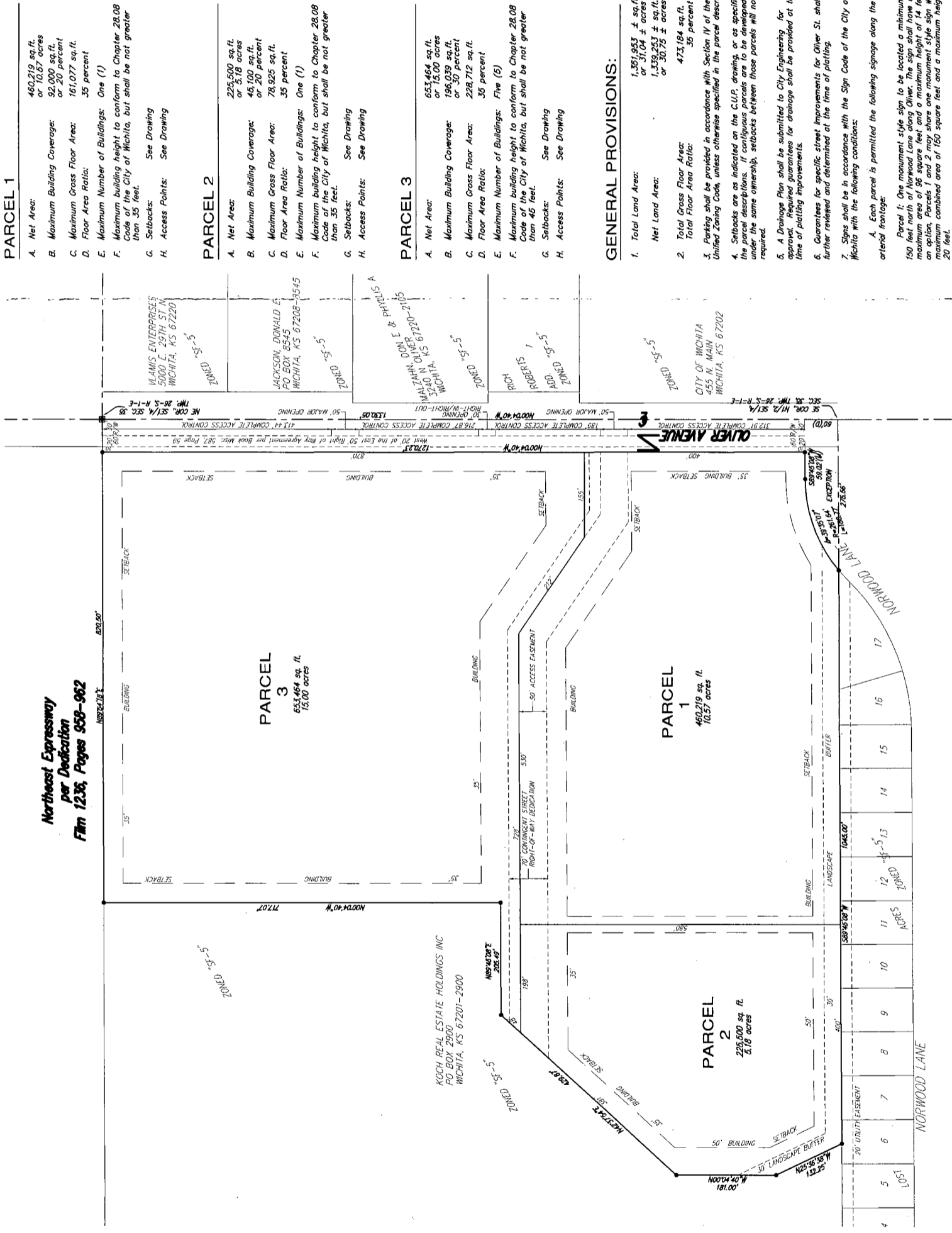


KOCH COMMUNITY PARK COMMUNITY UNIT PLAN DP-304

Northwest Expressway
per Dedication
Film 1236, Pages 959-962



PARCEL 1

- A. Net Area: 460,219 sq. ft. or 10.67 acres
- B. Maximum Building Coverage: 92,000 sq. ft. or 20 percent
- C. Maximum Gross Floor Area: 161,077 sq. ft. or 35 percent
- D. Floor Area Ratio: 35 percent
- E. Maximum Number of Buildings: One (1)
- F. Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall be not greater than 35 feet.
- G. Setbacks: See Drawing
- H. Access Points: See Drawing

PARCEL 2

- A. Net Area: 225,000 sq. ft. or 5.18 acres
- B. Maximum Building Coverage: 45,100 sq. ft. or 20 percent
- C. Maximum Gross Floor Area: 78,925 sq. ft. or 35 percent
- D. Floor Area Ratio: 35 percent
- E. Maximum Number of Buildings: One (1)
- F. Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall be not greater than 35 feet.
- G. Setbacks: See Drawing
- H. Access Points: See Drawing

PARCEL 3

- A. Net Area: 653,464 sq. ft. or 15.00 acres
- B. Maximum Building Coverage: 198,039 sq. ft. or 30 percent
- C. Maximum Gross Floor Area: 228,712 sq. ft. or 35 percent
- D. Floor Area Ratio: 35 percent
- E. Maximum Number of Buildings: Five (5)
- F. Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall be not greater than 45 feet.
- G. Setbacks: See Drawing
- H. Access Points: See Drawing

GENERAL PROVISIONS:

1. Total Land Area: 1,348,683 ± sq. ft. or 31.04 ± acres
2. Net Land Area: 1,339,253 ± sq. ft. or 30.79 ± acres
3. Total Gross Floor Area: 473,084 sq. ft.
4. Total Floor Area Ratio: 35 percent
5. Planning shall be provided in accordance with Section 19.04 of the Unified Zoning Code, unless otherwise specified in the parcel description.
6. Setbacks are as indicated on the C.U.P. drawing, or as specified in the Unified Zoning Code. Setbacks between these parcels will not be further reduced and determined at the time of platting.
7. Signs shall be in accordance with the Sign Code of the City of Wichita with the following conditions:
 - A. Each parcel is permitted the following signage along the arterial frontage:
 - Parcel 1: One monument style sign to be located a minimum of 150 feet north of Norwood Lane along Oliver.
 - Parcel 2: One monument style sign to be located a minimum of 150 feet north of Norwood Lane along Oliver.
 - Parcel 3: One monument style sign to be located a minimum of 150 feet north of Norwood Lane along Oliver.

LEGAL DESCRIPTION:

That part of the N 1/2 of Sec. 35, Twp. 26-S., R.-1-E. of the 6th P.M., Sedgewick County, Kansas described as follows: Beginning at the SE corner of the N 1/2 of said SE 1/4, thence S89°45'50"W along the south line of the N 1/2 of said SE 1/4, 120.06 feet; thence N27°36'30"W 132.35 feet to a point 192.50 feet normally distant north of the south line of the N 1/2 of said SE 1/4; thence N03°04'40"W parallel with the east line of said SE 1/4, 181.00 feet to a point 197.08 feet normally distant north of the south line of the N 1/2 of said SE 1/4; thence with said N 1/2 of said SE 1/4, 205.40 feet to a point 880.50 feet normally distant west of the east line of said SE 1/4; thence N07°04'40"W parallel with the east line of said SE 1/4, 712.07 feet, more or less, to a point on the north line of said SE 1/4; thence N89°45'50"E along the north line of said SE 1/4, 880.50 feet to the NE corner of said SE 1/4; thence S03°04'40"E along the east line of said SE 1/4, 130.00 feet to the point of beginning, thence southerly on a curve to the left having a radius of 261.64 feet and a delta (erroneously described as deflection) angle of 39°35'07", thence southeasterly on a curve to the right having a radius of 261.64 feet and a delta (erroneously described as deflection) angle of 39°35'07", distance of 183.77 feet to the south line of said SE 1/4; thence east 275.56 feet to the point of beginning, all being subject to road right-of-way of record.

REVISIONS:

Created: November 16, 2006
 Revised: December 3, 2006
 Revised: December 11, 2007
 Revised: January 11, 2007
 Revised: January 26, 2007 (per UDC - January 18, 2007)

- 18. All parcels shall be zoned Limited Commercial with the following use restrictions: Parcel 1 and 2 shall be limited to those uses permitted by right in the "C" General Office District. Parcel 3 shall be limited to those uses permitted by right in the "C" Limited Commercial District, except the following uses: manufactured home, service, hospital, recycling collection station, reverse vending machine, school (elementary, middle and high), utility (minor), animal care (limited), bed and breakfast inn, broadcasting/recording studio, car wash, construction sites and service, convenience store, hotel or motel, maintenance (residential), medical (residential), multi-family residential, service station, tavern and drinking establishment, vehicle repair (limited), storage (outdoor), and communication towers.
- 19. No parcel within this C.U.P. shall allow the use of adult entertainment establishments, sexually oriented business, recreational placement, residences, asphalt/concrete safety service, pawn shop, agricultural sales and service, commercial wireless communication facilities or other uses that require a license or permit from the City of Wichita. There shall be a prohibition of all overhead doors facing residential zoning, except on west property line, and for all drive-in windows within 200 feet of residential zoning. Any single retail use shall be limited to a site of 40,000 square feet, except for a grocery store or drug store.
- 20. Amendments, adjustments or interpretations to this C.U.P. shall be done in accordance with the Unified Zoning Code.
- 21. The Transfer of title of all or any portion of land included within the Community Unit Plan (or any amendments thereto) does not constitute an approval of the C.U.P. and shall not be binding upon present owners, their successors and assigns.
- 22. The development of this property shall proceed in accordance with the development plan as recommended for approval by the Planning Commission and approved by the Governing Body, and any substantial deviation of the plan, as determined by the Zoning Administrator and the Planning Commission, shall require a rezoning and a zoning permit authorizing construction of the proposed development.
- 23. Any major changes in this development plan shall be submitted to the Planning Commission and to the Governing Body for their consideration.
- 24. A plan for a pedestrian walk system shall be submitted and approved by the Planning Commission. Said walk system shall be located along Oliver St. with the proposed buildings within the subject property, as well as link buildings within each parcel.
- 25. Site access for Parcels 1 and 2 shall be provided by a 24-foot (minimum) drive located within the 50-foot access easement, as shown on the plan. Upon development within Parcel 3, the contiguous right-of-way dedication shall be activated and the existing access drive shall be re-routed to a City standard street.
- 26. Approval of a site circulation plan by the Planning Director is required for each phase of construction prior to the issuance of a zoning permit to insure vehicular connections between uses in each parcel.
- 27. Transportation Improvements:
 - a. Platting to sign the drives in this manner.
 - b. Provide patition(s) to guarantee construction of left turn center lanes to both major entrances.
 - c. Access to Norwood Lane is prohibited.

- Parcel 3: Four monument style signs to be located along Oliver. Each sign shall have a maximum area of 96 square feet and a maximum height of 14 feet.
- B. Each parcel is permitted the following signage along the access drive frontage:
 - Parcel 1: One monument style sign with a maximum area of 36 square feet and a maximum height of 8 feet.
 - Parcel 2: One monument style sign with a maximum area of 36 square feet and a maximum height of 8 feet.
 - Parcel 3: Three monument style signs with a maximum area of 36 square feet and a maximum height of 8 feet per sign.
- C. As the frontage develops along the arterial roadway, Parcel 3 and a minimum of 75' apart between Parcels 1 and 2, respectively of how land is located or sold.
- D. Flashing signs (except for signs showing only time, temperature, or weather) shall be prohibited on the south facade of parcels 1 and 2, and the west facade of Parcel 2, where facing residential uses.
- E. Portable, off-site and billboard signs are not permitted.
- F. Window display signs are limited to 25% of the window area.
- G. Building wall signage is prohibited on the south facade on Parcels 1 and 2, and the west facade of Parcel 2, where facing residential uses.
- H. Access Controls shall be as shown on the final plat.
- I. All exterior lighting shall be shielded to direct light disbursement in a downward direction and away from residential areas.
- 10. All parcels shall share similar or consistent parking lot lighting elements (i.e., fixtures, poles, and lamps, and etc.).
- A. Limited height of light poles to 24 feet.
- B. Extensive use of back lit canopies and neon or fluorescent tube lighting on buildings is not permitted.
- 11. Utilities shall be installed underground on all parcels.
- 12. Landscaping for this site shall be required as follows:
 - A. Development of all parcels within the C.U.P. shall comply with the Landscape Ordinance of the City of Wichita.
 - B. A landscape plan shall be prepared by a Kansas Landscape Architect for the above referenced landscaping, including the type, location, and specifications of all plant materials. This plan shall be submitted to the Planning Department for their review and approval prior to issuance of a building permit.
 - C. A financial guarantee for the plant materials approved on the landscape plan for that portion of the C.U.P. being developed shall be provided to the City of Wichita, if the required landscaping has not been planted.
- 13. Screening shall be provided along the south and southwest boundaries of the parcels with either a solid screening wall or decorative fencing. This barrier shall provide the equivalent of, at minimum, one tree per 20 feet. The existing tree rows may be used on the subject property. Where there are gaps, a mixture of evergreen and deciduous trees shall be installed with one tree per 20 feet with the planting size of the trees meeting the requirements of the Unified Zoning Code. Landscaping shall be installed on all temporary storage areas, parking lots and loading docks, playgrounds, etc. In order to screen these areas from residential zoning districts, 14. Rooftop mechanical equipment shall be screened from ground level view per Unified Zoning Code.
- 15. Trash receptacles, loading docks, outdoor storage, and loading areas shall be appropriately screened to reasonably hide them from ground view per Unified Zoning Code.
- 16. All buildings within each parcel of the C.U.P. shall show uniform architectural character, color, texture, and the same predominant exterior building material, as determined by the Director of Planning. Building walls and roofs must have predominantly earth-tone colors, with the colors limited to shades of tan, brown, and grey. Any building with colors limited to shades of tan, brown, and grey shall be limited to incidental accent.
- 17. Fire lines shall be in accordance with the Fire Code of the City of Wichita. Fire lines shall be located in each fire lane, although they may be used for passenger loading and unloading. The Fire Chief or his designated representative shall review and approve the location and design of all fire lanes. The hydraulic installation and paved access to fire lanes shall be in accordance with the Fire Code of the City of Wichita prior to the issuance of building permits.



SCALE: 1" = 100'

DP-304 KOCH COMMUNITY PARK COMMUNITY UNIT PLAN

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