

STAFF REPORT  
(One-Step Final Plat)

**CASE NUMBER:** SUB 2009-42 -- WAL-MART ADDITION

**OWNER/APPLICANT:** Royal Associates, 111 E. Wacker, #2800, Chicago, IL 60601; Wal-Mart Stores, Inc., 1301 S.E. 10<sup>th</sup>, Bentonville, AR 72716

**SURVEYOR:** Kaw Valley Engineering, 2319 N. Jackson, Junction City, KS 66441

**AGENT:** Robert W. Kaplan, 430 N. Market, Wichita, KS 67202

**LOCATION:** North of Kellogg, West of Hoover (District V)

**SITE SIZE:** 30.58 acres

**NUMBER OF LOTS**

Residential:	
Office:	
Commercial:	2
Industrial:	
Total:	<u>2</u>

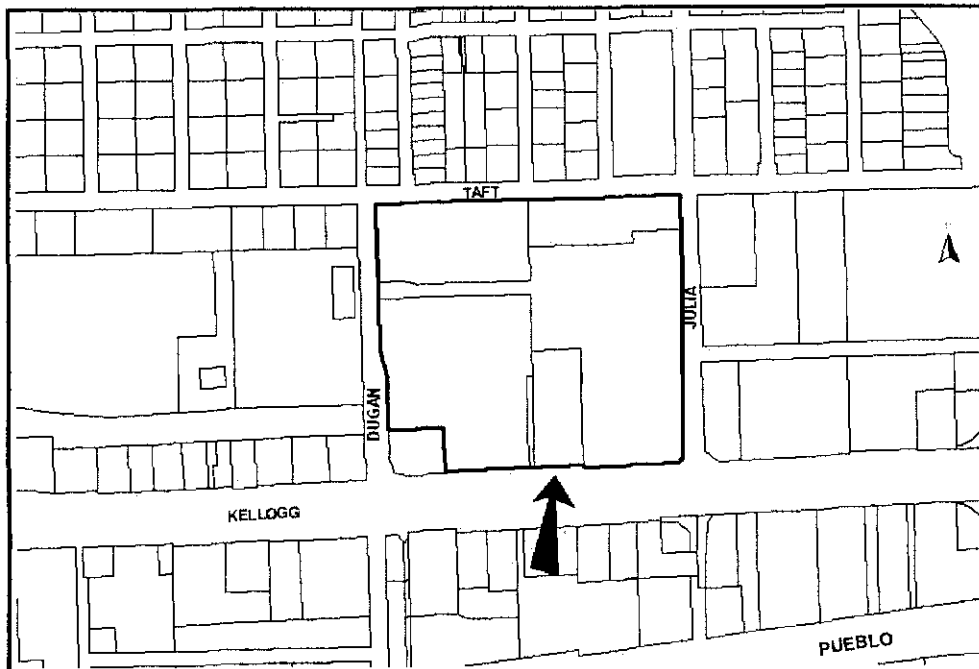
**MINIMUM LOT AREA:** 13.63 acres

**CURRENT ZONING:** GC General Commercial

**PROPOSED ZONING:** Same

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**VICINITY MAP**



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**NOTE:** This is a replat of The Landing 2<sup>nd</sup> Addition, Air Park 2<sup>nd</sup> Addition, and Air Park 3<sup>rd</sup> Addition. This site is also contained within The Landing CUP (CUP 2002-37, DP-150).

**STAFF COMMENTS:**

- A. City of Wichita Water Utilities Department advises that sewer and water services are available.
- B. If improvements are guaranteed by petition(s), a notarized certificate listing the petition(s) shall be submitted to the Planning Department for recording.
- C. City Stormwater Engineering needs to comment on the status of the applicant's drainage concept.
- D. The plat proposes two access openings along Julia, and three access openings along Dugan in accordance with the CUP approval. Two openings along Taft for both Lots 1 and 2 were approved per the CUP and need to be denoted on the plat.
- E. The plat's text shall include reference to "a block" in the owner's certificate.
- F. The interior lot line should be a solid line.
- G. County Surveying advises that the platted easements along the west 20 feet of Lot 1, The Landing 2<sup>nd</sup> Addition and the west 10 feet of Air Park 3<sup>rd</sup> Addition were vacated on Doc/Film-PG: 29059985.
- H. County Surveying has requested the following revisions to various easements:
  - L21 does not point to the centerline.
  - L20 and L24 need located east-west.
  - L13 and L14 need to define the length between what two points.
- I. County Surveying requests a correction to the centerline arrow for the 20-foot sanitary sewer easement (Film 2733, Page 1617) which is pointing to the edge of an easement line (the easement near the northwest corner of Lot 1).
- J. County Surveying advises that the 20-foot sanitary sewer easement (Film 2733, Page 1617) needs its length dimensioned, 18.92 feet per document (the easement near the northeast corner of Lot 1).
- K. County Surveying advises that the south line of the plat needs dimensions to the south line of the northeast quarter section. If not measured, described or platted dimensions shall be shown.
- L. This property is within a zone identified by the City Engineers' office as likely to have groundwater at some or all times within 10 feet of the ground surface elevation. Building with specially engineered foundations or with the lowest floor opening above groundwater is recommended, and owners seeking building permits on this property will be similarly advised. More detailed information on recorded groundwater elevations in the vicinity of this property is available in the City Engineers' office.
- M. The applicant shall submit an avigational easement covering all of the subject plat and a restrictive covenant assuring that adequate construction methods will be used to minimize the effects of noise pollution in the habitable structures constructed on subject property.
- N. The perimeters of the proposed lots shall match the perimeters of the CUP boundaries. A CUP adjustment will need to be approved.
- O. A 70-foot setback along Kellogg for Lot 1 is denoted on the plat; however the CUP permits this setback to be 40 feet.
- P. A CUP Certificate shall be submitted to MAPD prior to City Council consideration, identifying the approved CUP and its special conditions for development on this property.
- Q. The signature line for the County Clerk needs to be revised to reference "Kelly B. Arnold".
- R. The Applicant is reminded that a platting binder is required with the final plat. Approval of this plat will be subject to submittal of this binder and any relevant conditions found by such a review.

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**June 25, 2009 - Page 3**

- S. The platlor's text shall include language that a drainage plan has been developed for the plat and that all drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of stormwater.
- T. The applicant shall install or guarantee the installation of all utilities and facilities that are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- U. The Register of Deeds requires all names to be printed beneath the signatures on the plat and any associated documents.
- V. To receive mail delivery without delay, and to avoid unnecessary expense, the applicant is advised of the necessity to meet with the United States Postal Service Growth Management Coordinator (Phone: 316-946-4556) prior to development of the plat so that the type of delivery, and the tentative mailbox locations can be determined.
- W. The applicant is advised that various State and Federal requirements (specifically but not limited to the Army Corps of Engineers, Kanopolis Project Office, Rt. 1, Box 317, Valley Center, KS 67147) for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements.
- X. The owner of the subdivision should note that any construction that results in earthwork activities that will disturb one (1) acre or more of ground cover requires a Federal/State National Pollutant Discharge Elimination System Storm Water Discharge Permit from the Kansas Department of Health and Environment in Topeka. Also, for projects located within the City of Wichita, erosion and sediment control devices must be used on ALL projects. For projects outside of the City of Wichita, but within the Wichita Metropolitan area, the owner should contact the appropriate governmental jurisdiction concerning erosion and sediment control device requirements.
- Y. Perimeter closure computations shall be submitted with the final plat tracing.
- Z. The representatives from the utility companies should be prepared to comment on the need for any additional utility easements to be platted on this property.
- AA. A compact disc (CD) should be provided, which will be used by the City and County GIS Departments, detailing the final plat in digital format in AutoCAD. If a disc is not provided, please send the information via e-mail to Cheryl Holloway (E-Mail address: [cholloway@wichita.gov](mailto:cholloway@wichita.gov)). Please include the name of the plat on the disc.

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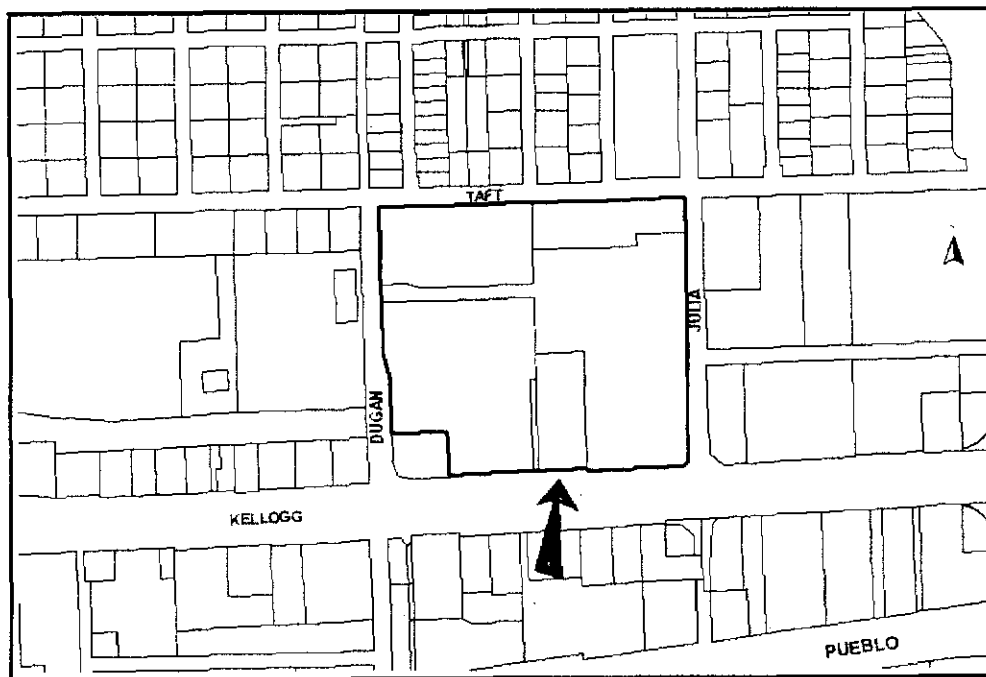
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