

# SANITARY SEWER TO SERVE

# KILLARNEY PLAZA 2ND DUPLEXES

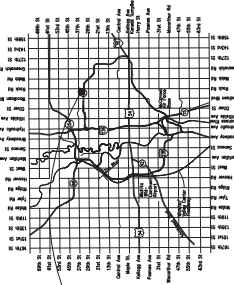
CITY OF WICHITA, KANSAS

Paul Gunzelman, P.E. City Engineer

Project Number: 2024-006704 PPS

Org Code: 53030982

5951A  
SS23-06



Vicinity Map  
(for reference only)

### INDEX OF SHEETS:

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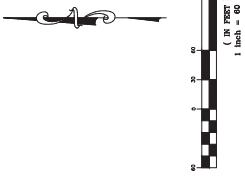
APPROVED AS NOTED  
BY WICHITA PUBLIC WORKS  
ENGINEERING DIVISION

Approved by: Shawn Moline, on this day: 11/22/2024  
Approved by: Scott Mason, on this day: 11/22/2024

NOTE TO CONTRACTORS

Inspection and testing for this project is to be provided by a licensed Professional Engineer in the State of Kansas. The City of Wichita standard construction engineering practices and specifications shall apply. The Contractor shall be responsible for obtaining all necessary permits and approvals from the City of Wichita. All construction and materials shall comply with the provisions of the City of Wichita Engineering and Special Provisions. (on file and available at Wichita.gov)

All approved signs of these plans signed by City staff are required on-site.



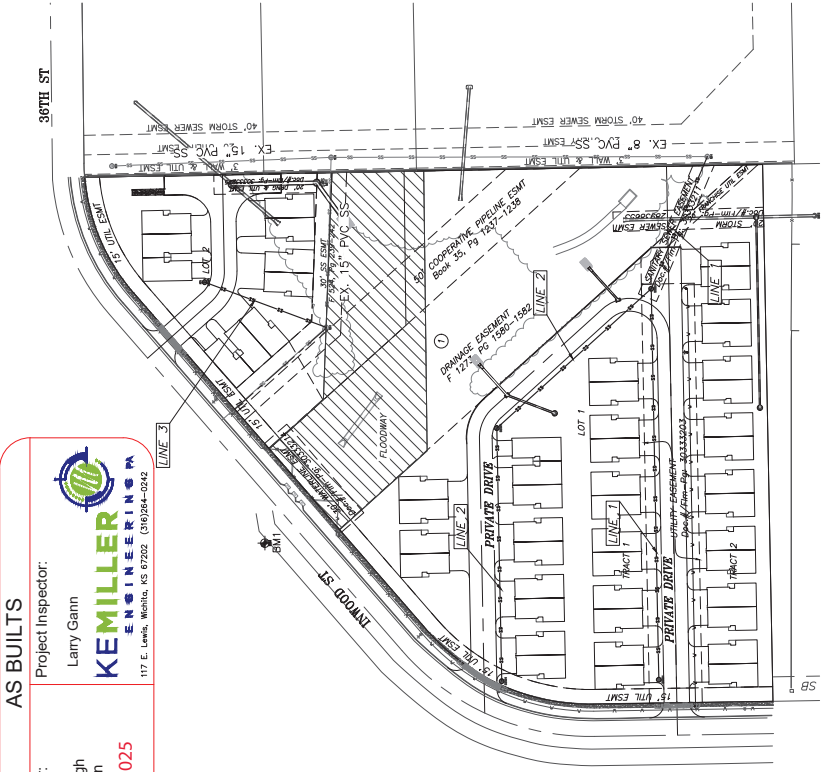
**KEMILLER ENGINEERING PA**  
117 E. Lewis, Wichita, KS 67202 (316)284-0242

**AS BUILTS**

Project Inspector:  
Larry Gann

**KEMILLER ENGINEERING PA**  
117 E. Lewis, Wichita, KS 67202 (316)284-0242

Contractor:  
McCullough Excavation  
3/3/2025



### GENERAL NOTES:

1. The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
2. Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:  
Kansas One-Call 687-2470  
The Contractor must notify the following in case of an emergency:  
AT&T 1-800-246-8884  
Black Hills Energy 1-800-694-8899  
City of Wichita Stormwater 1-316-268-4200  
City of Wichita Traffic 1-316-268-4234  
Kansas Gas Service 1-888-462-4200  
Westar Energy 1-800-544-4857

3. Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the Contractor or unless the plans specifically identify utility to be adjusted by the owner during construction. Plans, represent the best information obtainable for existing utilities within the right-of-way which do not conflict with proposed construction.
4. Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of in accordance with City of Wichita standards. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in appearance shall not be approved. All disposed sites must be approved by the Engineer. Material other than stockpile or disposed of in a flood plain will require a Kansas State Board of Health approval. All sites are subject to U.S. Corps of Engineers permitting regulations and standards and any additional archaeological investigations unless buried in a previously approved borrow location.
5. Trees and shrubs in public right-of-way which are in direct contact with proposed flow lines shall be removed. Trees and shrubs which are not in direct contact with proposed flow lines shall be preserved and protected from damage.
6. The Contractor shall give all property owners and/or adjacent property owners a minimum of ten (10) days notice prior to start of construction.
7. The Contractor shall be responsible for providing property lines. The Contractor will be required to provide property lines to the Engineer. Property lines shall be re-established by a licensed land surveyor in accordance with state laws.
8. The Engineering Division shall field locate water valves one (1) week prior to construction. The Contractor shall be responsible for field locations during the construction process. Water valves shall be re-established by the Contractor at his own expense. Valve adjustment means within the project limits shall be adjusted to match line grade by the contractor.
9. The Contractor shall notify the inspecting engineer and the City of Wichita with the anticipated construction start date and the anticipated completion date. The Contractor shall be responsible for the responsibility of the Construction for the project and for the responsibility of the Construction.
10. If traffic will be impacted by construction, a traffic control plan shall be submitted to the City of Wichita for approval. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs for traffic control markings and signage shall be the Contractor's responsibility.
11. All elevations shown are NAD 83.
12. All areas disturbed during construction that will not be restored to original conditions shall be restored to match existing conditions.

Contractor:  
McCullough Excavation  
3/3/2025

Project Inspector:  
Larry Gann

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117 E. Lewis, Wichita, KS 67202 (316)284-0242

**Benchmarks**

BMP: CON. 010 on the NW cor. of Killarney Plaza and 36th St. Subsequent to the West, P.W. and 1947' South of the Northern West property corner of Comstock Power  
Elev. = 1371.0 NAD83

NOVEMBER 2023

36TH ST

BENCHMARKS:

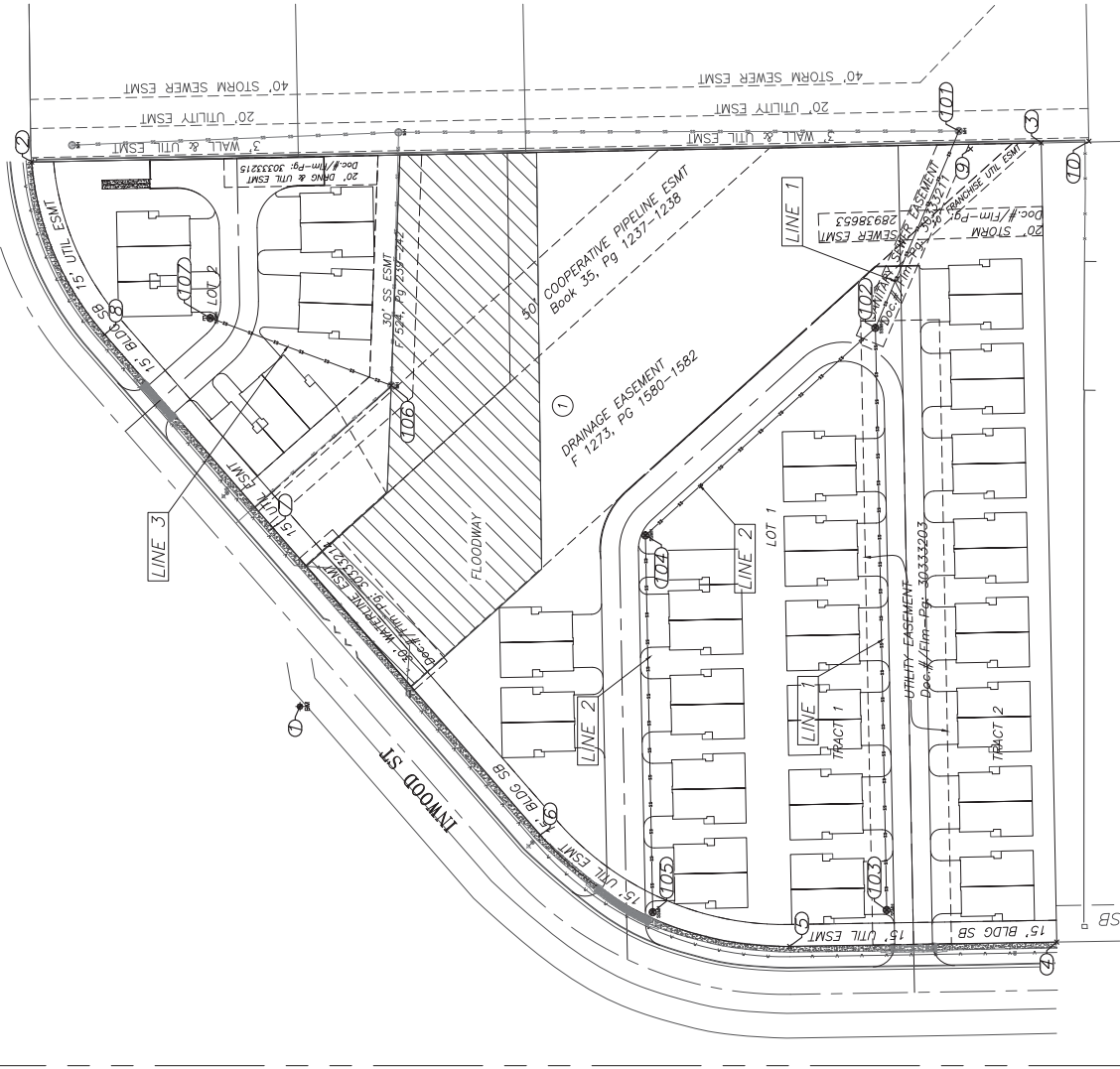
BM#1: COW DISC NW cor. hubguard RCBC, along the West R/W Line of Inwood St. Approx. 374' West and 184' South of the Northwest property corner of Comotara Power Center Addition  
 Elev. = 1371.15 NAVD88

SANITARY SEWER POINT TABLE

Point #	Row Description	Northing	Easting	MH #
101	Sta. 0+00.00 SS1	1708578.59	1674117.96	EX. MH
102	Sta. 1+46.83 SS1 = Sta. 0+00.00 SS2	1708635.95	1673982.80	MH 1-1
103	Sta. 5+46.83 SS1	1708628.19	1673582.87	MH 1-2
104	Sta. 2+12.76 SS2	1708793.88	1673840.22	MH 2-1
105	Sta. 4+71.64 SS2	1708788.85	1673581.40	MH 2-2
106	Sta. 0+00.00 SS3	1708968.34	1673943.21	EX. MH
107	Sta. 1+32.68 SS3	1709092.69	1673989.48	MH 3-1

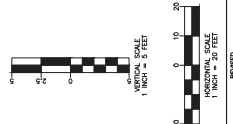
CONTROL POINT TABLE

Point #	Row Description	Northing	Easting
1	BM- COW DISC	1709031.11	1673722.63
2	CROSS	1709215.39	1674096.67
3	R5 MKEC	1708522.07	1674109.81
4	R5 MKEC	1708511.40	1673560.82
5	R4 TERRA-TECH	1708694.82	1673557.88
6	R5	1708865.99	1673634.35
7	R5 MKEC	1709049.78	1673845.40
8	R4	1709165.12	1673978.18
9	R4	1708570.63	1674105.66
10	R5 MKEC	1708489.29	1674110.95



Killiany Plaza, 2nd Addition  
 Control Map SS  
 Wichita, Kansas

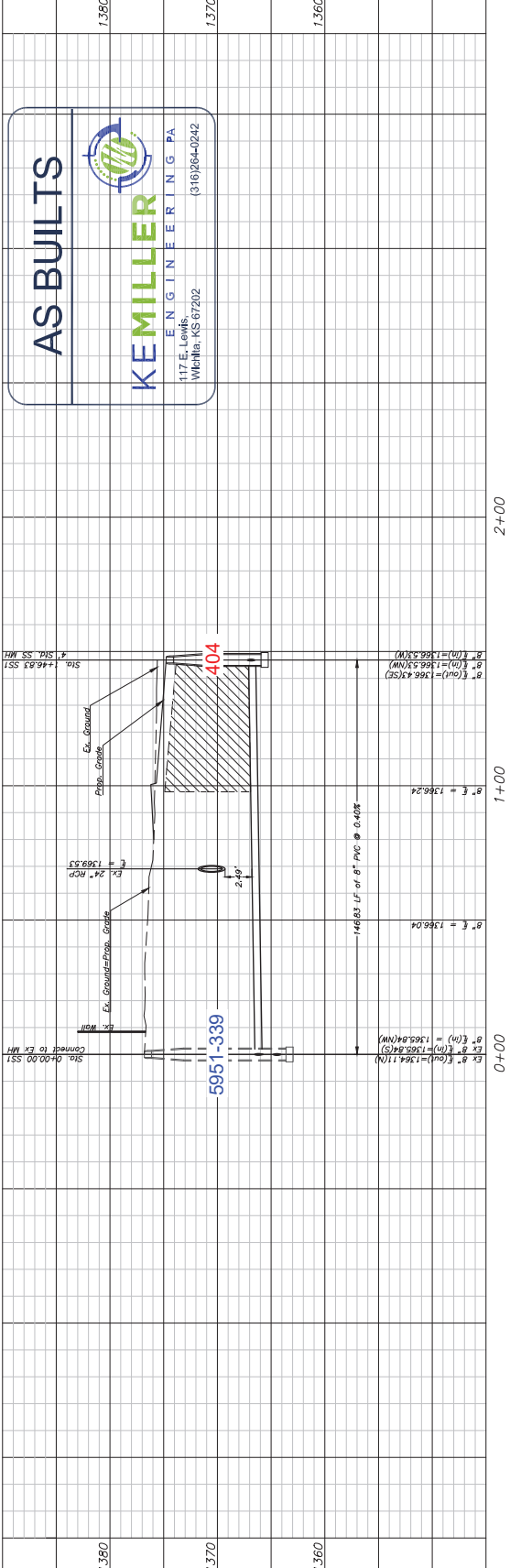
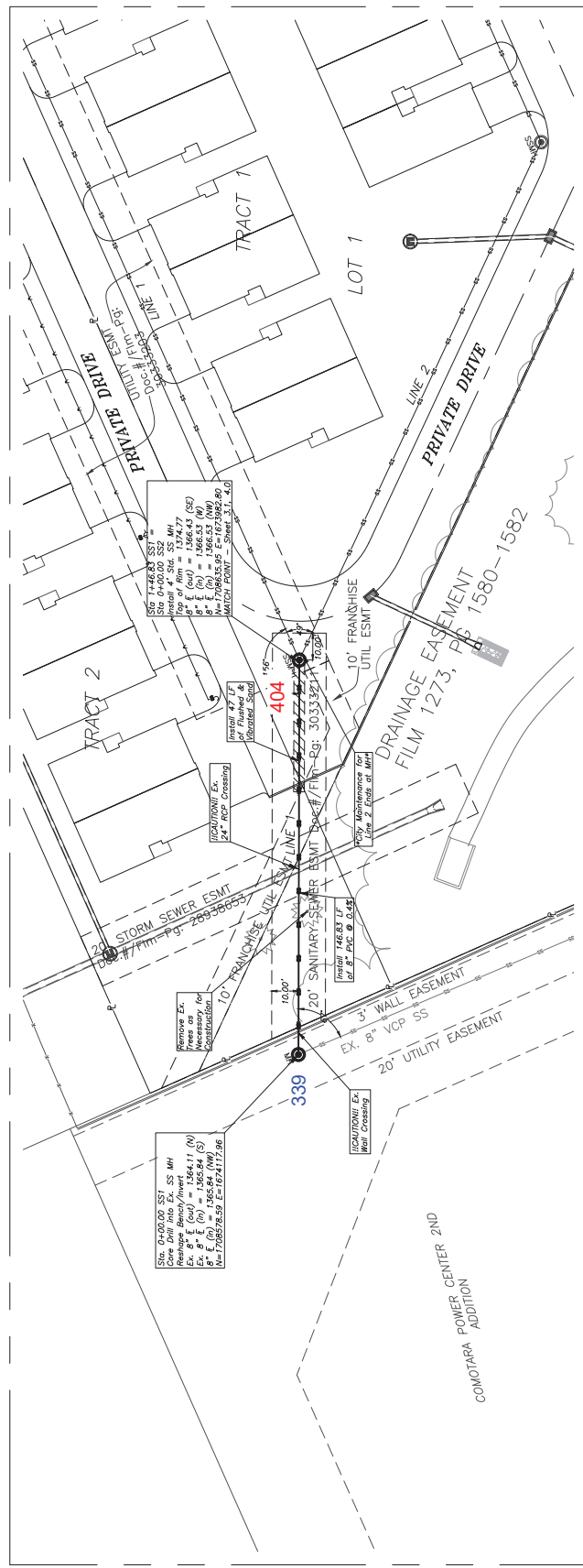
**KEMILLER**  
 ENGINEERS & ARCHITECTS  
 117 E. LAMAR, WICHITA, KS 67202  
 TEL: 316.262.1111 FAX: 316.262.1112  
 DATE: 11.2023 SHEET: 2.0  
 DESIGN: JCB DRAWN: JCB



Killebrew Plaza 2nd Addition  
 SSI Plan & Profile  
 Wichita, Kansas

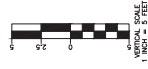


DATE: 11.20.23  
 DRAWN BY: JWB  
 CHECKED BY: JWB  
 SCALE: 3.0

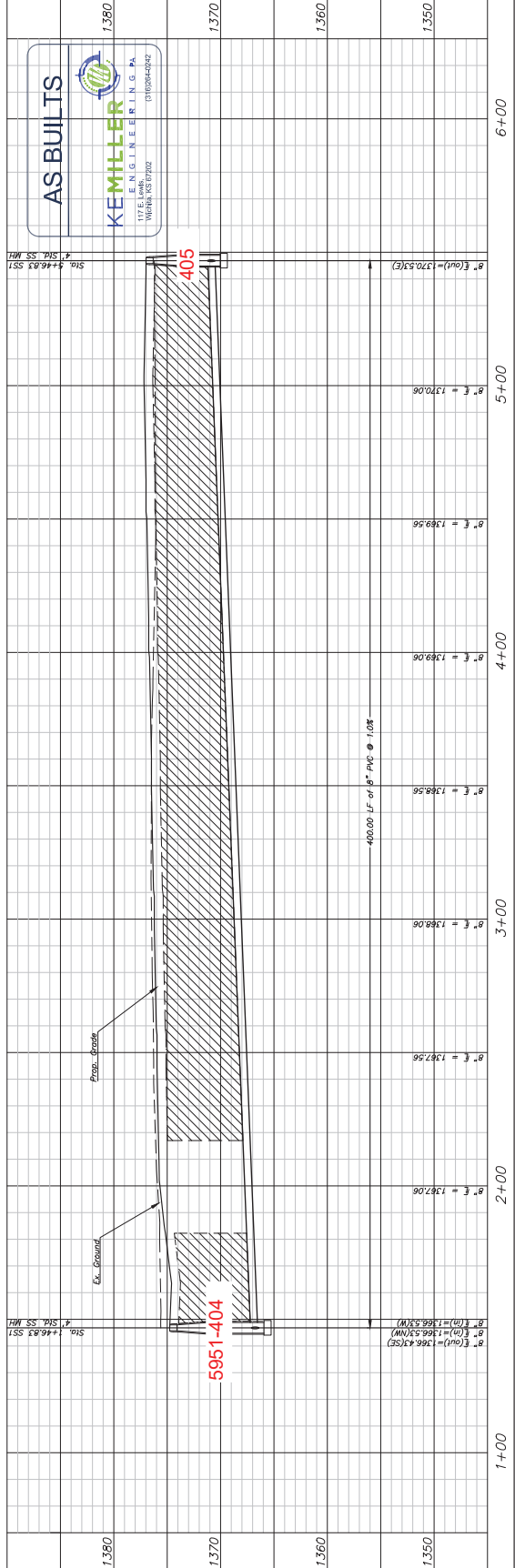
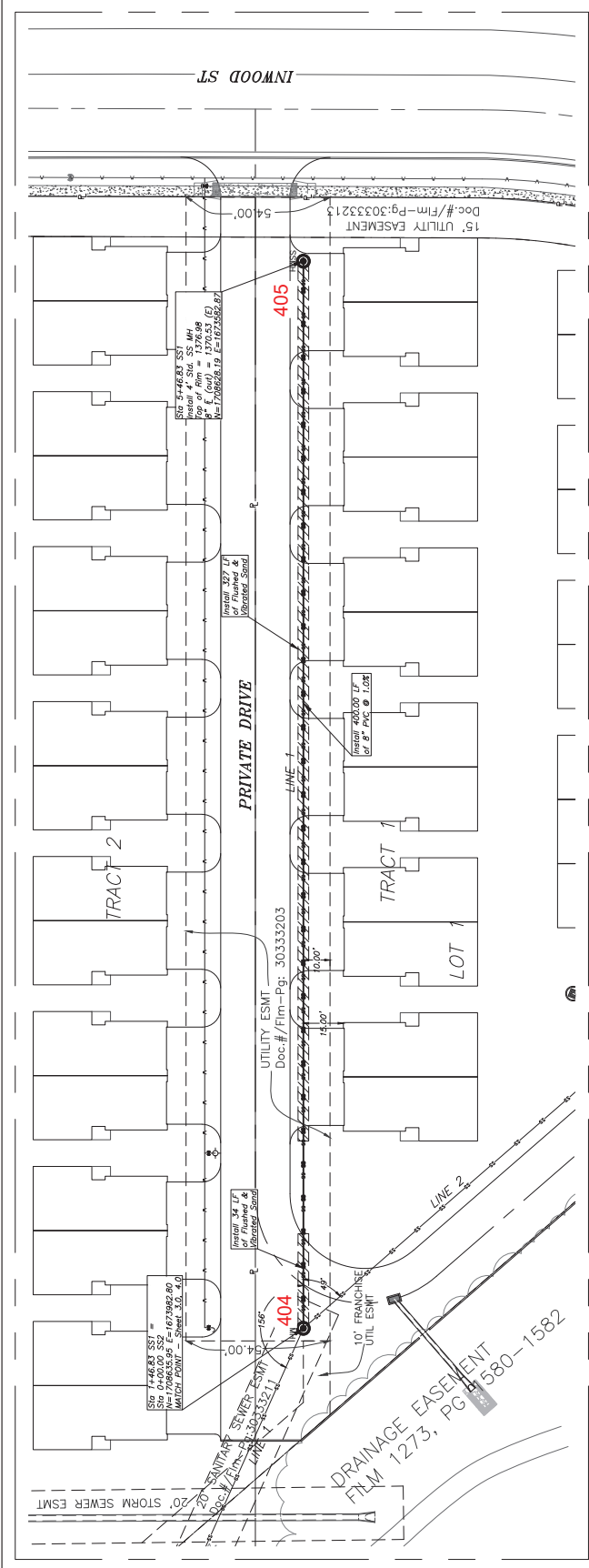


**AS BUILTS**

117 E. Locust  
 Wichita, KS 67202  
 (316)264-0242



Killebrew Plaza 2nd Addition  
 SSI Plan & Profile  
 Wichita, Kansas  
**KEMILLER**  
 ENGINEERING & ARCHITECTS  
 117 E. LINCOLN ST. WICHITA, KS 67202  
 TEL: 316.262.1100 FAX: 316.262.1101  
 WWW.KEMILLER-ENG.COM  
 DATE: 11/2023  
 SHEET NO.: 3.1  
 OF: 3.1

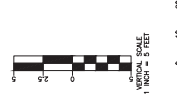




AS BUILTS



**KEMILLER**  
ENGINEERING PA  
117 E. Lewis,  
Wichita, KS 67202  
(316)264-0242

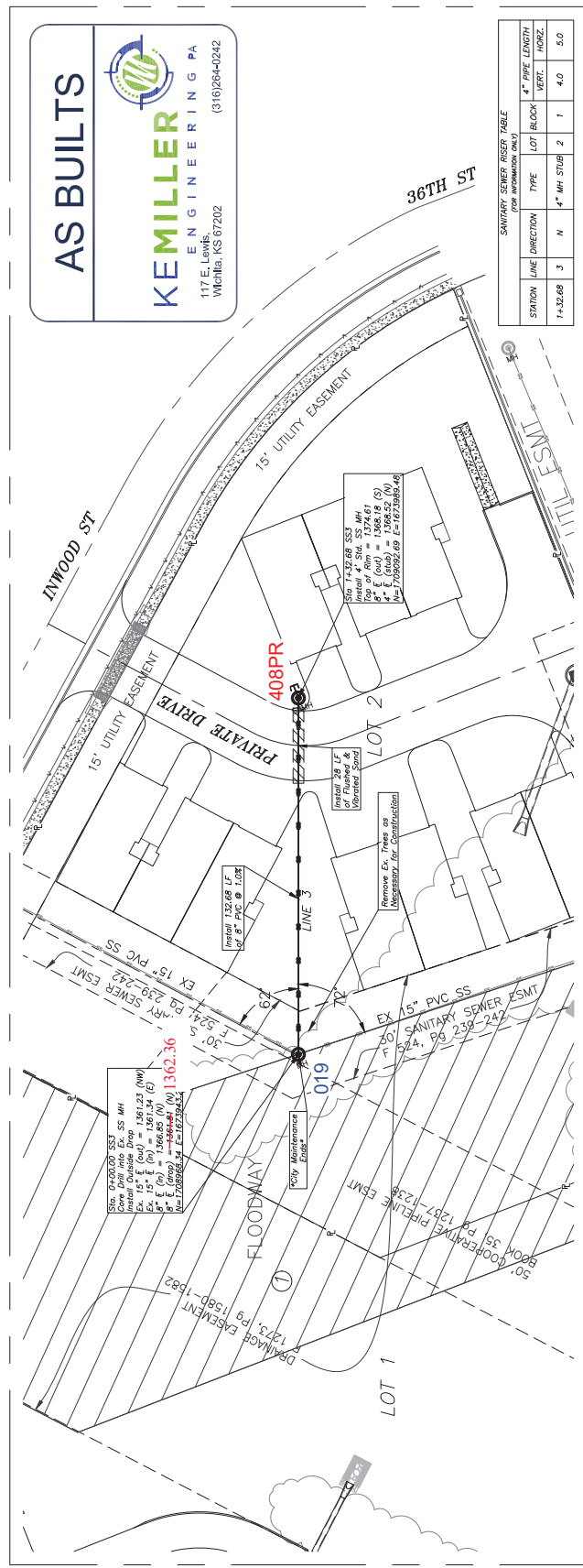


Kilmery Plaza 2nd Addition  
SS3 Plan & Profile  
Wichita, Kansas



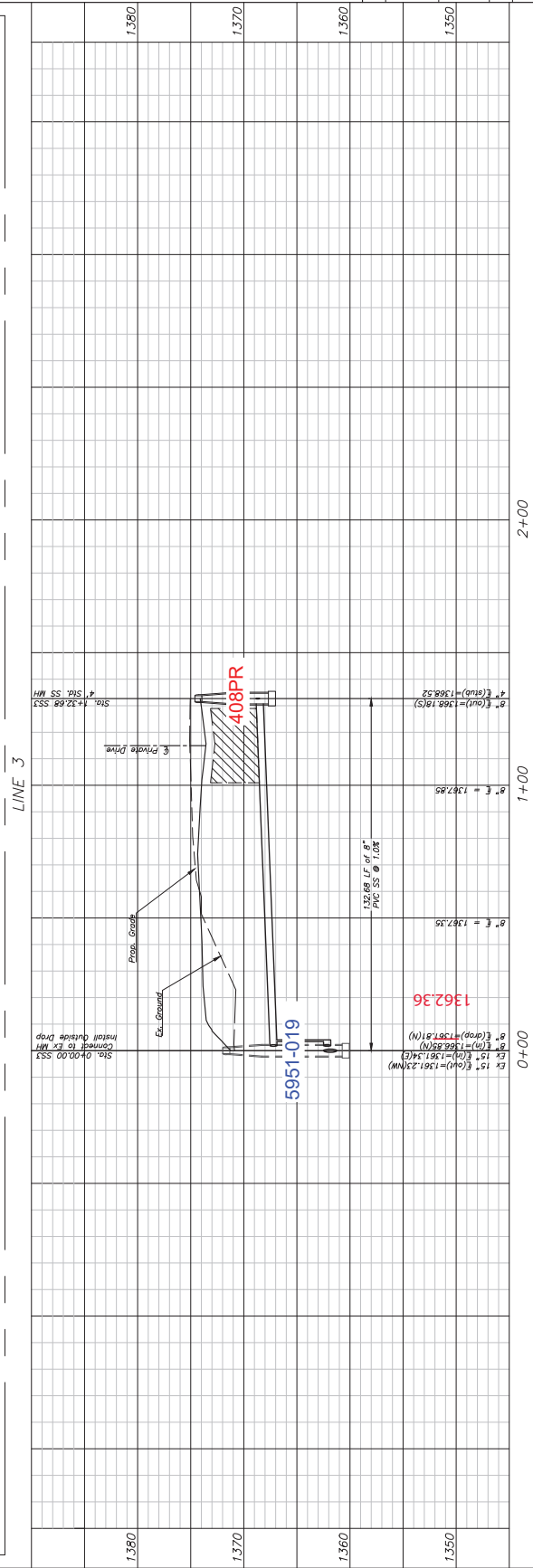
DATE: 11.2023  
DRAWN BY: 23175  
CHECKED BY: 174

5.0



SAWTOOTH SEWER COVER TABLE  
(See accompanying notes)

STATION	LINE	DIRECTION	TYPE	LOT	BLOCK	4" PIPE LENGTH	VERT.	HORIZ.	5.0
1+32.68	3	N	4" MH STUB	2	1	4.0			





FINAL PLAT OF

# KILLARNEY PLAZA SECOND ADDITION

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

**FOR  
REFERENCE  
ONLY**

MINIMUM PAID	ELEVATIONS	Mean	
Lot	City	Bottom	Sea Level
5	192.5	1379.9	
6	192.5	1379.9	
8-11	193.0	1380.4	

**BENCH MARKS:**

B.M. #1 City Plat 10 S.W. cor. of 603  
corner Rock Road = 50' N. of  
Elev. = 200.318'

B.M. #2 City Plat in Resisting Wall at  
corner of 305 S.W. Rock Road  
= 100' S. of 305 S.W. N.  
Elev. = 198.29'

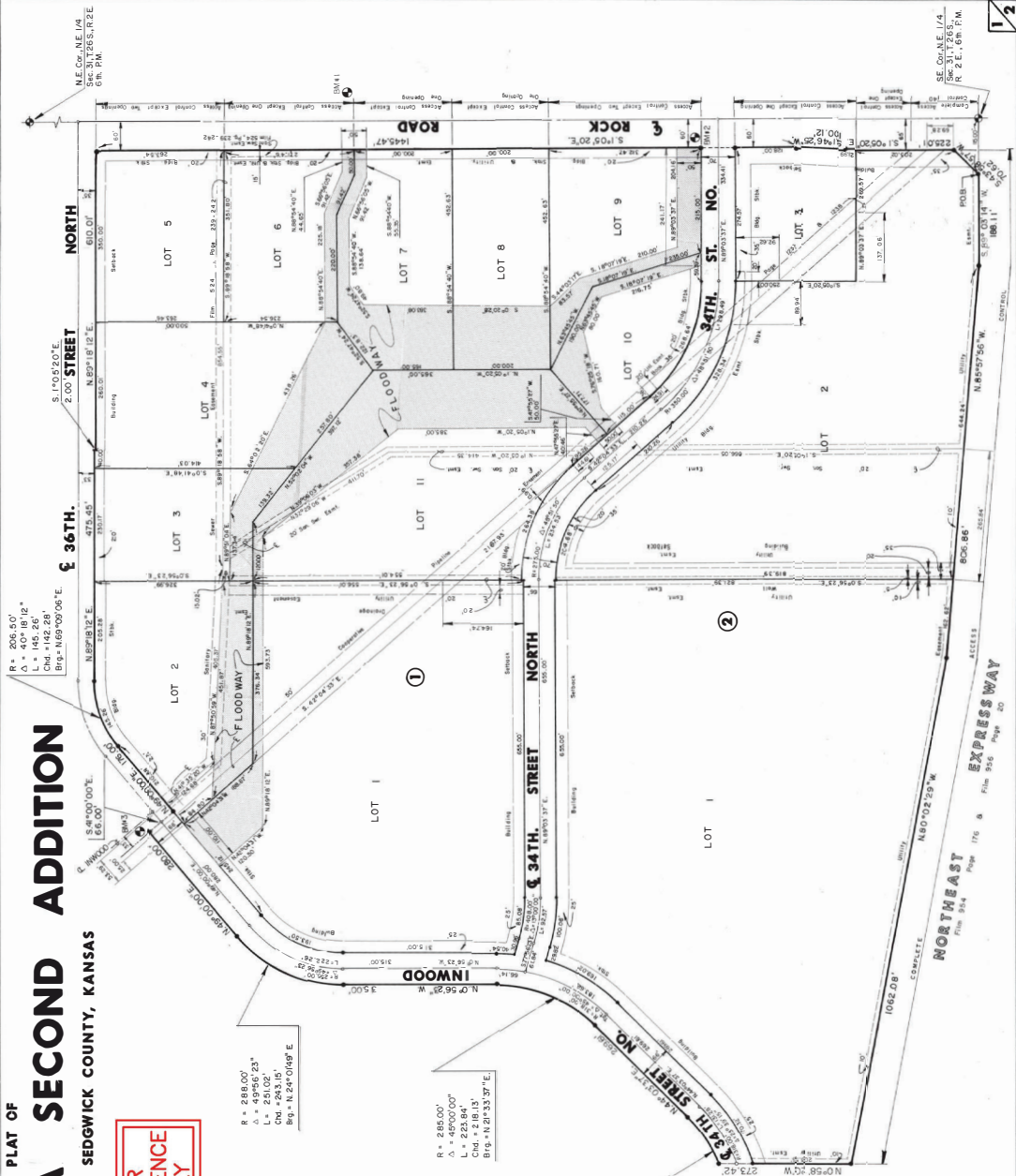
B.M. #3 "C" set on top curb at N. end of N.W.  
Corner = 100.00'

Scale = 1" = 100'  
 = Floodway  
 = Point of Beginning

R = 258.00'  
 Δ = 4950.23"  
 L = 251.02'  
 Chd. = 243.15'  
 Btg. = N. 24° 01' 08" E

R = 285.00'  
 Δ = 5293.915"  
 L = 223.844'  
 Chd. = 218.13'  
 Btg. = N. 21° 33' 37" E

R = 285.00'  
 Δ = 27339.15"  
 L = 117.66'  
 Chd. = 116.833'  
 Btg. = N. 83° 31' 4" E



E 4-30 A

This document is a scanned copy of a document filed with the Sedgwick County Register of Deeds. It is subject to the Digital Signature Act, Chapter 175, Kansas Statutes. Digitized under the supervision of Register of Deeds Bill Henk by Sedgwick County Geographic Information Systems.

Bill Henk, Register of Deeds  
 239 South Main Street, Wichita, Kansas 67202

FOR  
REFERENCE  
ONLY

**LEGAL DESCRIPTION**

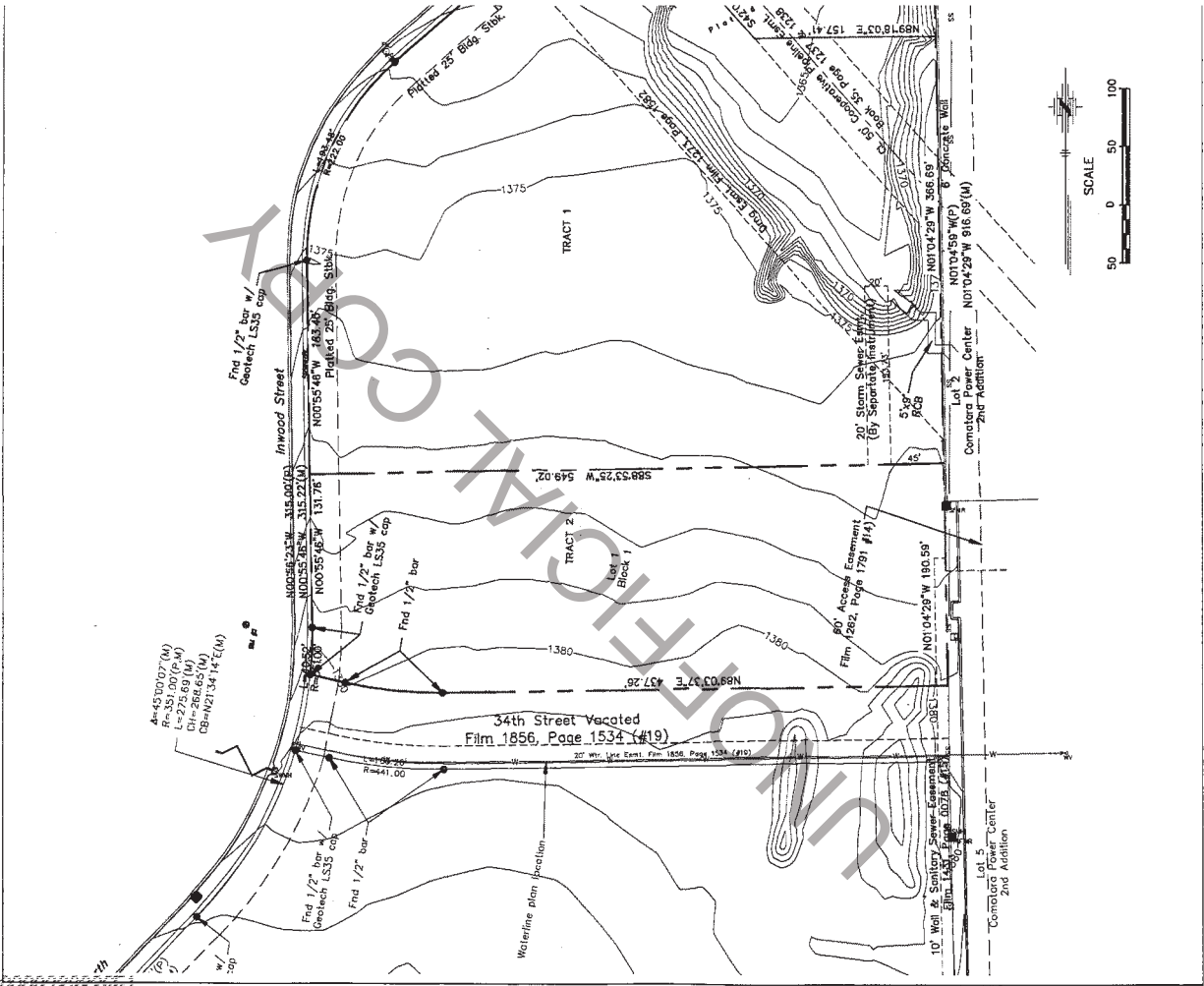
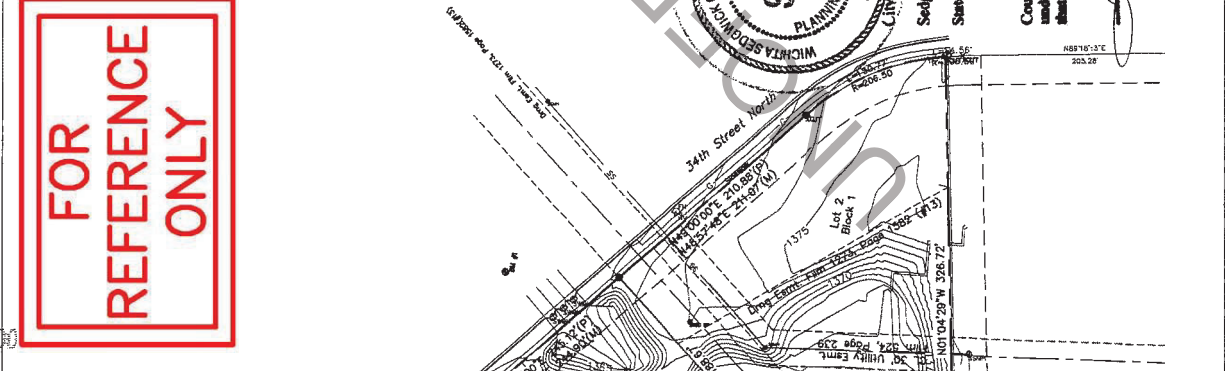
**Tract 1.**  
 A portion of Lot 1, Block 1, Killarney Plaza Second Addition, on Wichita, Sedgwick County, Kansas, EXCEPT that part platted as Comatero Power Center, on Addition to Wichita, Kansas. Thence S01°04'29"E on an assumed bearing along the west line of said Comatero Power Center for a distance of 183.48 feet to a point on the west line of said Comatero Power Center for a distance of 356.68; Thence S88°53'25"W for a distance of 549.02 feet to the west line of said lot 1; Thence N01°04'29"W along the west line of said lot 1 for a distance of 193.48 feet to the right along the west line of said lot 1 for a distance of 193.48 feet to a corner in said lot 1; Thence N24°10'52"E along the west line of said lot 1 for a distance of 187.41 feet, and a chord bearing of 222°10'52"E for a distance of 187.41 feet to a corner in said lot 1; Thence N48°55'25"E along the west line of said lot 1 for a distance of 244.90 feet to the northwest corner of said lot 1; Thence S88°53'25"W along the north line of said lot 1 for a distance of 187.41 feet to the Point of Beginning.

Said Tract Contains 217,171 Sq. Ft. more or less.

**Tract 2.**  
 Lot 1, Block 1, Killarney Plaza Second Addition, on Addition to Wichita, Sedgwick County, Kansas, EXCEPT that part platted as Comatero Power Center, on Addition to Wichita, Kansas, AND EXCEPT the following described tract of land, Comatero Power Center, on Addition to Wichita, Kansas. Thence S01°04'29"E on an assumed bearing along the west line of said Comatero Power Center for a distance of 328.72 feet to the north line of said lot 1 for a Point of Beginning; Thence S88°53'25"W for a distance of 356.68; Thence S58°53'25"W for a distance of 549.02 feet to the west line of said lot 1; Thence N01°04'29"W along the west line of said lot 1 for a distance of 183.48 feet to a corner in said Killarney Plaza Second Addition; Thence S01°04'29"E along the west line of said lot 1 for a distance of 193.48 feet to a corner in said Killarney Plaza Second Addition; Thence S88°53'25"W for a distance of 222 feet to a point on the north line of said lot 1; Thence N01°04'29"W along the north line of said lot 1 for a distance of 187.41 feet to the northwest corner of said lot 1; Thence S88°53'25"W for a distance of 187.41 feet to the Point of Beginning.

Said Tract Contains 103,625 Sq. Ft. more or less.

<p>LOT 1, BLOCK 1, KILLARNEY PLAZA SECOND ADDITION</p> <p>JOE &amp; ASSOCIATES OF KANSAS, INC. CONSULTING ENGINEERS 2040 E. Central Expressway, Suite 200 • Wichita, KS 67218-4922 Phone 316-685-4114 • FAX 316-685-4114</p>	<p>LOT SPLIT</p> <p>Designed By: T. Smith Drawn By: S. Schmidt P&amp;S Job No.: 509/Wood/Vol Split-rwz-dwg Date: 12/17/07</p>
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State of Kansas )  
County of Sedgwick ) SS

**LEGAL DESCRIPTION:**

**TRACT 1**

A portion of Lot 1, Block 1, Killarney Plaza Second Addition to Wichita, Sedgwick County, Kansas described as follows:  
Commencing at the Northwest corner of Comotara Power Center, an Addition to Wichita, Sedgwick County, Kansas; Thence S01°04'29"E on an assumed bearing of along the West line of said Comotara Power Center for a distance of 326.72 feet to the north line of said Lot 1 for a POINT OF BEGINNING; Thence continuing S01°04'29"E along the West line of said Comotara Power Center for a distance of 366.69 feet; Thence S88°53'25"W for a distance of 549.02 feet to the West line of said Lot 1; Thence N00°55'46"W along the West line of said Lot 1 for a distance of 183.46 feet to a corner in said Killarney Plaza Second Addition; Thence on a tangential curve to the right along the West line of said Lot 1 for a distance of 193.48 feet to a corner in said Killarney Plaza Second Addition, said curve having a radius of 222 feet, a chord length of 187.41 feet, and a chord bearing of N24°02'52"E; Thence N48°55'35"E along the West line of said Lot 1 for a distance of 244.90 feet to the Northwest corner of said Lot 1; Thence Southeast along the North line of said Lot 1 for a distance of 188.67 feet; Thence East along the North Line of said Lot 1 for a distance of 157.41 feet to The Point Of Beginning;  
EXCEPT

The South 98.33 feet thereof.  
Said tract contains 3.75 acres more or less.

**TRACT 2**

The South 98.33 feet of the tract more particularly described as:  
A portion of Lot 1, Block 1, Killarney Plaza Second Addition to Wichita, Sedgwick County, Kansas described as follows:  
Commencing at the Northwest corner of Comotara Power Center, an Addition to Wichita, Sedgwick County, Kansas; Thence S01°04'29"E on an assumed bearing of along the West line of said Comotara Power Center for a distance of 326.72 feet to the north line of said Lot 1 for a POINT OF BEGINNING; Thence continuing S01°04'29"E along the West line of said Comotara Power Center for a distance of 366.69 feet; Thence S88°53'25"W for a distance of 549.02 feet to the West line of said Lot 1; Thence N00°55'46"W along the West line of said Lot 1 for a distance of 183.46 feet to a corner in said Killarney Plaza Second Addition; Thence on a tangential curve to the right along the West line of said Lot 1 for a distance of 193.48 feet to a corner in said Killarney Plaza Second Addition, said curve having a radius of 222 feet, a chord length of 187.41 feet, and a chord bearing of N24°02'52"E; Thence N48°55'35"E along the West line of said Lot 1 for a distance of 244.90 feet to the Northwest corner of said Lot 1; Thence Southeast along the North line of said Lot 1 for a distance of 188.67 feet; Thence East along the North Line of said Lot 1 for a distance of 157.41 feet to The Point Of Beginning.  
Said tract contains 1.23 acres more or less.

Keith A. Severns P.L.L.S. #1355  
Not Original Unless Signed in Blue Ink.

City of Wichita )  
Sedgwick County ) SS  
State of Kansas )

Lot Split No. \_\_\_\_\_ of 2  
Copy \_\_\_\_\_ of 2

I, Scott A. Wadle, Director of Planning, Wichita-Sedgwick County Metropolitan Area Planning Department, do hereby certify under authority granted in the Subdivision Rules and Regulations that the lot split to which this stamp is affixed has been approved for recording.

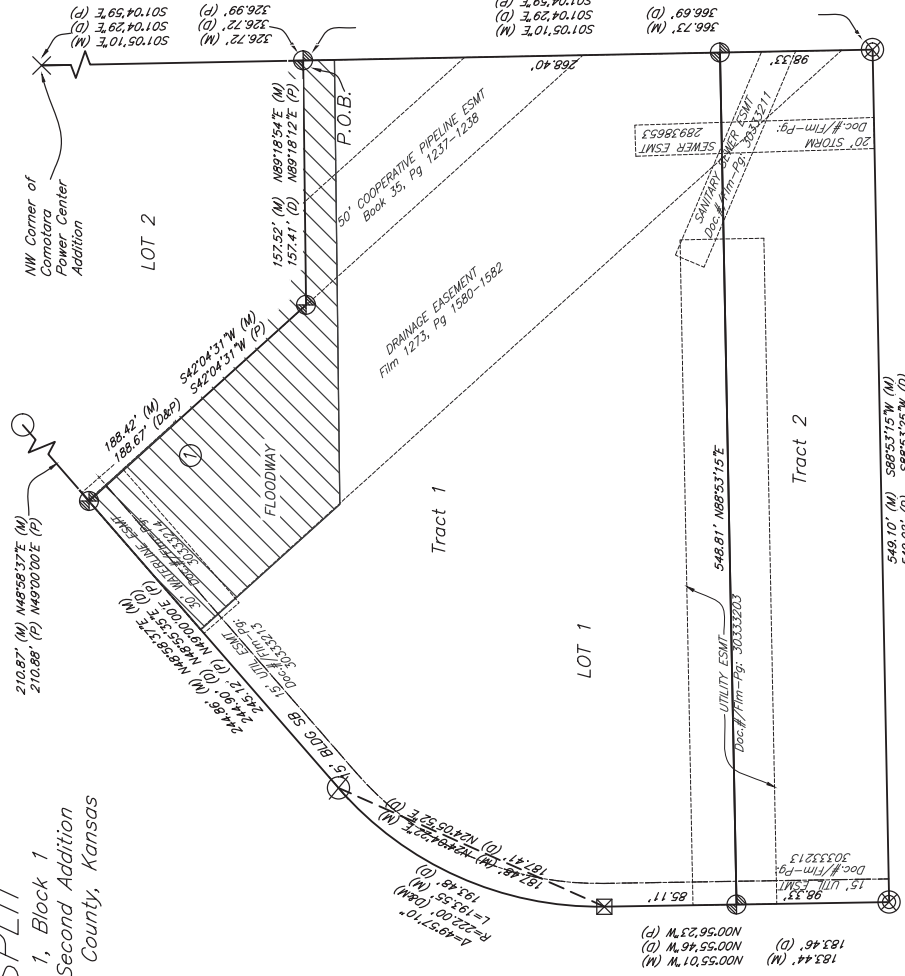
Given under my hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING DEPARTMENT.

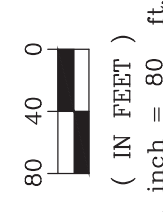
Scott A. Wadle, Director of Planning

**LOT SPLIT**

Part of Lot 1, Block 1  
Killarney Plaza Second Addition  
Wichita, Sedgwick County, Kansas



Reviewed in accordance with K.S.A. 58-2005 on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.



Tessie L. Robolis, P.S. #1246  
Deputy County Surveyor  
Sedgwick County, Kansas

23175 | Killarney Plaza 2nd Addition  
Prepared: 09/12/2024