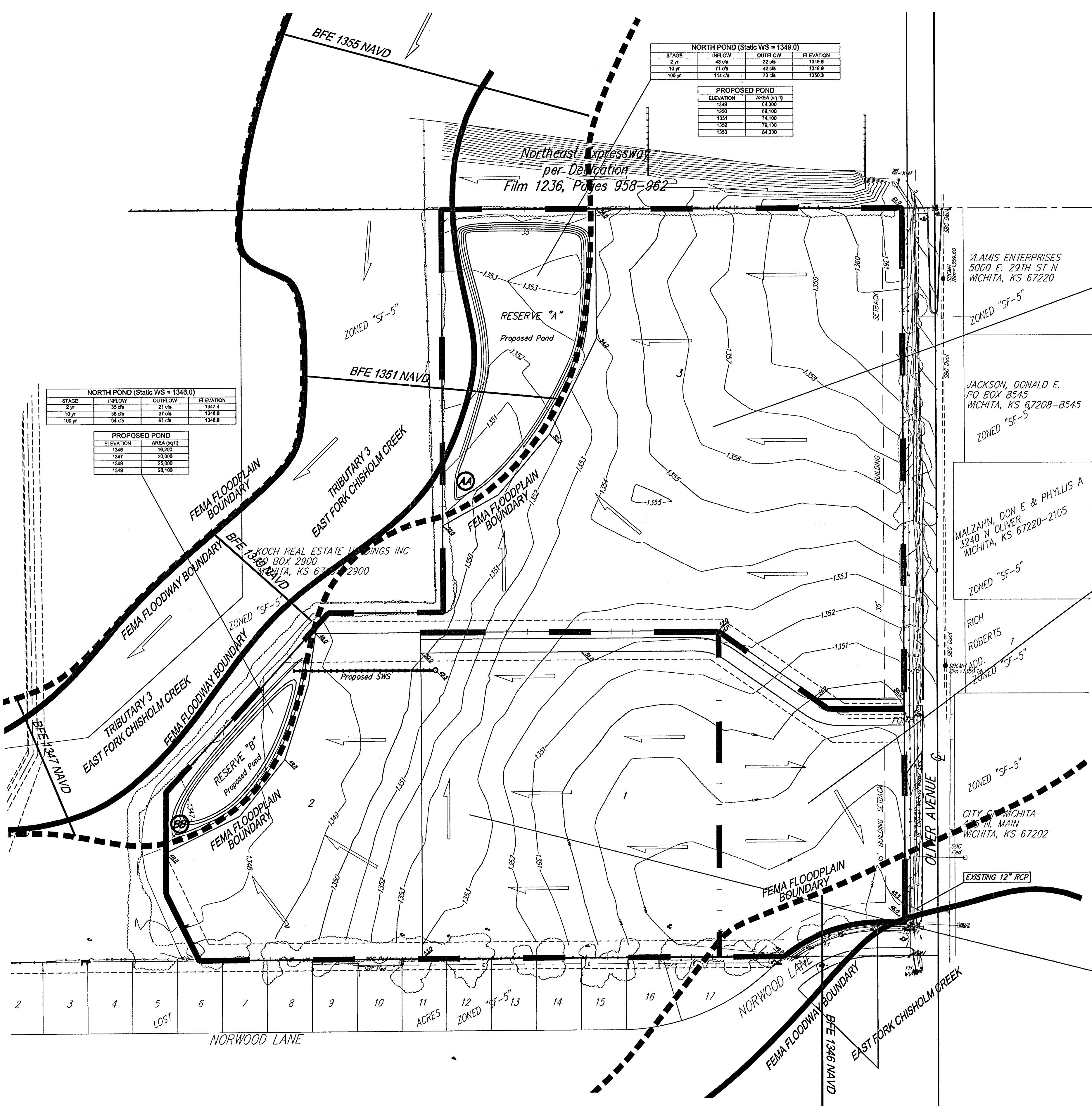


GRADING & DRAINAGE PLAN

KOCH COMMUNITY PARK ADDITION

WICHITA, SEDGWICK COUNTY, KANSAS



NORTH POND (Static WS = 1348.0)			
STAGE	INFLOW	OUTFLOW	ELEVATION
2 yr	43 cfs	22 cfs	1348.8
10 yr	71 cfs	42 cfs	1348.9
100 yr	114 cfs	73 cfs	1350.3

PROPOSED POND	
ELEVATION	AREA (sq ft)
1348	64,336
1350	68,100
1351	74,100
1352	78,100
1353	84,300

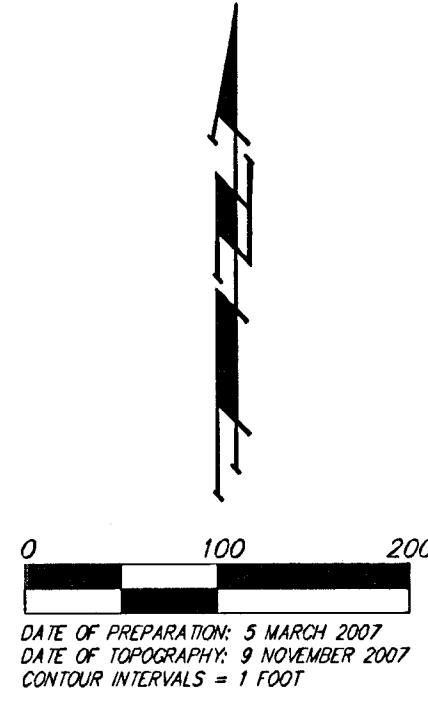
NORTH POND (Static WS = 1348.0)			
STAGE	INFLOW	OUTFLOW	ELEVATION
2 yr	35 cfs	21 cfs	1347.4
10 yr	58 cfs	37 cfs	1348.8
100 yr	94 cfs	61 cfs	1348.8

PROPOSED POND	
ELEVATION	AREA (sq ft)
1348	18,200
1347	28,000
1348	28,000
1349	28,100

LOT 3	
AREA = 15 acres	
EXISTING	DEVELOPED
CN = 69	CN = 88
Tc = 15 min	Tc = 15 min
Q ₂ = 17 cfs	Q ₂ = 43 cfs
Q ₁₀ = 39 cfs	Q ₁₀ = 71 cfs
Q ₁₀₀ = 79 cfs	Q ₁₀₀ = 114 cfs

LOT 1 FRONTAGE	
EXISTING	DEVELOPED
Area = 9.3	Area = 3.5
CN = 69	CN = 88
Tc = 15 min	Tc = 15 min
Q ₂ = 10 cfs	Q ₂ = 10 cfs
Q ₁₀ = 24 cfs	Q ₁₀ = 17 cfs
Q ₁₀₀ = 50 cfs	Q ₁₀₀ = 27 cfs

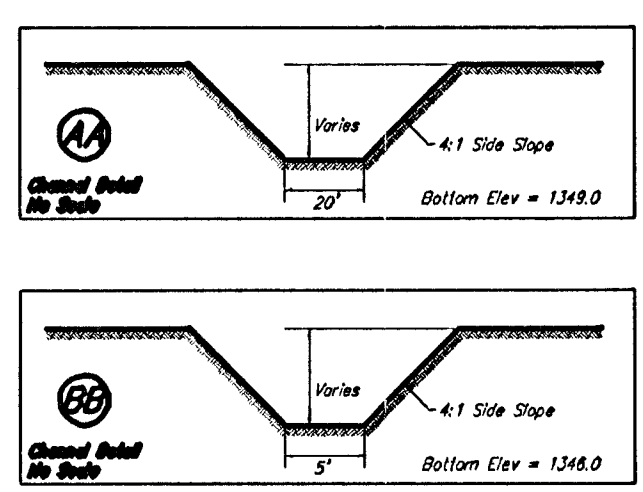
LOTS 1-2	
AREA = 12.3 acres	
EXISTING	DEVELOPED
CN = 69	CN = 88
Tc = 15 min	Tc = 15 min
Q ₂ = 14 cfs	Q ₂ = 35 cfs
Q ₁₀ = 32 cfs	Q ₁₀ = 58 cfs
Q ₁₀₀ = 65 cfs	Q ₁₀₀ = 94 cfs



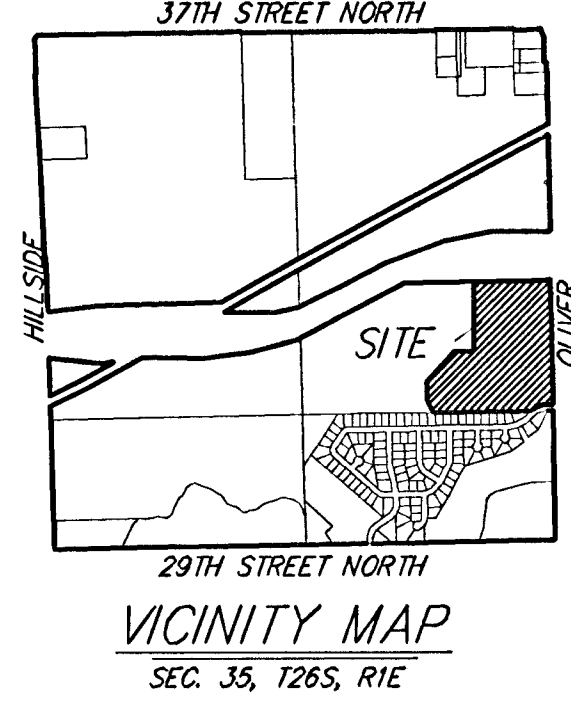
OWNER:
KOCH REAL ESTATE HOLDINGS INC.
ATTN: SHER ARMSTRONG
4111 E 37TH ST N
WICHITA, KS 67220
316-828-7886

LEGAL DESCRIPTION:
THAT PART OF THE N 1/4 OF THE SE 1/4 OF SEC. 35, TWP. 28-S, R. 1-E OF THE 6TH P.M., SEDGWICK COUNTY, KANSAS DESCRIBED AS FOLLOWS: BEGINNING AT THE SE CORNER OF THE N 1/4 OF SAID SE 1/4; THENCE S89°45'08"W ALONG THE SOUTH LINE OF THE N 1/4 OF SAID SE 1/4, 1320.56 FEET; THENCE N25°36'38"W, 132.25 FEET TO A POINT 119.50 FEET NORMALLY DISTANT NORTH OF THE SOUTH LINE OF THE N 1/4 OF SAID SE 1/4; THENCE N00°04'40"W PARALLEL WITH THE EAST LINE OF SAID SE 1/4, 181.00 FEET TO A POINT 1377.56 FEET NORMALLY DISTANT WEST OF THE EAST LINE OF THE N 1/4 OF SAID SE 1/4; THENCE N42°37'54", 429.87 FEET TO A POINT 1085.99 FEET NORMALLY DISTANT WEST OF THE EAST LINE OF SAID SE 1/4; THENCE N89°45'08" PARALLEL WITH THE SOUTH LINE OF THE N 1/4 OF SAID SE 1/4, 205.49 FEET TO A POINT 880.50 FEET NORMALLY DISTANT WEST OF THE EAST LINE OF SAID SE 1/4; THENCE N00°04'40" PARALLEL WITH THE EAST LINE OF SAID SE 1/4, 717.07 FEET, MORE OR LESS, TO A POINT ON THE NORTH LINE OF SAID SE 1/4; THENCE N89°45'08" ALONG THE NORTH LINE OF SAID SE 1/4, 880.50 FEET TO THE NE CORNER OF SAID SE 1/4; THENCE S00°04'40" ALONG THE EAST LINE OF SAID SE 1/4, 1330.05 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART OF THE N 1/4 OF SAID SE 1/4 DESCRIBED AS FOLLOWS: BEGINNING AT THE SE CORNER OF THE N 1/4 OF SAID SE 1/4; THENCE NORTHERLY ALONG THE EAST LINE OF SAID SE 1/4, 60.00 FEET; THENCE WESTERLY PARALLEL WITH THE SOUTH LINE OF THE N 1/4 OF SAID SE 1/4, 109.02 FEET TO THE P.C. OF A CURVE; THENCE S00°04'40" ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 261.64 FEET AND A DELTA (ERRONEOUSLY DESCRIBED AS DEFLECTION) ANGLE OF 39°35'07", A DISTANCE OF 182.77 FEET TO THE SOUTH LINE OF SAID N 1/4 OF SAID SE 1/4; THENCE EAST 275.58 FEET TO THE POINT OF BEGINNING, ALL BEING SUBJECT TO ROAD RIGHTS-OF-WAY OF RECORD.

BENCHMARK:
"1" OUT ON TOP OF CURB 35' EAST AND 5' SOUTH OF THE NE CORNER OF THE ADDITION.
ELEV. = 1348.84 (NGVD29)
* "X" OUT ON CONCRETE WALK ON THE EAST SIDE OF OLIVER AT THE INTERSECTION OF OLIVER AND NORWOOD LANE.
ELEV. = 1347.81 (NGVD29)



MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES		
LOT	BLOCK	ELEVATION
1	A	1352.0
2	A	1352.0
3	A	1354.0



DRAINAGE & GRADING PLAN

KOCH COMMUNITY PARK ADDITION

NOTE: FEMA Floodplain Boundary, Floodway Boundary, and Base Flood Elevations are scaled per location per FEMA FIRM Panels 356 & 357 of 700, for Sedgwick County, Kansas. Effective Date February 2, 2007.