior to this plat being heard by the City Council, a zone change shall have been submitted and approved by the MAPC.
- B. The applicant shall guarantee the extension of sanitary sewer and municipal water. City Engineering needs to comment on the need for any other guarantees or easements. ~~No guarantees or easements are required.~~
- C. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning department for recording.
- D. City Engineering needs to comment on the status of the applicant's drainage plan.
- E. Traffic Engineering needs to comment on the access controls. The plat proposes three access openings along 29th St. North, including two openings for Lot 8. The final plat shall reference the access controls in the plat's text. The access controls are approved.
- F. The joint access opening between Lots 6 and 7 shall be established by separate instrument. Initial construction responsibilities and future maintenance of the driveway within the easement should also be addressed by the text of the instrument.
- G. The applicant shall guarantee the closure of any driveway openings located in areas of complete access control or that exceed the number of allowed openings.
- H. Provisions shall be made for ownership and maintenance of the proposed reserves. The applicant shall either form a lot owners' association prior to recording the plat or shall submit a covenant stating when the association will be formed, when the reserves will be deeded to the association and who is to own and maintain the reserves prior to the association taking over those responsibilities.
- I. For those reserves being platted for drainage purposes, the required covenant which provides for ownership and maintenance of the reserves shall grant, to the appropriate governing body, the authority to maintain the drainage reserves in the event the owner(s) fail to do so. The covenant shall provide for the cost of such maintenance to be charged back to the owner(s) by the governing body.
- J. The applicant proposes a 24-ft private drive to access five lots. Subdivision regulations limit private drives to a maximum of three lots. A modification has been approved by the Subdivision Committee.
- K. A covenant shall be submitted regarding the reserve platted for private drive purposes, which sets forth ownership and maintenance of the private drive, and future reversionary rights of the reserve to the lots benefiting from the reserve. The plat's text shall reference the platting of the reserve for private drive purposes along with ownership and maintenance responsibilities.

impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements.

- Z. The owner of the subdivision should be aware of the fact that the development of any subdivision greater than five (5) acres in size may require an NPDES Storm Water Discharge Permit from the Kansas Department of Health and Environment in Topeka. Further, on all construction sites, the City of Wichita requires that best management practices be used to reduce pollutant loadings in storm water runoffs.
- AA. Perimeter closure computations shall be submitted with the final plat tracing.
- BB. Recording of the plat within thirty (30) days after approval by the City Council and/or County Commission.
- CC. The representatives from the utility companies should be prepared to comment on the need for any additional utility easements to be platted on this property.
- DD. The applicant is reminded that a disk shall be submitted with the final plat tracing to the Planning Department detailing this plat in digital format in AutoCAD. This will be used by the City and County GIS Department.

- L. ~~The applicant shall guarantee the paving of the proposed private drive. As a private improvement, the guarantee cannot be provided through the use of petitions.~~
- M. The applicant should meet with City Fire Department to establish a name for the private street.
- N. The length of the parking easement in Reserve B needs to be denoted.
- O. The 20-ft utility easement adjoining Reserve A should be a drainage/utility easement.
- P. Based upon the platting binder, property taxes are still outstanding. Before the plat is scheduled for City Council consideration, proof shall be provided indicating that all applicable property taxes have been paid.
- Q. The signature line for the County Clerk needs to be revised to reference "Don Brace".
- R. ~~The applicant shall submit a copy of the instrument which establishes the pipeline easements on the property, which verifies that the easements shown are sufficient and that utilities may be located adjacent to and within the easements.~~
- S. The applicant's agent shall determine any setback requirements for the pipelines by researching the text of the pipeline agreements. ~~If a setback from the pipeline easements is provided for in the pipeline easement agreements, it shall be indicated on the face of the plat.~~
- T. This property is within a zone identified by the City Engineers' office as likely to have groundwater at some or all times within 10 feet of the ground surface elevation. Building with specially engineered foundations or with the lowest floor opening above groundwater is recommended, and owners seeking building permits on this property will be similarly advised. More detailed information on recorded groundwater elevations in the vicinity of this property is available in the City Engineers' office.
- U. The plat's text shall include language that a drainage plan has been developed for the plat and that all drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of stormwater.
- V. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- W. The applicant's engineer is advised that the Register of Deeds is requiring the name(s) of the notary public, who acknowledges the signatures on this plat, to be printed beneath the notary's signature.
- X. To receive mail delivery without delay, and to avoid unnecessary expense, the applicant is advised of the necessity to meet with the U.S. Postal Service Growth Management Coordinator (Phone 316-729-0102) prior to development of the plat so that the type of delivery, and the tentative mailbox locations can be determined.
- Y. The applicant is advised that various State and Federal requirements (specifically but not limited to the Army Corps of Engineers, Kanopolis Project Office, Rt. 1, Box 317, Valley Center, KS 67147) for the control of soil and wind erosion and the protection of wetlands may

STAFF REPORT
(One-Step Final Plat)

CASE NUMBER: SUB 2003-64 – BAREFOOT BAY ESTATES ADDITION

OWNER/APPLICANT: Mike Shell, 2814 N. North Shore Ct., Wichita, KS 67205

SURVEYOR/ENGINEER: Baughman Co., P.A., 315 Ellis, Wichita, KS 67211

LOCATION: South side of 29th St. North, East of Ridge Road

SITE SIZE: 5.53 acres

NUMBER OF LOTS

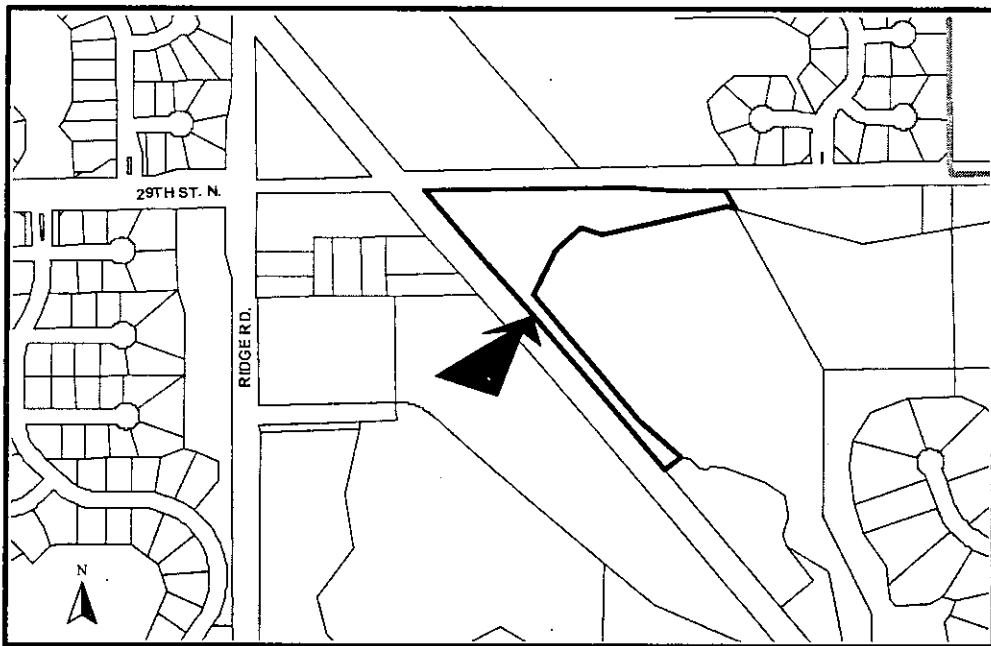
Residential:	
Office:	
Commercial:	
Industrial:	6
Total:	6

MINIMUM LOT AREA: 14,424 sq. ft.

CURRENT ZONING: LI, Limited Industrial

PROPOSED ZONING: Same

VICINITY MAP



NOTE: This is unplatted property located within the City of Wichita.

Planning Staff recommends approval of the plat.

STAFF COMMENTS:

- A. Municipal services appear to be available to serve the site. City Engineering needs to comment on the need for guarantees or easements.
- B. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning department for recording.
- C. City Engineering needs to comment on the status of the applicant's drainage plan.
- D. Traffic Engineering needs to comment on the access controls. The plat proposes three joint access openings along 29th St. North. The center opening between Lots 3 and 4 shall be rights-in/out. Full turning movements are permitted for the other joint openings.
- E. Traffic Engineering needs to comment on the need for any improvements to 29th Street. A left turn lane along 29th North is needed to serve Lots 1 and 2.
- F. Traffic Engineering has requested the dedication of 10-ft additional right-of-way along 29th St. North to conform with the 60-ft half-street right-of-way required by the Access Management Regulations.
- G. The joint access openings shall be established by separate instrument. Initial construction responsibilities and future maintenance of the driveways within the easements should also be addressed by the text of the instrument.
- H. The language in the plat's text should be revised to replace homeowner's association with lot owner's association.
- I. Provisions shall be made for ownership and maintenance of the proposed reserves. The applicant shall either form a lot owners' association prior to recording the plat or shall submit a covenant stating when the association will be formed, when the reserves will be deeded to the association and who is to own and maintain the reserves prior to the association taking over those responsibilities.
- J. For those reserves being platted for drainage purposes, the required covenant which provides for ownership and maintenance of the reserves shall grant, to the appropriate governing body, the authority to maintain the drainage reserves in the event the owner(s) fail to do so. The covenant shall provide for the cost of such maintenance to be charged back to the owner(s) by the governing body.
- K. This property is within a zone identified by the City Engineers' office as likely to have groundwater at some or all times within 10 feet of the ground surface elevation. Building with specially engineered foundations or with the lowest floor opening above groundwater is recommended, and owners seeking building permits on this property will be similarly advised. More detailed information on recorded groundwater elevations in the vicinity of this property is available in the City Engineers' office.

SUB 2003-64 -- One-Step Final Plat of BAREFOOT BAY ESTATES
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- L. The signature line for the City Clerk needs to be revised to reference "Pat Graves".
- M. The Applicant is advised that if platted, the building setback may be reduced to 20 feet.
- N. Approval of this plat will require a waiver of the lot depth to width ratio of the Subdivision Regulations for Lot 1, Block A.
- O. The platting binder indicates a party holding a mortgage on the site. This party's name must be included as a signatory on the plat, or else documentation provided indicating that such mortgage has been released.
- P. Based upon the platting binder, property taxes are still outstanding. Before the plat is scheduled for City Council consideration, proof shall be provided indicating that all applicable property taxes have been paid.
- Q. The platting binder shall include language that a drainage plan has been developed for the plat and that all drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of stormwater.
- R. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- S. The applicant's engineer is advised that the Register of Deeds is requiring the name(s) of the notary public, who acknowledges the signatures on this plat, to be printed beneath the notary's signature.
- T. To receive mail delivery without delay, and to avoid unnecessary expense, the applicant is advised of the necessity to meet with the U.S. Postal Service Growth Management Coordinator (Phone 316-946-4556) prior to development of the plat so that the type of delivery, and the tentative mailbox locations can be determined.
- U. The applicant is advised that various State and Federal requirements (specifically but not limited to the Army Corps of Engineers, Kanopolis Project Office, Rt. 1, Box 317, Valley Center, KS 67147) for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements.
- V. The owner of the subdivision should note that any construction that results in earthwork activities that will disturb one (1) acre or more of ground cover requires a Federal/State NPDES Storm Water Discharge Permit from the Kansas Department of Health and Environment in Topeka. Also, for projects located within the City of Wichita, erosion and sediment control devices must be used on ALL projects. For projects outside of the City of Wichita, but within the Wichita Metropolitan area, the owner should contact the appropriate governmental jurisdiction concerning erosion and sediment control device requirements.
- W. Perimeter closure computations shall be submitted with the final plat tracing.
- X. Recording of the plat within thirty (30) days after approval by the City Council and/or County Commission.

- Y. The representatives from the utility companies should be prepared to comment on the need for any additional utility easements to be platted on this property.
- Z. The applicant is reminded that a disk shall be submitted with the final plat tracing to the Planning Department detailing this plat in digital format in AutoCAD. This will be used by the City and County GIS Department.

STAFF REPORT

(Revised One-Step Final Plat; One-Step Final Plat Approved 7/10/03)

CASE NUMBER: SUB 2003-64 -- BAREFOOT BAY ESTATES ADDITION

OWNER/APPLICANT: Mike Shell, 2814 N. North Shore Ct., Wichita, KS 67205

SURVEYOR/ENGINEER: Baughman Co., P.A., 315 Ellis, Wichita, KS 67211

AGENT: Bob Kaplan, 430 N. Market, Wichita, KS 67202

LOCATION: South side of 29th St. North, East of Ridge Road

SITE SIZE: 5.53 Acres

NUMBER OF LOTS

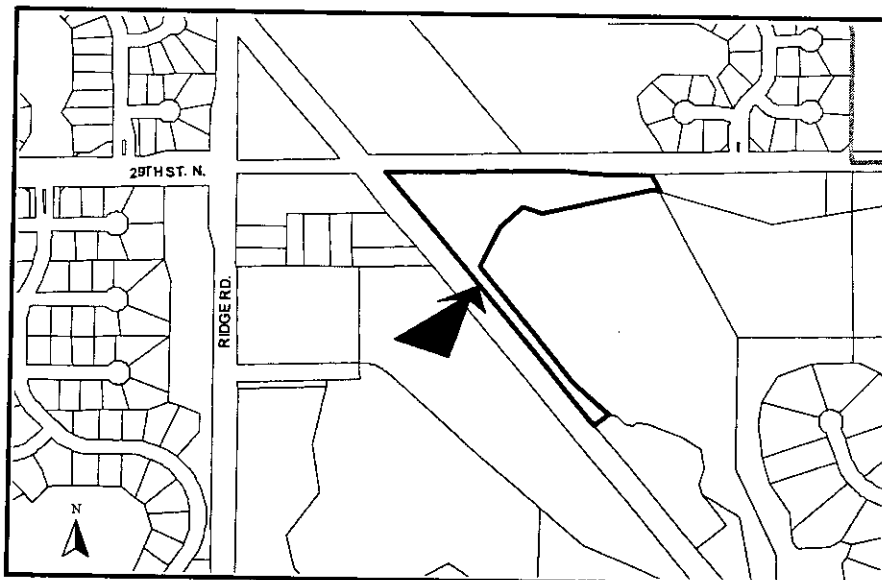
Residential:	
Office:	
Commercial:	
Industrial:	3
Total:	3

MINIMUM LOT AREA: 14,424 Sq. Ft.

CURRENT ZONING: LI, Limited Industrial

PROPOSED ZONING: SF-5, Single-Family Residential

VICINITY MAP



SUB 2003-64 -- One-Step Final Plat of BAREFOOT BAY ESTATES
November 13, 2003 - Page 2

NOTE: This is unplatted property located within the City of Wichita. This revised plat has reduced the number of lots from 6 to 3. The Applicant proposes a zone change from LI, Limited Industrial to SF-5, Single-Family Residential. The site is located within the 100-year floodplain.

STAFF COMMENTS:

- A. This plat will be subject to approval of the associated zone change and any related conditions of such a change. Prior to this plat being scheduled for City Council, the associated zone change will need to be approved.
- B. The applicant shall guarantee the extension of sanitary sewer to serve the lots being platted. Fees in lieu of assessment regarding water connections are required.
- C. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning department for recording.
- D. City Engineering needs to comment on the status of the applicant's drainage plan.
- E. The platator's text needs to be corrected with reference to Lots 4, 5 & 6 and Reserve A.
- F. A site benchmark is needed.
- G. The regulatory floodway line should be determined.
- H. Minimum building pad required elevations and Bench Mark elevations shall also be referenced in Mean Sea Level.
- I. Since the subdivision is partially in a FEMA-regulated floodplain, the floodway certificate needs added.
- J. Traffic Engineering needs to comment on the access controls. The plat proposes three access openings along 29th St. North. **A joint access opening is needed between Lots 2 and 3. An opening for Lot 1 shall be 400 feet west of the joint opening.**
- K. Provisions shall be made for ownership and maintenance of the proposed reserves. The applicant shall either form a lot owners' association prior to recording the plat or shall submit a covenant stating when the association will be formed, when the reserves will be deeded to the association and who is to own and maintain the reserves prior to the association taking over those responsibilities.
- L. For those reserves being platted for drainage purposes, the required covenant which provides for ownership and maintenance of the reserves shall grant, to the appropriate governing body, the authority to maintain the drainage reserves in the event the owner(s) fail to do so. The covenant shall provide for the cost of such maintenance to be charged back to the owner(s) by the governing body.

- X. The representatives from the utility companies should be prepared to comment on the need for any additional utility easements to be platted on this property.
- Y. The applicant is reminded that a disk shall be submitted with the final plat tracing to the Planning Department detailing this plat in digital format in AutoCAD. This will be used by the City and County GIS Department.

SUB 2003-64 -- One-Step Final Plat of BAREFOOT BAY ESTATES
November 13, 2003 - Page 3

- M. This property is within a zone identified by the City Engineers' office as likely to have groundwater at some or all times within 10 feet of the ground surface elevation. Building with specially engineered foundations or with the lowest floor opening above groundwater is recommended, and owners seeking building permits on this property will be similarly advised. More detailed information on recorded groundwater elevations in the vicinity of this property is available in the City Engineers' office.
- N. The Applicant has platted a 20-ft building setback which represents an adjustment of the Zoning Code standard of 25 feet for the SF-5, Single-Family District. The Subdivision Regulations permit the setback provisions to be modified by the plat upon the approval of the Planning Commission.
- O. Approval of this plat will require a waiver of the lot depth to width ratio of the Subdivision Regulations for Lot 1, Block A.
- P. The plat's text shall include language that a drainage plan has been developed for the plat and that all drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of stormwater.
- Q. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- R. The applicant's engineer is advised that the Register of Deeds is requiring the name(s) of the notary public, who acknowledges the signatures on this plat, to be printed beneath the notary's signature.
- S. To receive mail delivery without delay, and to avoid unnecessary expense, the applicant is advised of the necessity to meet with the U.S. Postal Service Growth Management Coordinator (Phone 316-946-4556) prior to development of the plat so that the type of delivery, and the tentative mailbox locations can be determined.
- T. The applicant is advised that various State and Federal requirements (specifically but not limited to the Army Corps of Engineers, Kanopolis Project Office, Rt. 1, Box 317, Valley Center, KS 67147) for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements.
- U. The owner of the subdivision should note that any construction that results in earthwork activities that will disturb one (1) acre or more of ground cover requires a Federal/State NPDES Storm Water Discharge Permit from the Kansas Department of Health and Environment in Topeka. Also, for projects located within the City of Wichita, erosion and sediment control devices must be used on ALL projects. For projects outside of the City of Wichita, but within the Wichita Metropolitan area, the owner should contact the appropriate governmental jurisdiction concerning erosion and sediment control device requirements.
- V. Perimeter closure computations shall be submitted with the final plat tracing.
- W. Recording of the plat within thirty (30) days after approval by the City Council and/or County Commission.

Closure

CLOSURE - BAREFOOT BAY ESTATES

PT 01	North: 19604.9562	East : 7175.2528
Line	Course: S 89-58-31 E	Length: 1104.7500
PT 02	North: 19604.4795	East : 8280.0027
Line	Course: S 25-43-56 E	Length: 42.0400
PT 03	North: 19566.6085	East : 8298.2550
Line	Course: S 77-40-49 W	Length: 484.0000
PT 04	North: 19463.3390	East : 7825.4005
Line	Course: N 72-51-11 W	Length: 83.0000
PT 05	North: 19487.8093	East : 7746.0897
Line	Course: S 48-48-49 W	Length: 133.0000
PT 06	North: 19400.2274	East : 7645.9977
Line	Course: S 26-18-49 W	Length: 187.0000
PT 07	North: 19232.6041	East : 7563.1035
Line	Course: S 37-22-11 E	Length: 615.0000
PT 08	North: 18743.8418	East : 7936.3814
Line	Course: S 47-42-14 E	Length: 208.0900
PT 09	North: 18603.8051	East : 8090.3008
Line	Course: S 50-51-00 W	Length: 77.3300
PT 10	North: 18554.9826	East : 8030.3317
Line	Course: N 39-09-31 W	Length: 1354.1000
PT 01	North: 19604.9529	East : 7175.2591