

**BENCHMARK**

- 1. Square cut on top of center of N.W. corner concrete parking lot on S.W. corner Terrace 2nd Addition, D.M. 1221.51
- 2. Square cut in center of south end of concrete walk at entrance to Building M, east terrace of N.E. corner Terrace 2nd Addition, D.M. 1211.80

**LEGEND**

- 1. Lot number
- 2. Contour lines
- 3. Ground Elevation at flow line for 1/4" = 10'
- 4. Non-view Out Let
- 5. Ground elevation at 10' contour
- 6. Direction of flow

**OWNER/DEVELOPER**

Interiors Residential, LLC  
 3140 E. Cantor  
 Wichita, Kansas 67205

**NOTES**

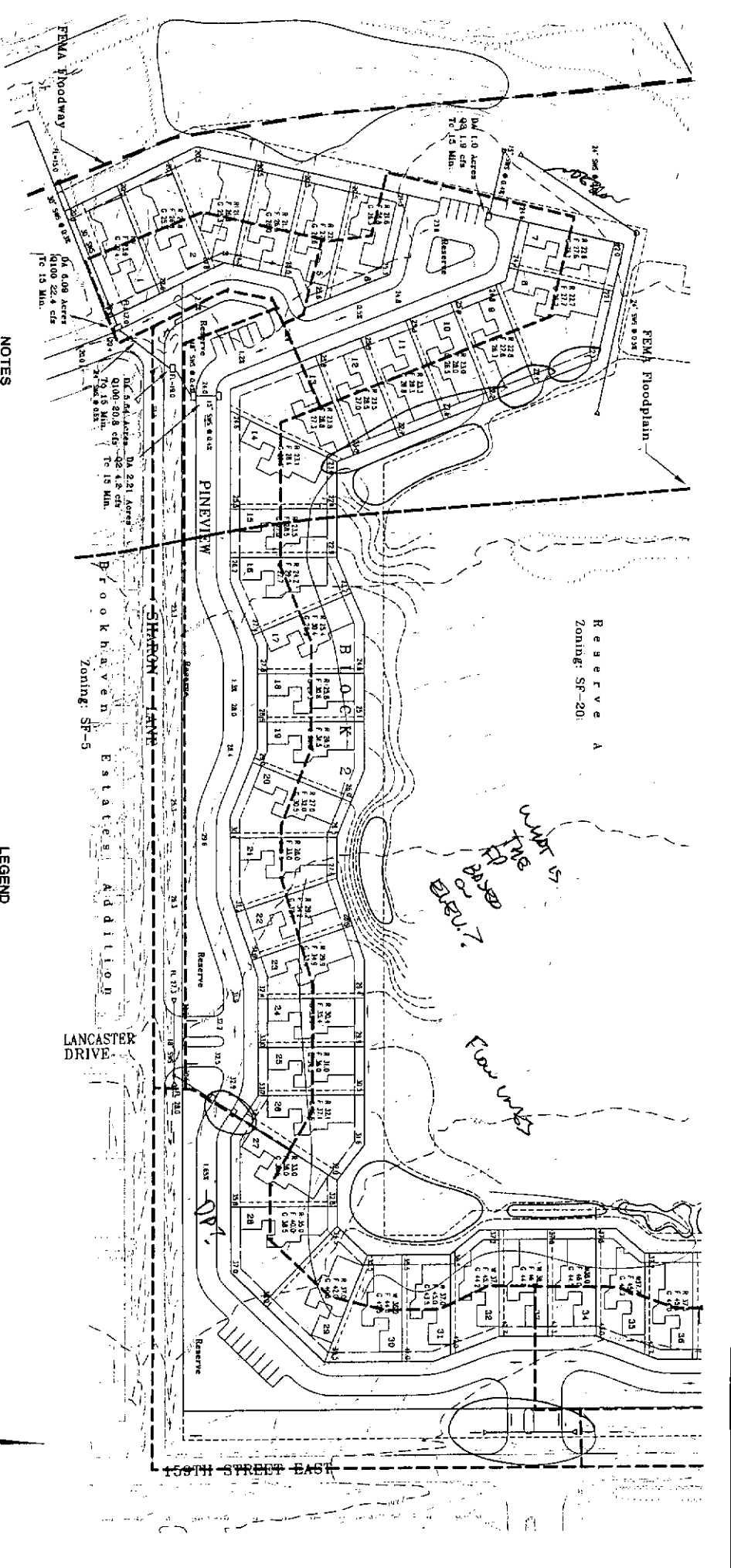
1. ENGINEER inspected the lot boundaries for this project and drainage requirements. Final site elevations may change if the conditions of this project change.
2. BUILDERS should confirm with DEVELOPER that BUILDERS has the most current lot colored plan.
3. DEVELOPER and ENGINEER do not represent that the lot boundaries, drainage basins, or building footprints are final. The final determination of foundation and footing design shall be the responsibility of the architect. The architect shall make other design decisions, such as in-kind design, and other design decisions that may be made under existing design. The architect shall be held liable for compliance.
4. Major drainage control for the lot is the BUILDERS and current conditions with adjacent lots. The engineer and developer shall be held liable for compliance.
5. All 2014+ lot owners should follow the BUILDERS and current conditions with adjacent lots. The engineer and developer shall be held liable for compliance.
6. Final lot corner elevations are shown at water table elevation.
7. Lot 1001 to South elevation is U.S. Datum.

GRAPHIC SCALE  
 1" = 20' FT

**DRAINAGE PLAN**  
**TERRADYNE WEST**  
 AN ADDITION TO WICHTA, SEDGWICK COUNTY, KANSAS  
 DATE: AUGUST 7, 2008



**POE & ASSOCIATES, INC.**  
 CONSULTING ENGINEERS  
 101 E. Central Ave., Suite 1000, Wichita, KS 67202  
 Tel: 316.262.1111 Fax: 316.262.1112



**BENCHMARK**  
 HOOD Datum - Date of survey: November 2004  
 1. Square cut on top of curb of H.K. center concrete parking lot at 112.42  
 2. Square cut in center of south end of concrete walk at intersection building W and terrace of H.K. center  
 Elev: 131.66

**NOTES**  
 1. Engineer designed this lot layout for site grading and drainage requirements. Final site elevations shown on this site grading plan may change to meet owner's site grading objectives.  
 2. BUILDER should confirm with DEVELOPER that BUILDER has the right to use this site grading plan.  
 3. DEVELOPER and BUILDER do not warrant that the lot elevations for a building foundation. BUILDER shall make his own determination of foundation and footing design and shall obtain approval from the local building department. Other notes - typical data may meet specific building design requirements. If the user has any questions for clarification.

4. When sections cross the grade of 2.02, BUILDER shall provide a slope-strengthening grade between the two rear lot corners consistent with adjacent lot grades and elevations.  
 5. As a utility, water, sewer, gas, and stormwater utility, the BUILDER may be required to provide a separate utility easement for the drainage of water and sewer. The BUILDER shall provide a separate utility easement for the drainage of water and sewer.  
 6. Front lot corner elevations are shown at street line.  
 7. Elev. 1300 to show elevations to HOOD datum.

**LEGEND**  
 E.1 Lot Number  
 F.101 Top of Foundation Elevation  
 F.102 Top of Foundation Elevation  
 F.103 Ground Elevation at River Walk for View Out  
 F.104 Non-View Out Lot  
 E.2 Ground elevation of " "  
 D.1 Direction of Flow

**OWNER/DEVELOPER**  
 Terrapine Residential, LLC  
 3340 E. Central  
 Wichita, Kansas 67206



**DRAINAGE PLAN**  
**TERRADYNE WEST**  
 AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS  
 DATE: AUGUST 7, 2008



**POE & ASSOCIATES, INC.**  
 CONSULTING ENGINEERS  
 3901 S. W. 10th St., Suite 100  
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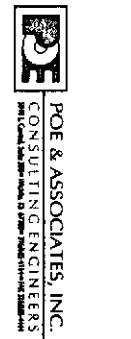
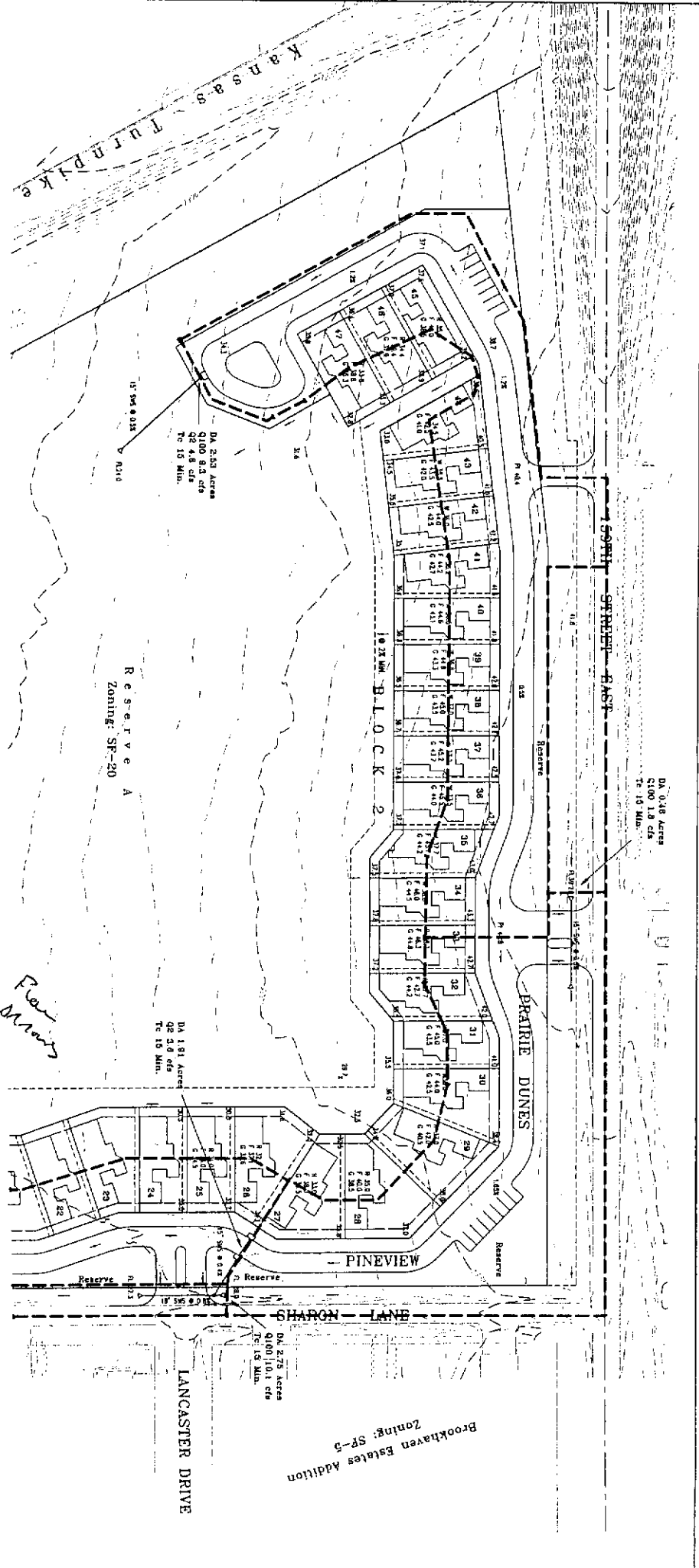
**DRAINAGE PLAN**  
**TERRADYNE WEST**  
 AN ADDITION TO WICHTA, SEDGWICK COUNTY, KANSAS  
 DATE: AUGUST 7, 2006

- BENCHMARK**  
 NODD Datum - Date of Survey: November 2004  
 1. Square call on top of curb of N.W. corner concrete parking lot at S.W. corner Terradyne 2nd Addition.  
 On: 1327.42  
 2. Square call in center of south end of concrete walk at intersection building H east terradyne of N.E. corner Terradyne 2nd Addition.  
 On: 1341.06

- NOTES**
1. DICKERT designed the lot surfaces for site grading and drainage. Other contractors shall submit final drainage and grading plans for review by the local health department.
  2. QUALITY should conform with (R)SUD/SP19 and SUD/SP19. Use most current LULU Coding Book.
  3. DEVIATORS and DITCHES do not represent final, they are intended for a building foundation. DITCHES shall make proper grading for the building. Building footings and walls shall be constructed on compacted fill. All foundation walls shall be constructed on compacted fill. All foundation walls shall be constructed on compacted fill. All foundation walls shall be constructed on compacted fill.
  4. Where drainage crosses the roof of a lot, SUD/SP19 and SUD/SP19 shall be used.
  5. All utility facilities shall be installed in accordance with the most current LULU Coding Book. All utility facilities shall be installed in accordance with the most current LULU Coding Book.
  6. Front lot corner elevations are shown at street of curb elevation.

- LEGEND**
- 1. Lot number
  - 2. George Floor Elevation
  - 3. Top of Foundation Elevation
  - 4. Finish Ground Elevation
  - 5. Ground Elevation at 1st corner
  - 6. Direction of flow

**OWNER/DEVELOPER**  
 Terradyne Residential, LLC



# TERRADYNE WEST

## GRADING/DRAINAGE PLAN - PRACTICE RANGE

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