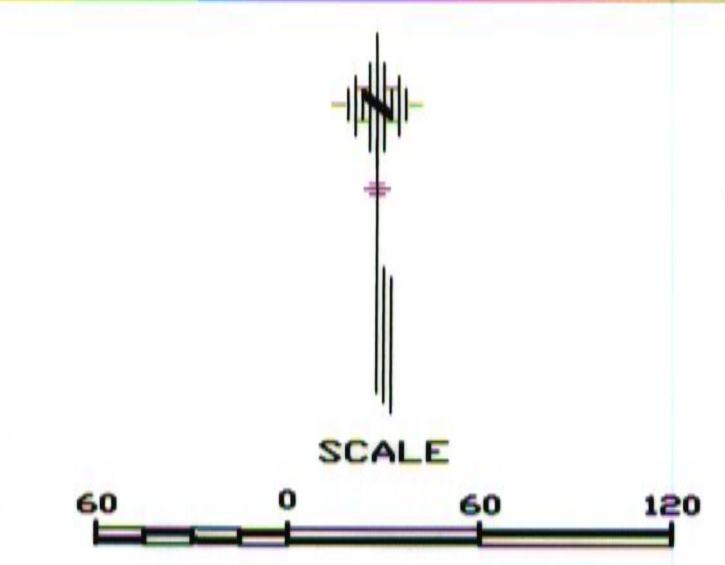
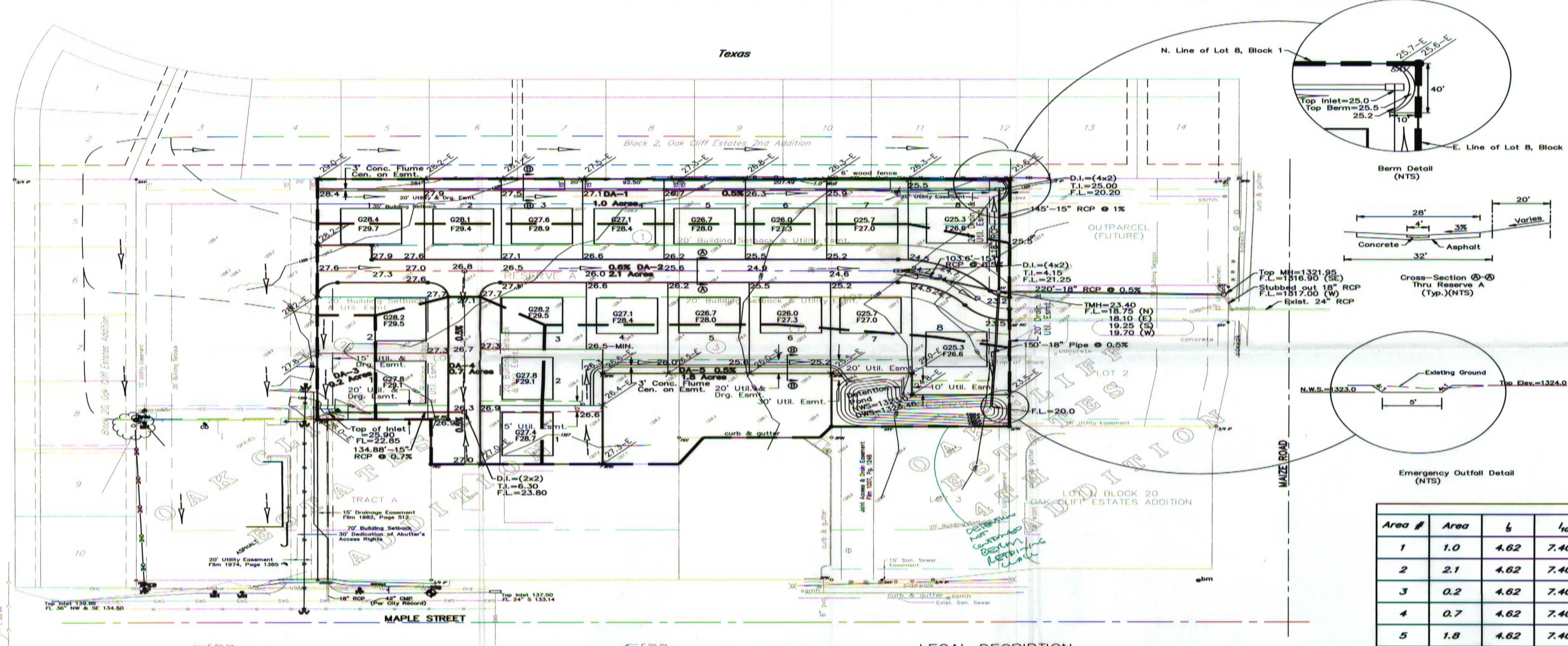
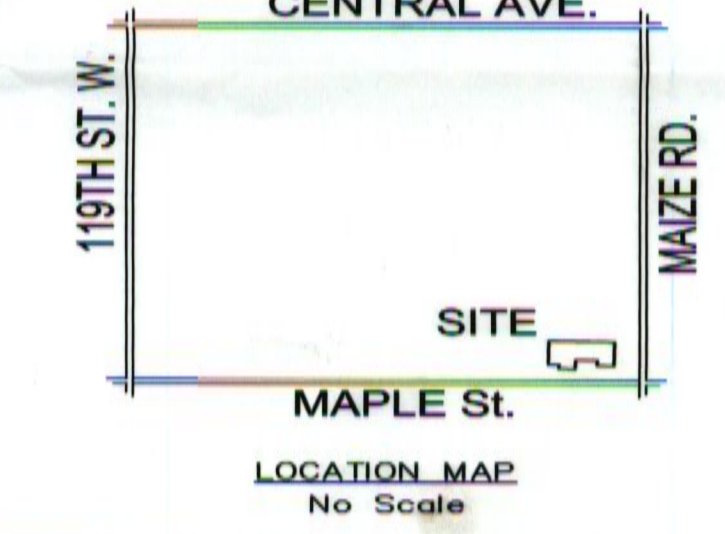


DRAINAGE PLAN FOR OAK CLIFF ESTATES 6TH ADDITION WICHITA, SEDGWICK COUNTY, KANSAS



- LEGEND**
- = 1/2" Iron Pipe (found)
 - = 1/2" Rebar (found)
 - = PK Nail (found)
 - + = "+" Cut (found)
 - ▲ = Section Corner
 - (M) = Measured
 - (P) = Plotted
 - R. O. W. = Right-of-Way
 - = Existing Grade
 - 27.5 = Proposed Grade
 - G = Garage Floor
 - F = Finish Floor



Area #	Area	L	I ₁₀₀	Undeveloped		Developed	
				Q _s	Q ₁₀₀	Q _s	Q ₁₀₀
1	1.0	4.62	7.40	2.31	3.70	2.96	5.35
2	2.1	4.62	7.40	4.85	7.77	6.21	11.68
3	0.2	4.62	7.40	.46	0.74	0.59	1.11
4	0.7	4.62	7.40	1.62	2.59	2.07	3.89
5	1.8	4.62	7.40	4.16	6.66	5.32	9.99

NOTES:

- Determination of Q's was made using the rational method.
- c's used were as follows:

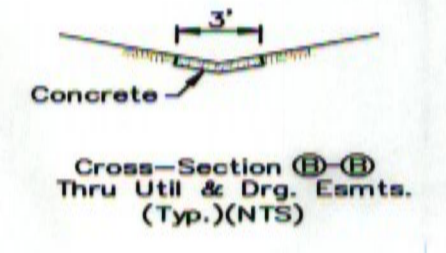
	Undeveloped	Developed
5yr frequency	0.50	0.64
100 yr frequency	0.50	0.75

LEGAL DESCRIPTION

Lot 3, Block 20, Oak Cliff Estates to Wichita, Sedgwick County, Kansas; EXCEPT the north 339.5 feet of the west 178 feet of said Lot 3, and EXCEPT, the east 245 feet of the south 163 feet of said Lot 3 and EXCEPT, the north 127 feet of the south 290 feet of the east 75 feet and EXCEPT, the south 225.5 feet of the west 178 feet of said Lot 3 and EXCEPT, the south 225.5 feet of the East 111.75 feet of the West 289.75 feet of said Lot 3.

ALONG WITH Lot 1, Block 1, Oak Cliff Estates 4th Addition to Wichita, Sedgwick County, Kansas; EXCEPT, the north 200 feet of the east 215 feet of said Lot 1; and EXCEPT, the following described tract of land; Commencing at the southerly most southwest corner of said Lot 1; thence north, along a west line of said Lot 1, 200 feet for a Point of Beginning; thence north parallel with the west line of said Lot 1, 90 feet; thence west 150 feet to the west line of said Lot 1; thence east on a south line of said Lot 1, 150 feet to the Point of Beginning.

To Be Platted as Reserves A and B, Lots 1-8, Block 1, Lots 1-2, Block 2 and Lots 1-8, Block 3, Oak Cliff Estates 6th Addition to Wichita, Sedgwick County, Kansas.

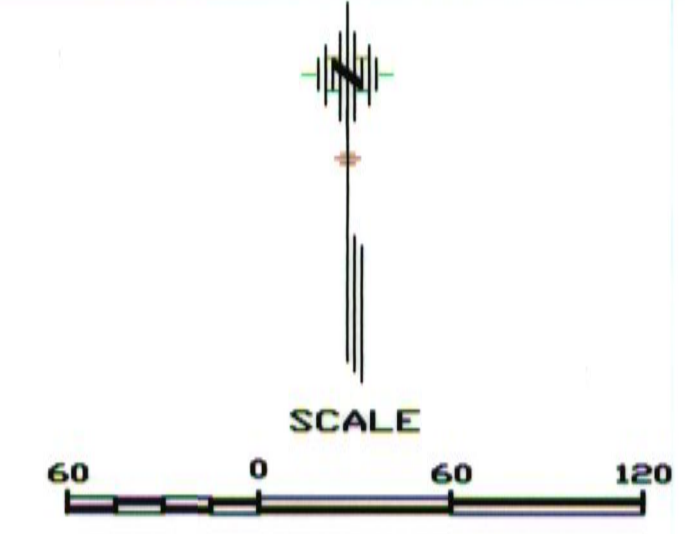
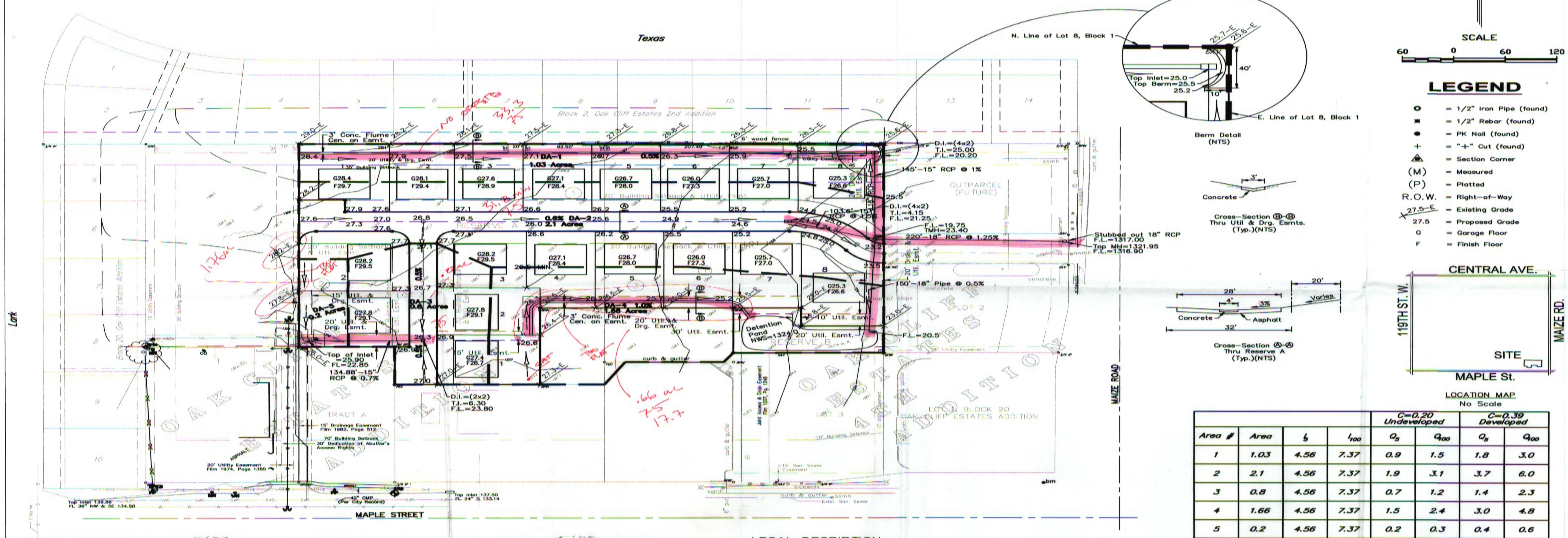


OAK CLIFF ESTATES 6TH ADDITION
 DRAINAGE PLAN
 CITY OF WICHITA, KANSAS
 JIM WARDEN P.E. - CITY ENGINEER

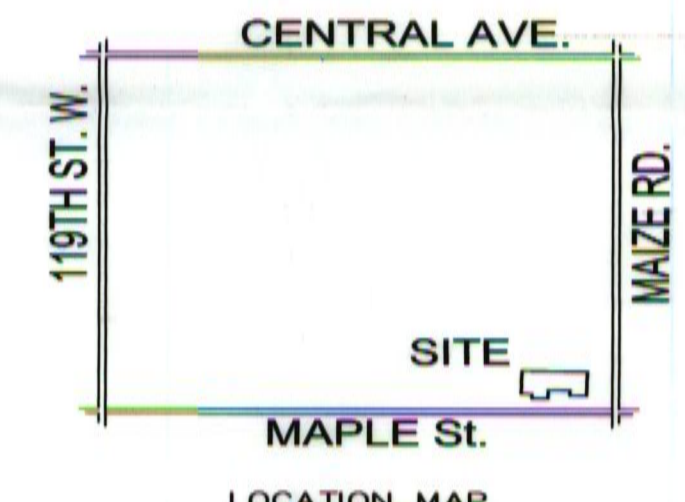
PDE & ASSOCIATES OF KANSAS, INC.
 CONSULTING ENGINEERS
 5000 E. Central Exp. Hwy. Wichita, KS 67244-0400
 Phone: (316) 841-1111 Fax: (316) 841-4444

PRELIM
 Designed By: T. Austin
 Drawn By: S. Sorenson
 RCY/Doc. Civil/Drainage/6/05
 Date: 06/29/05

DRAINAGE PLAN FOR OAK CLIFF ESTATES 6TH ADDITION WICHITA, SEDGWICK COUNTY, KANSAS



- LEGEND**
- = 1/2" Iron Pipe (found)
 - = 1/2" Rebar (found)
 - = PK Nail (found)
 - + = "+ " Cut (found)
 - △ = Section Corner
 - (M) = Measured
 - (P) = Plotted
 - R. O. W. = Right-of-Way
 - X 27.5' = Existing Grade
 - = Proposed Grade
 - G = Garage Floor
 - F = Finish Floor



LOCATION MAP
No Scale

Area #	Area	L	C=0.20 Undeveloped		C=0.39 Developed		
			Q ₁₀₀	Q ₅	Q ₁₀₀	Q ₅	
1	1.03	4.56	7.37	0.9	1.5	1.8	3.0
2	2.1	4.56	7.37	1.9	3.1	3.7	6.0
3	0.8	4.56	7.37	0.7	1.2	1.4	2.3
4	1.66	4.56	7.37	1.5	2.4	3.0	4.8
5	0.2	4.56	7.37	0.2	0.3	0.4	0.6

- NOTES:**
- Determination of Q's was made using the rational method.
 - c's used were as follows:

	Undeveloped	Developed
5yr frequency	.20	.39
100 yr frequency	.20	.39

LEGAL DESCRIPTION

Lot 3, Block 20, Oak Cliff Estates to Wichita, Sedgwick County, Kansas; EXCEPT the north 339.5 feet of the west 178 feet of said Lot 3, and EXCEPT, the east 245 feet of the south 163 feet of said Lot 3 and EXCEPT, the north 127 feet of the south 290 feet of the east 75 feet and EXCEPT, the south 225.5 feet of the west 178 feet of said Lot 3 and EXCEPT, the south 225.5 feet of the East 111.75 feet of the West 289.75 feet of said Lot 3.

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OAK CLIFF ESTATES 6TH ADDITION
 DRAINAGE PLAN
 CITY OF WICHITA, KANSAS
 PRELIMINARY
 PDE & ASSOCIATES OF KANSAS, INC.
 CONSULTING ENGINEERS
 594 E. Central, Suite 200, Wichita, KS 67206-5102
 Phone: 316-665-1111 • Fax: 316-665-4444
 1 of 1
 Date: 06/28/06