

# GENERAL NOTES:

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS. ALL CONSTRUCTION SHALL BE COMPLETED FOLLOWING CURRENT CITY STANDARD SPECIFICATIONS AND SPECIAL PROVISIONS.
- THE CONTRACTOR WILL BE REQUIRED TO PROVIDE NOTICE TO UTILITY COMPANIES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION, AS FOLLOWS:

KANSAS ONE-CALL 687-2470

THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:

AT&T	1-800-246-8464
BLACK HILLS ENERGY	1-800-694-8989
CITY OF WICHITA WATER & SEWER	1-316-219-8921
CITY OF WICHITA STORMWATER	1-316-268-4090
CITY OF WICHITA TRAFFIC	1-316-268-4034
COX COMMUNICATIONS	1-888-249-3530
KANSAS GAS SERVICE	1-888-482-4950
EVERGY	1-800-544-4857

- UTILITY SERVICE LINES, POLES, ET CETERA. ARE TO BE ADJUSTED AS NECESSARY BY OTHERS PRIOR TO CONSTRUCTION UNLESS THE PLANS SPECIFICALLY CALL FOR THEIR ADJUSTMENT BY THE CONTRACTOR OR UNLESS THE PLANS SPECIFICALLY IDENTIFY A UTILITY TO BE ADJUSTED BY ITS OWNER DURING CONSTRUCTION. EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION REASONABLY OBTAINABLE FOR DESIGN. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY THAT DO NOT CONFLICT WITH PROPOSED CONSTRUCTION.

- RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION THAT IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS, IN THE OPINION OF THE ENGINEER, THAT WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOODPLAIN FILL WILL REQUIRE A KANSAS STATE BOARD OF AGRICULTURE FLOODPLAIN FILL PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS. OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WILL REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED OR STOCKPILED IN A PREVIOUSLY APPROVED BORROW LOCATION.

- TREES AND SHRUBS IN PUBLIC RIGHT-OF-WAY WHICH ARE IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE REMOVED BY THE CONTRACTOR WITH THE ENGINEER'S APPROVAL. TREES AND SHRUBS THAT ARE NOT IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE SAVED AND PROTECTED FROM DAMAGE.

- IF PRACTICABLE THE CONTRACTOR SHALL GIVE ALL PROPERTY OWNERS AND/OR TENANTS OF DEVELOPED PROPERTY ABUTTING THE CONSTRUCTION OF THIS PROJECT A MINIMUM OF TEN (10) DAYS NOTICE PRIOR TO START OF CONSTRUCTION.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO REESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE REESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.

- THE ENGINEERING DIVISION SHALL FIELD LOCATE WATER VALVES ONE TIME DURING CONSTRUCTION WHEN REQUESTED BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SUCH FIELD LOCATIONS DURING THE CONSTRUCTION PROCESS. WATER VALVES, VALVE BOXES OR FIRE HYDRANTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR AT THEIR OWN EXPENSE. VALVE BOXES AND WATER METERS WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO MATCH FINAL GRADES BY THE CONTRACTOR.

- THE CONTRACTOR SHALL NOTIFY THE CONSULTANT ENGINEER AS WELL AS THE CITY, DAWNITA REINHARDT AT 316-650-0740, WITH THE ANTICIPATED CONSTRUCTION START DATE AND NOTIFY THEM OF PROJECT COMPLETION. STAKING AND INSPECTION FOR THIS PROJECT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

- IF TRAFFIC WILL BE IMPACTED BY CONSTRUCTION, A TRAFFIC CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY TRAFFIC ENGINEER AT TRAFFIC@WICHITA.GOV BEFORE CONSTRUCTION CAN BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES TO FACILITATE CONSTRUCTION. ALL CONSTRUCTION ZONE MARKINGS AND SIGNAGE SHALL CONFORM TO THE LATEST VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS PUBLISHED BY THE US DEPT. OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION. ALL COSTS ASSOCIATED WITH CONSTRUCTION MARKINGS AND SIGNAGE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

- ALL ELEVATIONS SHOWN ARE NAVD 88.

- ALL AREAS DISTURBED DURING CONSTRUCTION THAT WILL NOT BE UNDER PROPOSED PAVEMENT SHALL BE RESTORED TO MATCH EXISTING CONDITIONS.

- ANY SIDEWALK, DRIVE APPROACH, OR STREET PAVEMENT REMOVED TO CONSTRUCT PROJECT MUST HAVE A PAVEMENT CUT PERMIT AND BE REPLACED BY THE CITY CONTRACTOR. PERMITS CAN BE OBTAINED BY CALLING 316-268-4501 OR 316-268-4480.

- ALL APPLICABLE FEES (TAP, EQUITY, IN LIEU OF & MAIN BENEFIT) MUST BE PAID BEFORE ANY CONNECTIONS CAN BE MADE ON THIS PROJECT. QUOTES CAN BE OBTAINED ON FEES BE CALLING 316-268-4555.

- CITY MAINTENANCE OF SANITARY SEWER MAINS ENDS AT LAST STRUCTURE WITHIN THE EASEMENT OR RIGHT-OF-WAY.

- ALL STUBS AND CAPPED PIPES SHALL BE LOCATED WITH GREEN PLASTIC TAPE IN THE SAME MANNER AS RISERS.

- CONNECTING TO EXISTING MANHOLES: PRIOR TO LAYING SEWER LINES USING EXISTING STUBS IN EXISTING MANHOLES, THE CONTRACTOR SHALL EXPOSE AND VERIFY THE ELEVATION, GRADE AND ALIGNMENT OF EXISTING STUBS AND NOTIFY THE ENGINEER OF ANY DEVIATION FROM THE PLANS. WHERE THE STUB IS UNUSABLE DUE TO ELEVATION GRADE OR ALIGNMENT, THE CONTRACTOR SHALL REMOVE THE STUB AND PLUG THE HOLE, AND RESHAPE THE EXISTING MANHOLE INVERT TO PROVIDE SMOOTH FLOW. WHERE CONNECTING TO AN EXISTING MANHOLE THAT DOES NOT HAVE AN EXISTING STUB, THE CONTRACTOR SHALL CORE CUT INTO EXISTING MANHOLE WALL TO MAKE CONNECTION USING APPROVED WATER STOP GASKET, AND RESHAPE THE EXISTING MANHOLE INVERT TO PROVIDE SMOOTH FLOW. THE COST TO CONNECTING TO EXISTING MANHOLES IS INCIDENTAL TO THE PROJECT.

- CONTRACTOR SHALL LIMIT THE EXTENT OF TRENCH OPEN OPEN OVERNIGHT AND WEEKENDS TO LESS THAN 50 FEET.

- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL MANHOLE COVERS.

- THE CONTRACTOR SHALL PREVENT ANY CONSTRUCTION DEBRIS FROM ENTERING THE EXISTING SANITARY SEWER DURING CONSTRUCTION.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONTINUOUS FLOW OF SEWAGE THROUGH CONSTRUCTION. CONTRACTOR'S PROPOSED METHOD FOR MAINTAINING SEWAGE FLOW SHALL BE SUBMITTED AND APPROVED BY THE SEWER MAINTENANCE DIVISION (316-268-4073) PRIOR TO STARTING AND BY-PASSING OF SEWAGE FLOWS.

- ANY OVER EXCAVATION FROM MANHOLE AND PIPE REMOVAL SHALL BE BACKFILLED WITH AB-3 COMPACTED TO 90-95% ASTM D698.

- THE CONTRACTOR SHALL PROTECT FROM DAMAGE AND SUPPORT EXISTING UTILITIES THROUGH CONSTRUCTION AS APPROVED BY THE UTILITY OWNER AND THE ENGINEER AT THE CONTRACTOR'S EXPENSE.

- SITE PREPARATION AND RESTORATION SHALL BE SUBSIDIARY TO THE PROJECT.

- THE CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES (BMP'S) TO PREVENT ERODED SOIL FROM ENTERING DITCHES, CULVERTS, AND DRAINAGE BASINS. THE CONTRACTOR SHALL FOLLOW THE INTENT OF THE BMP'S WHICH ACT AS A GUIDELINE.

- EACH BIDDER SHALL VISIT THE SITE OF THE PROJECT BEFORE SUBMITTING A PROPOSAL IN ORDER TO BECOME BETTER INFORMED OF THE EXISTING FIELD CONDITIONS AND OBSTACLES WHICH MIGHT BE ENCOUNTERED DURING CONSTRUCTION. EACH BIDDER SHOULD UNDERSTAND THAT NO ADDITIONAL COMPENSATION WILL BE AWARDED FOR EXTRA WORK THAT SHOULD HAVE BEEN EVALUATED PRIOR TO BIDDING.

- EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM VARIOUS COMPANIES AND IS EITHER FROM COMPANY UTILITY DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY BE ENCOUNTERED.

- ANY AND ALL UTILITY SYSTEM COMPONENTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

- ALL TRENCHING IN PAVEMENT OR DRIVEWAYS, WHICH WILL BE REQUIRED TO CARRY TRAFFIC UNTIL PERMANENT PAVING REPLACEMENT, SHALL BE TOPPED WITH A MINIMUM OF 6" CRUSHED ROCK (COMPACTED) TO BE INCIDENTAL TO THE PROJECT. CONTRACTOR SHALL BE REQUIRED TO MAINTAIN TEMPORARY CRUSHED ROCK UNTIL PERMANENT PAVEMENT IS INSTALLED.

- THE PRECAST MANUFACTURER SHALL PROVIDE A SEALED DESIGN DETAIL FOR ALL PRECAST ITEMS USED ON THE PROJECT TO INSURE THE INTENT OF THE PLANS ARE MET.

- MAINTAIN A MINIMUM OF 10-FOOT HORIZONTAL SEPARATION BETWEEN ALL WATER LINES (MAINS, SERVICES, AND FIRE HYDRANTS), AND ALL SANITARY SEWER LINES (MAINS, SERVICES, AND MANHOLES). ALL SEPARATION DISTANCES ARE TO BE MEASURED FROM EDGE-TO-EDGE AT THE CLOSEST POINT.

- MAINTAIN A MINIMUM OF 2-FOOT VERTICAL SEPARATION BETWEEN ALL WATER LINES (MAINS AND SERVICES) AND ALL GRAVITY SANITARY SEWER LINES (MAINS, SERVICES, AND MANHOLES) AT CROSSINGS. ALL SEPARATION DISTANCES ARE TO BE MEASURED FROM EDGE-TO-EDGE, AT THE CLOSEST POINT.

- MAINTAIN A MINIMUM OF 2-FOOT VERTICAL SEPARATION BETWEEN ALL WATER LINES (MAIN AND SERVICES) AND ALL PRESSURIZED SANITARY SEWER LINES (FORCED MAINS AND SERVICES) AT CROSSINGS. WATERLINES MUST ALWAYS BE PLACED ABOVE PRESSURIZED SANITARY SEWER LINES WHERE THEY CROSS. ALL SEPARATION DISTANCES ARE TO BE MEASURED FROM EDGE-TO-EDGE, AT THE CLOSEST POINT.

# SANITARY SEWER IMPROVEMENTS to serve LOT 2 WICHITA LAND ADDITION CITY OF WICHITA, KANSAS

GARY JANZEN, P.E. CITY ENGINEER

PROJECT NUMBER

2022-023833PPS(53030982)

5850C

BASIN: SS23-07

## AS BUILTS

Contractor:

McCullough  
Excavation

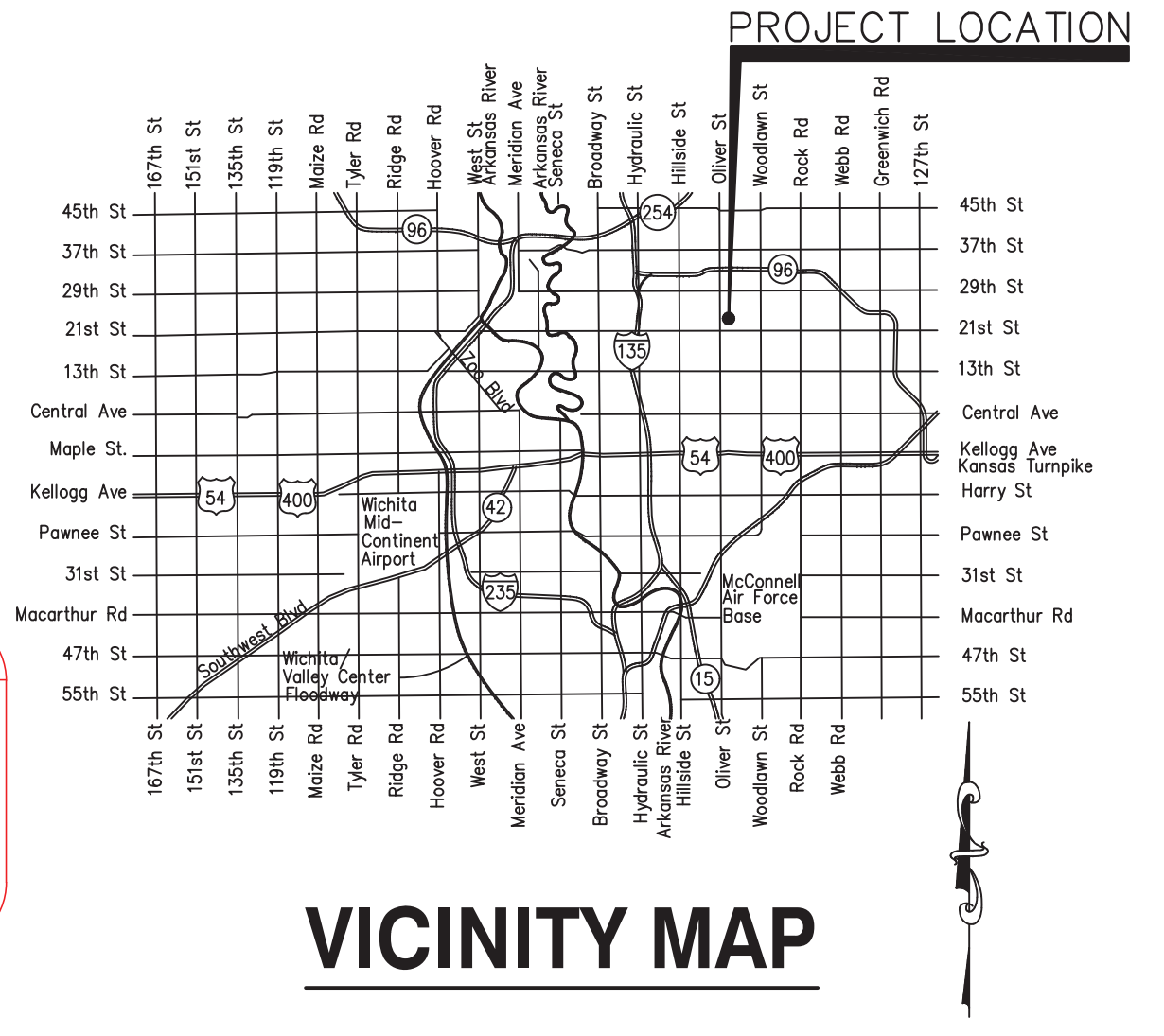
5/01/2023

Project Inspector:

Larry Gann

**KE MILLER**  
ENGINEERING PA

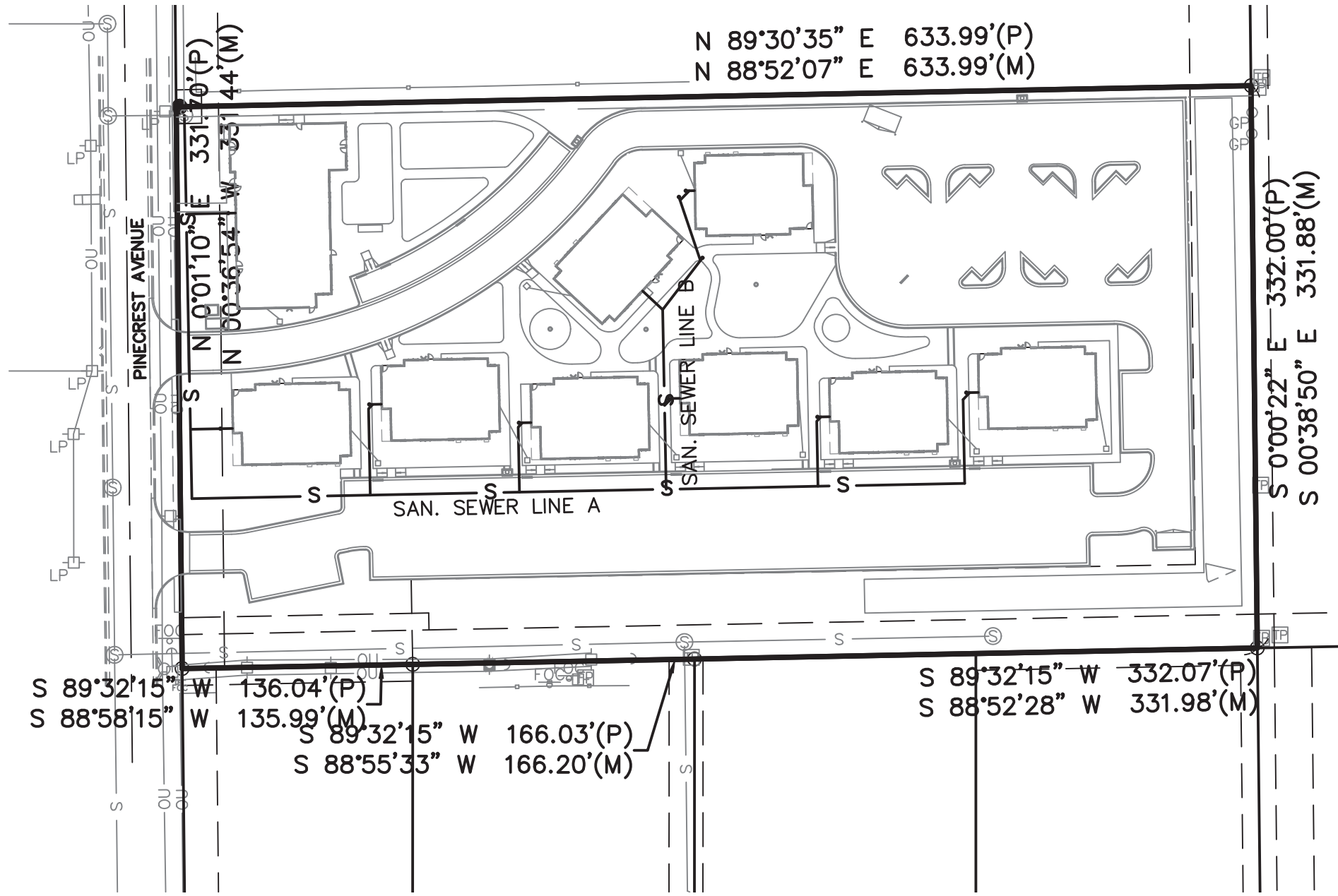
117 E. Lewis, Wichita, KS 67202 (316)264-0242



## VICINITY MAP

## INDEX TO SHEETS:

- TITLE SHEET
- SANITARY LINE A PLAN AND PROFILE
- SANITARY LINE A PLAN AND PROFILE
- SANITARY LINE B PLAN AND PROFILE
- EROSION CONTROL PLAN
- SANITARY STANDARD DETAIL
- SANITARY STANDARD DETAIL
- EROSION STANDARD DETAIL
- EROSION STANDARD DETAIL
- EROSION STANDARD DETAIL
- EROSION STANDARD DETAIL
- EROSION STANDARD DETAIL
- WICHITA LAND ADDITION PLAN



## BENCHMARKS

### DATUM BENCHMARK:

VERTICAL DATUM IS NAVD 88 DERIVED FROM USING THE WICHITA NTRIP NETWORK ORTHOMETRIC HEIGHT WAS DETERMINED USING THE GEOID 18 MODEL.

### BENCHMARKS:

BM #61: SQUARE CUT SET ON BACK OF CURB ON EAST SIDE OF PINECREST AVENUE NEAR FIRE HYDRANT AT SOUTHWEST CORNER OF SITE. ELEV=1395.66

BM #62: SQUARE CUT SET ON WEST SIDE OF SIDEWALK ON EAST SIDE OF PINECREST AVENUE IN LINE OF SPLIT RAIL FENCE TO THE EAST NEAR NORTHWEST CORNER OF SITE. ELEV=1388.47

### CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. **THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.**

### SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

### WARRANTY / DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

THE COORDINATES PROVIDED IN THESE PLANS ARE FOR INFORMATION AND CHECKING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALCULATE CONSTRUCTION STAKING COORDINATES ACCORDING TO THE DIMENSIONS SHOWN ON THESE PLANS. CONTRACTOR SHALL VERIFY THE ACCURACY OF THE COORDINATES SHOWN BEFORE CONSTRUCTION.

THIS PLAN SHEET IS PART OF AN OVERALL KAW VALLEY ENGINEERING PLAN SET FOR THE SPECIFIC IMPROVEMENTS CONTEMPLATED THEREIN. AS SUCH, THE INFORMATION REFLECTED HEREIN SHOULD ONLY BE INTERPRETED WITHIN THE CONTEXT OF THE COMPLETE PLAN SET.

APPROVED AS NOTED  
BY WICHITA PUBLIC WORKS  
ENGINEERING DIVISION

Engineering Approved by Shawn Mellies 10/06/22

Utilities Approved by Deb Ary 10/06/22

NOTE TO CONTRACTORS

Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions. (on file and available at Wichita.gov).

An approved copy of these plans signed by City staff are required on-site.

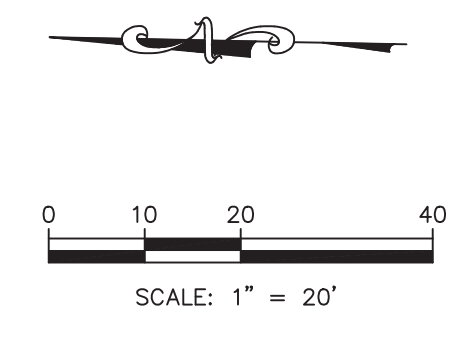
**OCTOBER 2022**

PROJ. NO. G21_2066 CFN: 2066WTS	DSN: EAM DWN: CS	SHAWN R. BRYAN ENGINEER KS # 17899
<b>KAW VALLEY ENGINEERING</b>		
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/22		

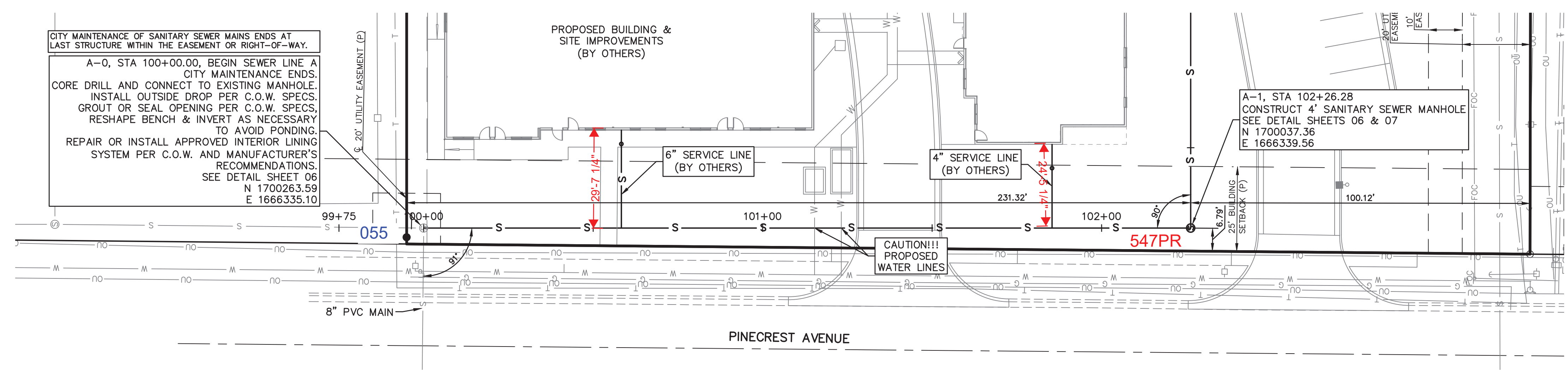
# AS BUILTS



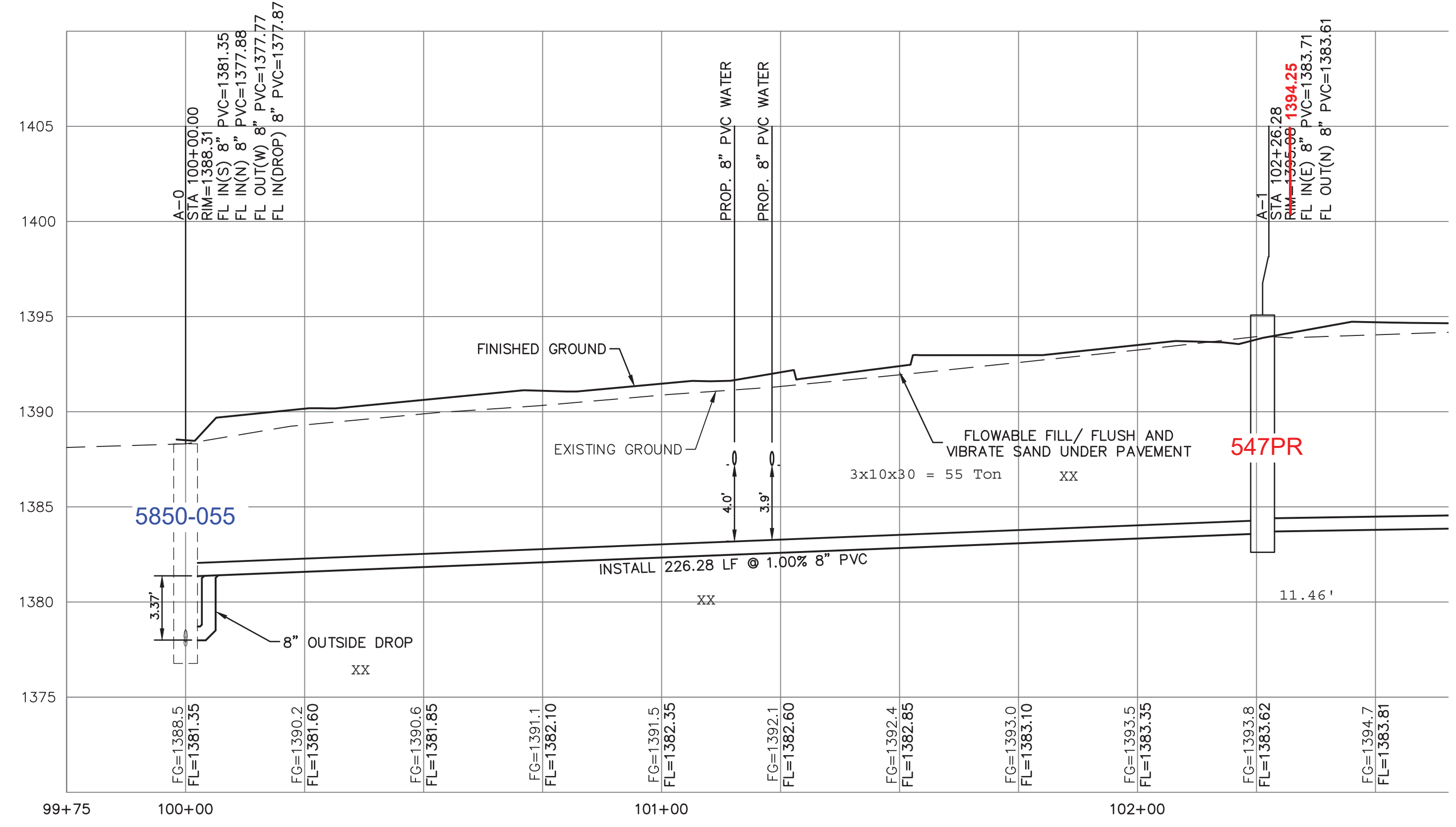
**KEMILLER**  
ENGINEERING PA  
117 E. Lewis,  
Wichita, KS 67202 (316)264-0242



SCALE:  
PLAN: 1"=20'  
PROFILE: 1"=20' HORIZ.  
1"=5' VERT.



### SANITARY SEWER LINE A

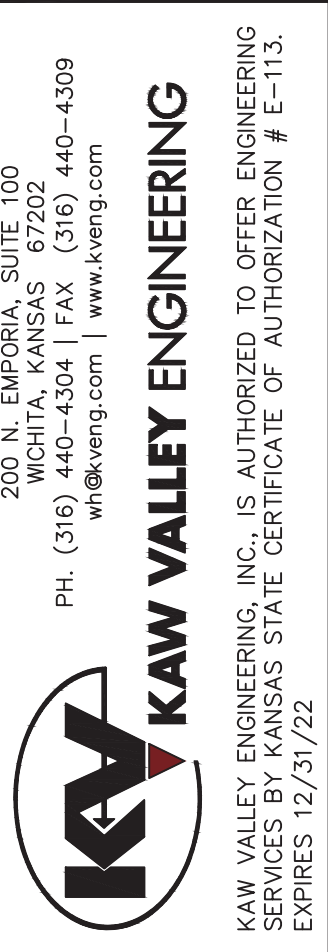


THE COORDINATES PROVIDED IN THESE PLANS ARE FOR INFORMATION AND CHECKING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALCULATE CONSTRUCTION STAKING COORDINATES ACCORDING TO THE DIMENSIONS SHOWN ON THESE PLANS. CONTRACTOR SHALL VERIFY THE ACCURACY OF THE COORDINATES SHOWN IN THE TABLE HEREON BEFORE CONSTRUCTION.

THIS PLAN SHEET IS PART OF AN OVERALL KAW VALLEY ENGINEERING PLAN SET FOR THE SPECIFIC IMPROVEMENTS CONTEMPLATED THEREIN. AS SUCH, THE INFORMATION CONTAINED MAY BE LIMITED AND SHOULD ONLY BE INTERPRETED WITHIN THE CONTEXT OF THE COMPLETE PLAN SET.

SRB	CHK
CS	DWN
EAM	DSN
INITIAL ISSUE	DESCRIPTION
10/06/22	REV DATE
0	0

SHAWN R. BRYAN  
ENGINEER  
KS # 17899



200 N. EMPORIA, SUITE 100  
WICHITA, KANSAS 67202  
PH. (316) 440-4304 | FAX (316) 440-4309  
www.kawvalleyeng.com | www.kve.com

**KAW VALLEY ENGINEERING**  
KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/22

**SPECTRA STUDENT LIVING**  
21ST STREET & PINECREST AVE  
WICHITA, KS

**SANITARY SEWER IMPROVEMENTS**  
SANITARY LINE A PLAN AND PROFILE

PROJ. NO.	G22-2066
DESIGNER	EAM
DRAWN BY	CS
CFN	2066SPP
SHEET	02
REV	0





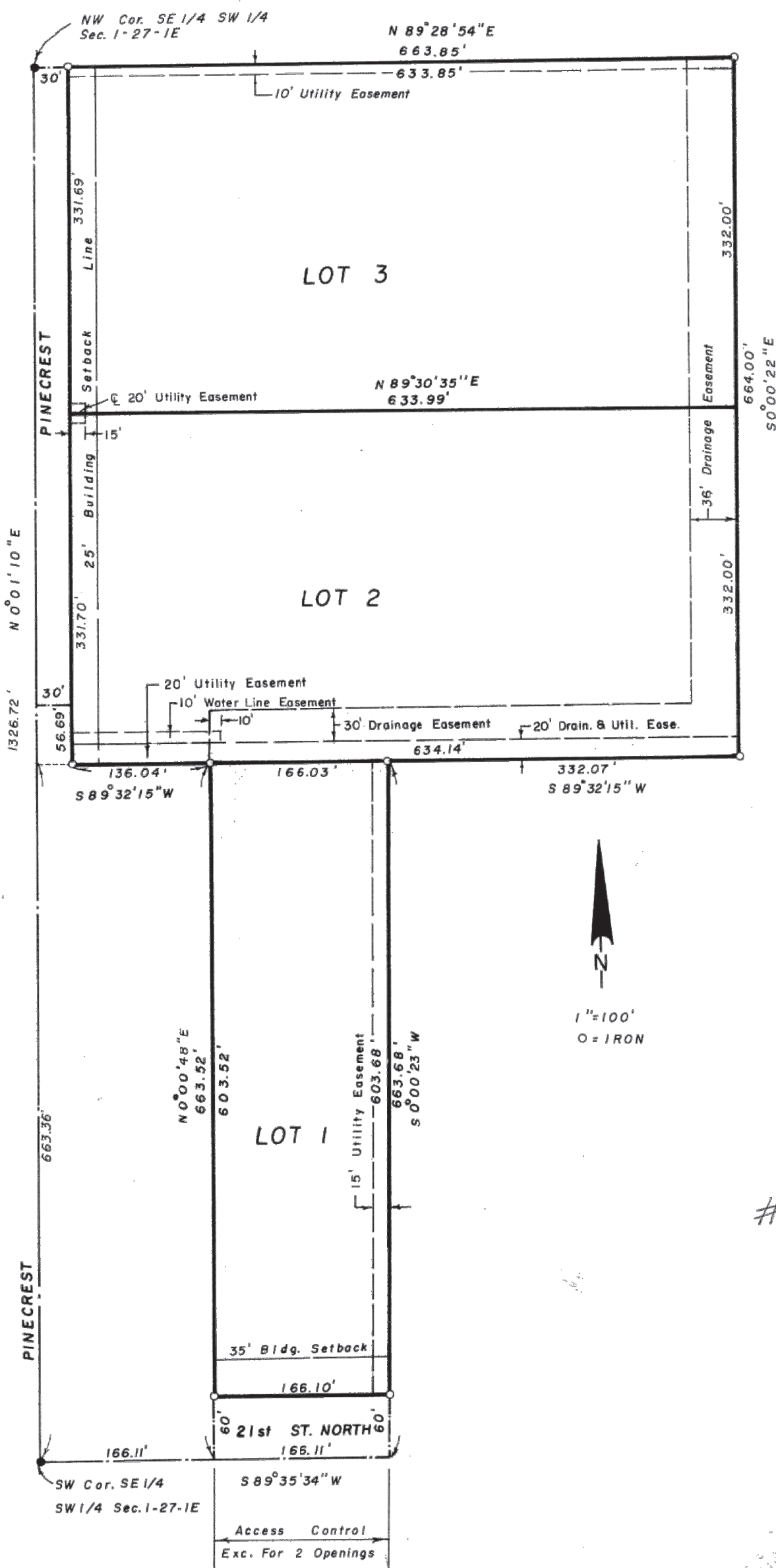


1E-1 E-5

1E-1 E-5

# WICHITA LAND ADDITION

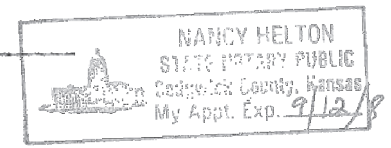
WICHITA, SEDGWICK COUNTY, KANSAS



State of Kansas, County of Sedgwick, SS.

The foregoing instrument was acknowledged before me this 1st day of December, 1983, by J.P. Newman, Vice President, of Fourth National Bank and Trust Company, Wichita, Kansas, a Kansas Corporation, on behalf of the corporation.

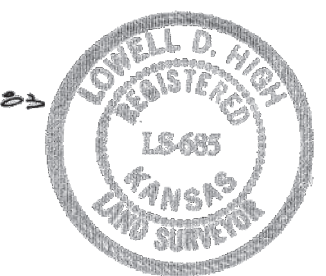
My Commission expires: 9/12/86  
Nancy Helton, Notary Public



State of Kansas, County of Sedgwick, SS.

I, Lowell D. High, Land Surveyor in the State of Kansas do hereby certify that I have surveyed and platted "Wichita Land Addition", Wichita, Sedgwick County, Kansas and that the accompanying plat is a true and correct exhibit of said survey described as follows: The South Half of the Northwest Quarter of the Southeast Quarter of the Southwest Quarter of Section 1, Township 27 South, Range 1 East of the 6th P.M., except the West 30 feet of the South 56.69 feet thereof, Sedgwick County, Kansas; and the East Half of the West Half of the South Half of the West Half of the Southeast Quarter of the Southwest Quarter of Section 1, Township 27 South, Range 1 East of the 6th P.M., Sedgwick County, Kansas; and the North Half of the Northwest Quarter of the Southeast Quarter of the Southwest Quarter of Section 1, Township 27 South, Range 1 East of the 6th P.M., Sedgwick County, Kansas.

Lowell D. High  
Lowell D. High, L.S. 10-21-83



This plat of "Wichita Land Addition", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 25th day of August, 1983.

Wichita-Sedgwick County Metropolitan Area Planning Commission  
David Bayouth, Chairman  
Robert A. Lakin, Secretary

Know all men by these presents that Wichita Land Associates, Inc., a Kansas Corporation, by Aleksandar Hadjiski, President, has caused the land described in the Land Surveyor's Certificate to be platted into Lots and Streets to be known as "Wichita Land Addition", Wichita, Sedgwick County, Kansas.

The streets are hereby dedicated to and for the use of the public. Utility easements as indicated on the plat are hereby granted for the construction and maintenance of all public utilities. The drainage easement as indicated on the plat is hereby granted for drainage purposes. The drainage and utility easement as indicated on the plat is hereby granted for drainage purposes and construction and maintenance of all public utilities. The water line easement as indicated on the plat is hereby granted for the construction and maintenance of a public water line.

All abutter's rights of access to or from 21st Street North, over and across the south line of Lot 1, are hereby granted to the City of Wichita, provided, however, that Lot 1 shall have access to 21st Street North at two locations to be designated by the City Engineer of Wichita, Kansas.

Wichita Land Associates, Inc., a Kansas Corporation.  
Aleksandar Hadjiski, President

Attest:  
Patricia M. Stevenson, Secretary  
Patricia M. Stevenson

This plat approved and all dedications shown hereon, if any, accepted by the Board of City Commissioners of the City of Wichita, Kansas, this 13th day of December, 1983.

Margalee Wright, Mayor  
Donald E. Gislak, City Clerk

State of Kansas, County of Sedgwick, SS.

Be it remembered that on this 1st day of November, 1983, before me a notary public in aforesaid county and state name Aleksandar Hadjiski, President and to me known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same for and on behalf and as the act and deed of said corporation. In testimony thereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Belinda Bishop, Notary Public

My commission expires: February 8, 1984



The Fourth National Bank and Trust Company, Wichita, Kansas, by J.P. Newman, Vice President, mortgagee to the land described in the Surveyor's Certificate, does hereby consent to the platting of "Wichita Land Addition", Wichita, Sedgwick County, Kansas.

Fourth National Bank and Trust Company, Wichita, Kansas

ATTEST:  
J.P. Newman  
J.P. NEWMAN

The Union National Bank of Wichita, Kansas, by Skip Schatz, Vice President, mortgagee to the land described in the Land Surveyor's Certificate, does hereby consent to the platting of "Wichita Land Addition", Wichita, Sedgwick County, Kansas.

Union National Bank of Wichita, Kansas  
Skip Schatz, Vice President

ATTEST:

State of Kansas, County of Sedgwick, SS.

The foregoing instrument was acknowledged before me this 1st day of December, 1983, by Skip Schatz, Vice President, of Union National Bank of Wichita, Kansas, a Kansas Corporation, on behalf of the corporation.

My Commission expires: 3-4-84  
Carol M. King, Notary Public



This plat approved and all dedications shown hereon, if any, accepted by the Board of County Commissioners of Sedgwick County, Kansas, this 12 day of Jan, 1984.

Jack Spratt, Chairman  
Donald E. Gislak, Commissioner  
Tom Scott, Commissioner

ATTEST:  
Dorothy K. White, County Clerk  
Dorothy K. White

Entered on transfer record this 12 day of Jan, 1984.

Dorothy K. White, County Clerk  
Dorothy K. White

State of Kansas, County of Sedgwick, SS.

This is to certify that this instrument was filed for record in the Register of Deeds Office, at 11:00 o'clock, A.M., on the 12th day of JANUARY, 1984.

Bette F. McCart, Register of Deeds  
Pat Kettler, Deputy

#670758

20.00

S-3 1-31

S-3 1-31

SRB	CHK
CS	DWN
EAM	DSN
REV	DATE
0	10/06/22
INITIAL	ISSUE
DESCRIPTION	
PROFESSIONAL ENGINEER	
17899	
10/6/22	
SHAWN R. BRYAN	
ENGINEER	
KS # 17899	
200 N. EMPORIA, SUITE 100	
WICHITA, KANSAS 67202	
PH. (316) 440-4304   FAX (316) 440-4309	
www.kawvalleyeng.com   www.kawvalleyeng.com	
KAW VALLEY ENGINEERING	
KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/22	
SPECTRA STUDENT LIVING	
21ST STREET & PINECREST AVE	
WICHITA, KS	
SANITARY SEWER IMPROVEMENTS	
WICHITA LAND ADDITION PLAT	
PROJ. NO.	G22-2066
DESIGNER	EAM
DRAWN BY	CS
CFN	2066SDET
SHEET	13
REV	0